

**AGENDA**  
**PLANNING AND ZONING COMMISSION WORK SESSION**  
City Hall, 385 South Goliad, Rockwall, Texas  
Council Chambers  
March 26, 2019  
6:00 P.M.

**CALL TO ORDER**

**CONSENT AGENDA**

1. Approval of Minutes for the February 26, 2019 Planning and Zoning Commission meeting.
2. **P2019-006 (Korey)**  
Discuss and consider a request by Debora Allegranti of CBOCS Texas, LLC on behalf of Eric Borkenhagen of Kohls Illinois, Inc. for the approval of a replat for Lots 6 & 7, Market Center East Addition being a 9.012-acre tract of land identified as Lot 1, Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 823 & 845 E. IH-30, and take any action necessary.
3. **P2019-014 (David)**  
Discuss and consider a request by Mike Whittle and Randall Noe of Rockwall Rental Properties, LLC for the approval of a replat for Lots 16 & 17, Block 2, Alliance Addition, Phase 2 being a 0.98-acre tract of land identified as Lots 14 & 15, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 6520 & 6530 Alliance Addition, and take any action necessary.
4. **P2019-015 (David)**  
Discuss and consider a request by Matt Moore of Claymoore Engineering on behalf of Phil Wagner of the Rockwall Economic Development Corporation for the approval of a replat for Lot 4, Block E, Rockwall Technology Park Addition being a 3.634-acre parcel of land identified as Lot 1, Block E, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the northwest corner of the intersection of Technology Way and Observation Trail, and take any action necessary.

**APPOINTMENTS**

5. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

**ACTION ITEMS**

6. **SP2017-025 (Korey)**  
Discuss and consider a request by Greg Wallis of Mershaw Architects on behalf of Doug Fox of Cornerstone Church for the approval of an amended site plan for a church on a six (6) acre parcel of land identified as Tract 4-07 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the 205 By-Pass Overlay (205 BY-OV) District, addressed as 1565 Airport Road, and take any action necessary.

**DISCUSSION ITEMS**

7. **Z2019-004 (Korey)**  
Hold a public hearing to discuss and consider a request by Sandie Wood for the approval of a Specific Use Permit (SUP) for a *guest quarters/secondary living unit* that does not meet the minimum requirements as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code (UDC) on a 3.574-acre parcel of land identified as Lot 1, Block A, Wood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 207 Nash Street, and take any action necessary.
8. **Z2019-005 (Ryan)**  
Hold a public hearing to discuss and consider a request by Kent Donahue of Donahue Development Corporation on behalf of the owner Rockwall Highgate LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-14 [26.452-acres], 17-15 [134.33-

acres], 17-16 [43.6-acres], & 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.

**9. Z2019-006 (David)**

Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) for a structure that exceeds 60-feet in a Light Industrial (LI) District on a 42.61-acre tract of land identified as Tract 7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract 31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and, Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.

**10. Z2019-007 (David)**

Hold a public hearing to discuss and consider a request by Ruben Garcia and Brandon Mullins on behalf of Forrest B. Davis Jr. for the approval of a Specific Use Permit (SUP) for *outdoor commercial amusement/recreation* in conjunction with an existing Craft/Micro Brewery on a 1.215-acre parcel of land identified as Lot 1-F, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2015 Kristy Lane, and take any action necessary.

**11. Z2019-008 (Ryan)**

Hold a public hearing and consider a request by James Ziegler of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a PD Development Plan amending Ordinance 17-64 and in accordance with Ordinance No. 17-22, for a 7.344-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 (IH-30) Overlay District, located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail, and take any action necessary.

**12. P2019-010 (David)**

Discuss and consider a request by Michael Duval of G&A/McAdams on behalf of John Delin of RW Ladera, LLC for the approval of a final plat for Lot 1, Block A and Lot 1, Block B, Ladera Rockwall Addition being a 47.694-acre tract of land identified as a portion of Tract 4-01 and all of Tract 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85) for General Retail (GR) and Single-Family 7 (SF-7) District land uses, situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast and northwest corners of the intersection of SH-66 and John King Boulevard, and take any action necessary.

**13. P2019-013 (Korey)**

Hold a public hearing to discuss and consider a request by Dean Cathey of Dean Cathey Custom Homes, Inc. for the approval of a replat for Lots 3, 4 & 5, Block A, Richard Harris Subdivision No. 3 Addition being a 0.57-acre tract of land identified as Lots 1 & 2, Block A, Richard Harris Subdivision No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 705 & 707 Hartman Street, and take any action necessary.

**14. SP2019-006 (Korey)**

Discuss and consider a request by Marla Mauricio of Kimley-Horn and Associates, Inc. on behalf of Steve Russell of Excel Rockwall, LLC (ShopCore Properties, LLC) for the approval of a site plan for a commercial retail building on a 0.69-acre portion of a larger 11.125-acre parcel of land being identified as Lot 11, Block A, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1041 E. IH-30, and take any action necessary.

**15. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).**

- ✓ P2019-008: Replat for Lots 1 & 2, Block A, N. E. & J. O. Addition [Approved]
- ✓ P2019-009: Replat for Lot 1, Block A, Brakes Plus Addition [Approved]
- ✓ SP2019-004: Alternative Tree Mitigation Plan for SPR [Approved]
- ✓ Z2019-003: SUP for a Private Sports Arena, Stadium or Track (1<sup>st</sup> Reading) [Approved]

**ADJOURNMENT**



This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 22<sup>nd</sup> day of March 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**March 26, 2019**  
**5:00 PM**

**CALL TO ORDER**

**ACTION ITEMS**

**1. SP2019-006 (Korey)**

Discuss and consider a request by Marla Mauricio of Kimley-Horn and Associates, Inc. on behalf of Steve Russell of Excel Rockwall, LLC (ShopCore Properties, LLC) for the approval of a site plan for a commercial retail building on a 0.69-acre portion of a larger 11.125-acre parcel of land being identified as Lot 11, Block A, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1041 E. IH-30, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 22<sup>nd</sup> day of March 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**MINUTES**  
**PLANNING AND ZONING COMMISSION WORK SESSION**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**February 26, 2019**  
**6:00 P.M.**

I. CALL TO ORDER

Chairman Lyons called the meeting to order at 6:00 p.m. The Commissioners present at the meeting were, Jerry Welch, Eric Chodun, Mark Moeller, Annie Fishman, Tracey Logan, and John Womble. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planner Korey Brooks, Planning Coordinator, Laura Morales, City Engineer, Amy Williams, Civil Engineers, Jeremy White and Sarah Hager.

II. CONSENT AGENDA

1. Approval of Minutes for the January 15, 2019 Planning and Zoning Commission meeting.

Commissioner Logan made a motion to approve the consent agenda. Commissioner Moeller seconded the motion which passed by a vote of 7-0.

III. APPOINTMENTS

2. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Planning Director, Ryan Miller, advised the Commission staff would go over the recommendations the Architectural Review Board made during discussion of the case that was reviewed.

IV. DISCUSSION ITEMS

3. Z2019-003

Hold a public hearing to discuss and consider a request by Jeff Bresee of SET Engineers on behalf of James Watson of the Rockwall Independent School District (RISD) for the approval of a Specific Use Permit (SUP) for a *Private Sports Arena, Stadium or Track* on a 35.295-acre parcel of land identified as Lot 1, Block A, Rockwall High School Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 901 W. Yellow Jacket Lane, and take any action necessary.

Senior Planner, Korey Brooks, indicated the applicant was present and would go over the request and staff would be available for questions.

Chairman Lyons asked the applicant to come forward and speak.

Tim Lyssy  
1191 T.L. Townsend Drive  
Rockwall, TX

Mr. Lyssy came forward and indicated he was the construction project manager with Rockwall Independent School District. He shared that one of the things approved with the 2015 bond package was to expand the softball and football facilities. The original plan was to find and purchase land however they were unable to find land that was appropriate and therefore looked into their available resources one of which is the subject property. Mr. Lyssy went on to explain that what they envision doing is using that space as a multi-use space that will have a baseball diamond as well as a limited football and soccer use. The space would be fenced and netted up above the fencing as well as lit. He indicated he was available for questions.

Chairman Lyons asked if there were any questions from the Commission for the applicant.

Commissioner Chodun asked if they would be discussing the proposed project with the adjacent owners/properties. Mr. Lyssy indicated that they have contacted the adjoining Rooms to Go and the car dealership and neither have expressed any concern over the project.

Chairman Lyons asked if it would only be used for practice to limit the wear and tear to the game fields or would games be held as well. Mr. Lyssy shared the intent is for the field, which will compose of synthetic turf, to be for practice only, however should there be day tournaments on weekends they may move those to this field as needed. Chairman Lyons asked how quickly the field would be built and completed should approval of the SUP be granted. Mr. Lyssy indicated it would be roughly less than three months given the weather once they go before their Board.

Commissioner Welch asked if the netting would it be permanently up. Mr. Lyssy Indicated it would be permanently up as it would be troublesome to be taking it down after each use. Commissioner Chodun asked in regards to the bond package was it restricting the use of the practice field strictly for the high school. Mr. Lyssy indicated he did not have that information off hand however he would provide that at the next meeting. Commissioner Moeller asked how confident they are to meeting the lighting requirements in regard to the variance that is being requested for the lighting going beyond what the City allows for spillage of lighting. Mr. Lyssy indicated they will do all they can design and construction wise to ensure they get as close to meeting the requirements. He added that even with lights that will be as high as the ones that will be used, they will be focused onto the field only and any spillover they feel would not be counterproductive in this area as it would possibly help safety in the adjoining properties parking areas.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

4. P2019-008

Hold a public hearing to discuss and consider a request by Kevin Osornio on behalf of Jeaniffer Osornio for the approval of a replat for Lots 1-4, Block A, N. E. & J.O. Addition being a 0.46-acre parcel of land identified as Lot 2, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Overlay (SOV) District, addressed as 705 Peters Colony, and take any action necessary.

Senior Planner, Corey Brooks, provided a brief explanation of the request. The applicant is seeking to subdivide the tract of land into four different parcels and is coming before the Commission because the case will be going before the Parks Board the following week to have park fees accessed. Mr. Brooks further shared that the two lots that will be facing onto Lamar Street currently do not have water, and therefore the applicant would be required to extend the eight inch water line up Lamar Street and loop back up to Peters Colony and additionally will be required to pave an area of Lamar Street to meet Engineering and Fire codes.

Mr. Brooks indicated his applicant was not present however staff was available for questions.

Commissioner Logan why the city did not provide water access to a residential property. Mr. Brooks indicated it was developer driven as with any other developments.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

5. SP2019-004

Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a site plan for a warehouse/manufacturing facility on a 11.3736-acre tract of land identified as Tract 7 of the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.

Planning Manager, David Gonzales, provided a brief explanation of the request. He shared that the Architectural Review Board reviewed the case and took a look at the elevations and the exceptions that are being requested by the applicant. He then briefly discussed the recommendations ARB provided and those revisions/modifications that the applicant makes will

come before the Architectural Review for their review at the next scheduled meeting in two weeks. Mr. Gonzales indicated the applicant was present and available for questions as well as staff.

Commissioner Logan asked in regards to the variance on the height that was being requested. Mr. Gonzales indicated that the case that is before the Commission is for the site plan only; the case for the height variance was withdrawn by the applicant and may come back before the Commission in the future however at this time what is being discussed is the site plan no height variance is required.

Chairman Lyons asked the applicant to come forward.

Ignacio Echavarri  
President of SPR Packaging  
1480 Justin Road  
Rockwall, TX

Mr. Echavarri came forward and provided a brief summary and background of the request. He shared that this will be the third expansion of SPR with the initial building at 50,000 square feet having been built in 2008 followed by the second expansion of a 150,000 square foot building in 20011 and the land for this third expansion having been purchased in 2015. The proposed expansion will be an expansion from the existing building and will have all the same elements as that building with an added modern and prominent look. Mr. Echavarri went on to share details of the plan for the expansion and their intent to have as little impact on the surrounding neighborhood as possible. He then indicated he was available for questions.

Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

6. SP2019-005

Discuss and consider a request by Pat Atkins of the Saddle Star Land Development, LLC on behalf of CDT Rockwall/2017 LLC for the approval of a site plan for the Saddle Star South Subdivision containing 138 single-family residential lots on a 55.85-acre tract of land identified as Tracts 1, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard, and take any action necessary.

Planning Manager, David Gonzales, indicated the applicant was present and would discuss the PD site plan. The case will be required to go before the Parks Board to tie down details such as the hardscape plan, trail system, Neighborhood Park that will be associated with the site plan in addition to a treescape plan that once approved would allow them to move onto the engineering phase. Mr. Gonzales indicated staff was available for questions.

Chairman Lyons asked the applicant to come forward.

Pat Atkins  
3076 Hays Road  
Rockwall, TX

Mr. Atkins came forward and shared the case is a continuation of the project Saddle Star which they are moving forward with and have reviewed all of staffs comments and will make modifications to the comments provided. He indicated he was available for questions.

There being no questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

7. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

- ✓ Z2018-056: Zoning Change (AG to LI) for Friendship Baptist Church (2<sup>nd</sup> Reading) [Approved]  
✓ Z2018-058: SUP for a Craft Winery and Commercial/Amusement Outdoors (2<sup>nd</sup> Reading) [Approved]  
✓ Z2019-001: Text Amendment to Article IV, Permissible Uses, UDC (1<sup>st</sup> Reading) [Approved]

**Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced case at the City Council meeting.**

V. ADJOURNMENT

**Chairman Lyons adjourned the meeting at 6:37 p.m.**

VI. WORK SESSION

8. A work session will be held in the City Council meeting room immediately following the adjournment of the February 26, 2019 Planning and Zoning Commission Work Session meeting to discuss the implementation of a zoning tool as directed by the City Council.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Johnny Lyons, Chairman

Attest:

\_\_\_\_\_  
Laura Morales, Planning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** 03/26/2019  
**APPLICANT:** Debora Allengranti; *CBOCS Texas, LLC*  
**CASE NUMBER:** P2019-006; *Lots 6 & 7, Block A, Rockwall Market Center East Addition*

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### SUMMARY

Consider a request by Debora Allengranti of CBOCS Texas, LLC on behalf of Eric Borkenhagen of Kohls Illinois, Inc. for the approval of a replat for Lots 6 & 7, Block A, Rockwall Market Center East Addition being a 9.0142-acre tract of land identified Lot 1, Block A, Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 823 & 845 E. IH-30, and take any action necessary.

### PLAT INFORMATION

- ☑ The applicant is requesting to replat a 9.0142-acre tract of land (*i.e. Lot 1, Block A, Rockwall Market Center East Addition*) into two (2) parcels of land (*i.e. Lots 6 & 7, Block A, Rockwall Market Center East Addition*) for the purpose of constructing a restaurant (*i.e. Cracker Barrel*) on Lot 6.
- ☑ On February 15, 1999, the City Council approved a replat [Case No. *PZ1999-10-1-RP*], a site plan [Case No. *PZ-1999-10-2-SP*], and a landscape plan [Case No. *PZ-1999-10-03-LP*] for a department store (*i.e. Kohl's*).
- ☑ On October 15, 2018, the Planning and Zoning Commission approved a site plan [Case No. *SP2018-028*] for a restaurant (*i.e. Cracker Barrel*) on a 1.629 portion of the existing property.
- ☑ On February 14, 2019, the Board of Adjustments (BOA) approved a variance [Order No. *BOA 2019-3-V*] to reduce the minimum lot frontage from 200-feet to 189.74 feet for Lot 6 and 167.98-feet for Lot 7.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *- conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 6 & 7, Market Center East Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) The developer is to submit revised site plan, landscape plan, photometric plan, and building elevations to the Planning, Engineering, and Building Inspections Departments; and
- (3) Any construction resulting from the approval of this replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



3/22/2019

## City of Rockwall

### Project Plan Review History



<b>Project Number</b> P2019-006	<b>Owner</b> WEINBERGER, HAROLD E 1998 FAMILY TRUST &	<b>Applied</b> 2/15/2019 LM
<b>Project Name</b> Lots 6 & 7, Block A, Rockwall Market	<b>Applicant</b> CBOCS TEXAS, LLC.	<b>Approved</b>
<b>Type</b> Plat East Addition		<b>Closed</b>
<b>Subtype</b> FINAL		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

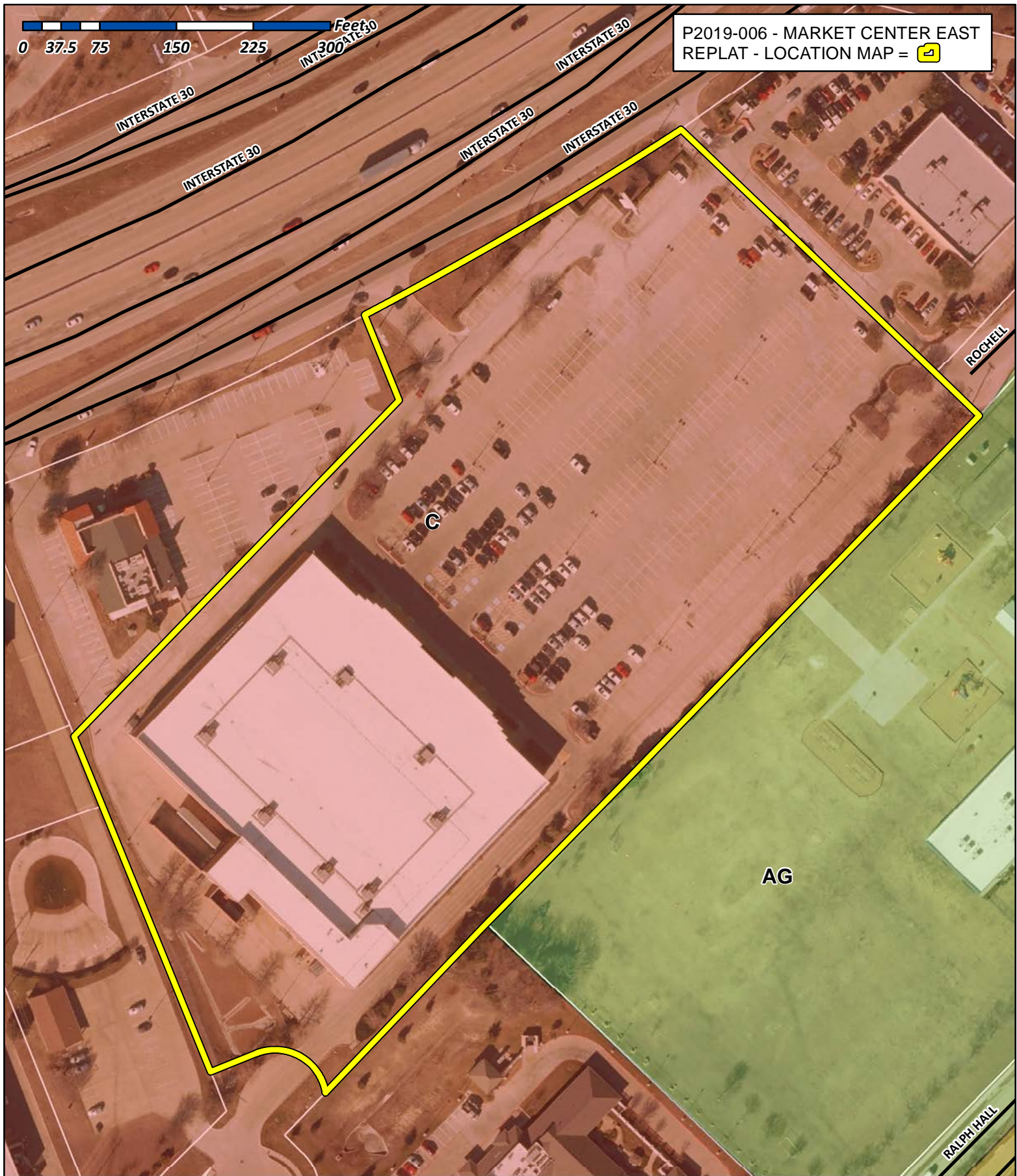
<b>Site Address</b>	<b>City, State Zip</b>
845 E. INTERSTATE 30	Rockwall, TX 75032

**Zoning**

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	2/15/2019	2/22/2019	2/20/2019	5	APPROVED	Revised
ENGINEERING	Sarah Hager	2/15/2019	2/22/2019				Not Reviewed. Case Withdrawn.
ENGINEERING (3/22/2019 12:10 PM SH) Plat does not match engineering plans and Site Plan	Sarah Hager	3/22/2019	3/29/2019	3/22/2019		COMMENTS	2nd review
FIRE	Ariana Hargrove	2/15/2019	2/22/2019				
GIS	Lance Singleton	2/15/2019	2/22/2019	3/19/2019	32	APPROVED	
PLANNING	Korey Brooks	2/15/2019	2/22/2019	3/21/2019	34	COMMENTS	Comments

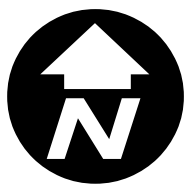
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2019-006 Lots 6 & 7, Market Center East Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This is a request by Debora Allegranti of CBOCS Texas, LLC on behalf of Eric Borkenhagen of Kohls Illinois, Inc. for the approval of a replat for Lots 6 & 7, Market Center East Addition being a 9.012-acre tract of land identified as Lot 1, Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 823 & 845 E. IH-30.						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (P2019-006) in the lower right hand corner of all pages on future submittals.						
M.4 The printed plat is not 18 X 24. Please print as 18 x 24						
M.5 Please note, the scale is off (probably because the printed version is too large).						
M.6 Please format title block to the following:						
Type of Plat						
Subdivision Name						
Lot and Block Designation						
Number of Lots						
Total Acreage and SF						
City, State, County						
M.7 Please note, Lot 1 is Lot 7. Both lots are being replatted						
M.8 Please note, the legal description needs to be for the boundary of the two lots together, not just Lot 6.						
M.9 Please provide developer information on Plat.						
M.10 Please note, the front setback is 25-feet in the IH-30 Overlay						
M.11 Please check C1 and C2. The distances are not the same on the curve table as on the callouts.						
I.12 Please check C6. The chord directions are not the same (I understand that using N and E is the same as S and W; however, please be consistent).						
M.13 Please show centerlines and full width of adjacent right of ways						
I.14 No structures in easements.						
M.16 Can a rod be set at the POB instead of using a rod that is several feet away? We don't usually see Ties.						
I.17 The Planning and Zoning Meeting is March26, 2019. The City Council Meeting is April1.						
M.18 Please submit revisions by April 2, 2019.						



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

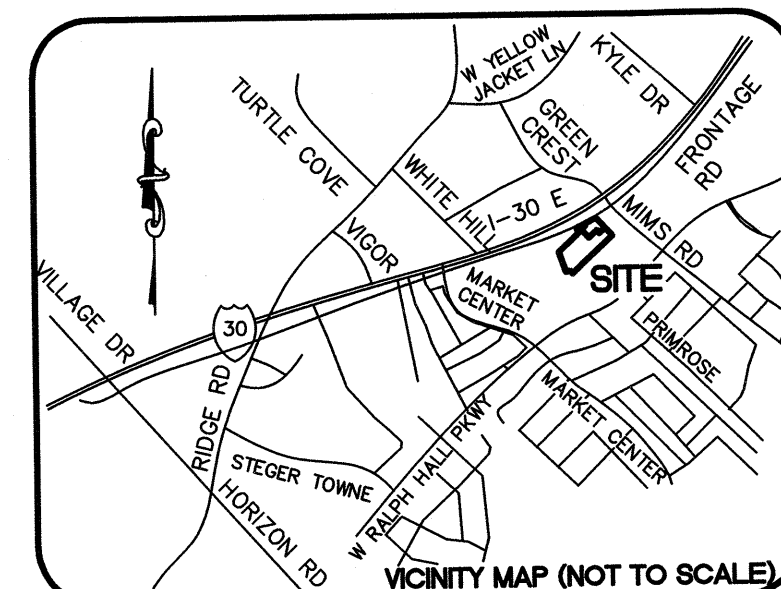
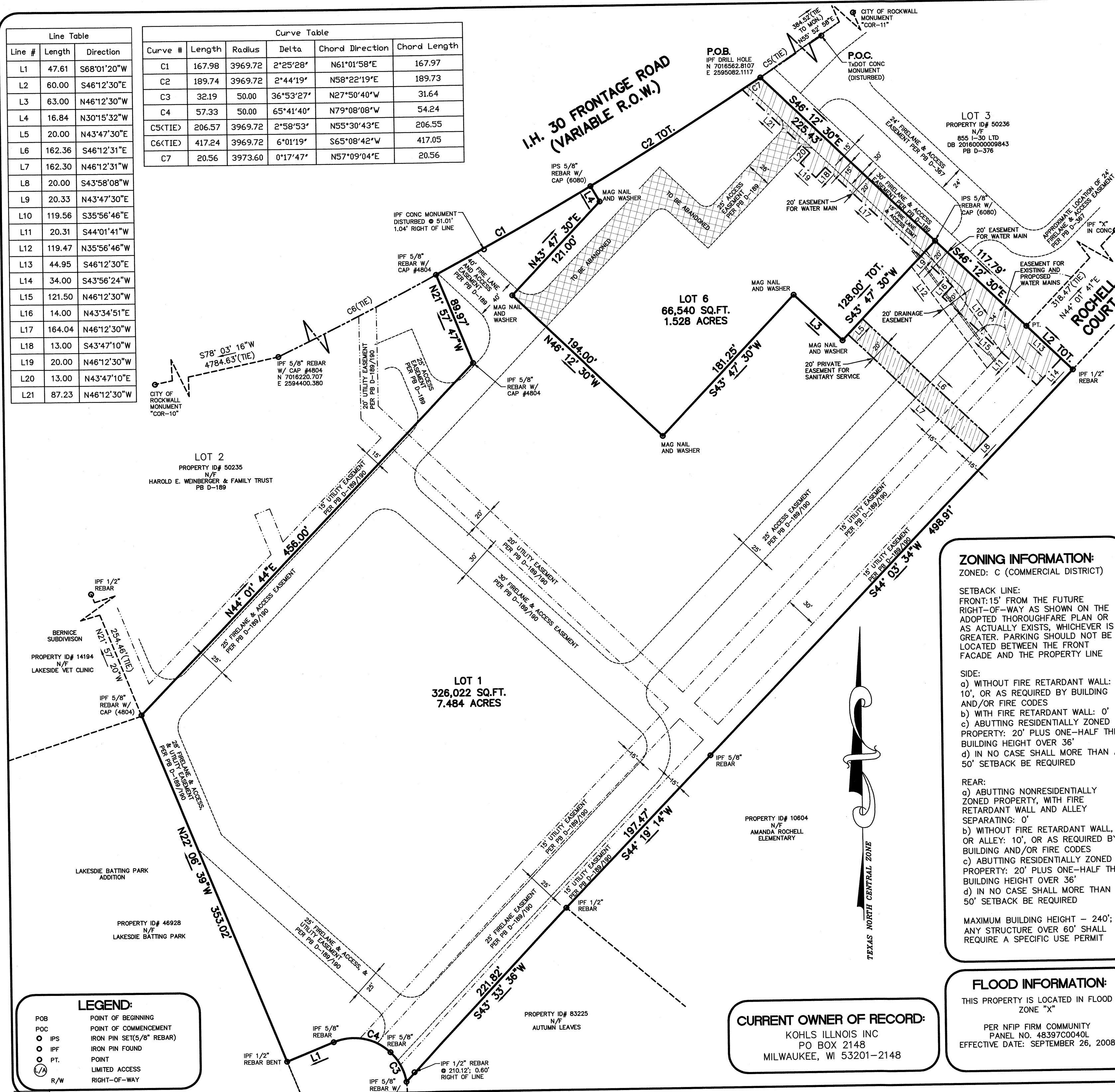
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Line #	Length	Direction
L1	47.61	S68°01'20"W
L2	60.00	S46°12'30"E
L3	63.00	N46°12'30"W
L4	16.84	N30°15'32"W
L5	20.00	N43°47'30"E
L6	162.36	S46°12'31"E
L7	162.30	N46°12'31"W
L8	20.00	S43°58'08"W
L9	20.33	N43°47'30"E
L10	119.56	S35°56'46"E
L11	20.31	S44°01'41"W
L12	119.47	N35°56'46"W
L13	44.95	S46°12'30"E
L14	34.00	S43°56'24"W
L15	121.50	N46°12'30"W
L16	14.00	N43°34'51"E
L17	164.04	N46°12'30"W
L18	13.00	S43°47'10"W
L19	20.00	N46°12'30"W
L20	13.00	N43°47'10"E
L21	87.23	N46°12'30"W

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	167.98	3969.72	2°25'28"	N61°01'58"E	167.97
C2	189.74	3969.72	2°44'19"	N58°22'19"E	189.73
C3	32.19	50.00	36°53'27"	N27°50'40"W	31.64
C4	57.33	50.00	65°41'40"	N79°08'08"W	54.24
C5(TIE)	206.57	3969.72	2°58'53"	N55°30'43"E	206.55
C6(TIE)	417.24	3969.72	6°01'19"	S65°08'42"W	417.05
C7	20.56	3973.60	0°17'47"	N57°09'04"E	20.56



**SURVEYOR'S NOTES:**

- 1) ZONING PROVIDED BY THE APPROPRIATE GOVERNMENTAL AGENCY: TO BE USED FOR INFORMATIONAL PURPOSES ONLY.
- 2) THE WORDS "CERTIFY", "CERTIFIES" OR "CERTIFICATION" AS USED HEREIN ARE UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH, DO NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.
- 3) I HEREBY CERTIFY THAT THE RATIO OF PRECISION OF THE FIELD SURVEY IS 1: 10,000 AS SHOWN HEREON AND THAT THE AREA WAS DETERMINED BY DMD METHOD.
- 4) ALL IPS ARE MAG NAIL WITH WASHER (6080) UNLESS OTHERWISE NOTED.

**BASIS OF BEARINGS:**  
 BEARINGS BASED ON OPUS SOLUTIONS  
 "OP1521597723686" & "OP1521681978142"  
 SPC 4202 TXNC - NAD 83

**FREELAND**  
 SURVEYORS • ENGINEERS

FREELAND & ASSOCIATES, INC.  
 323 WEST STONE AVE.  
 GREENVILLE S.C. 29609  
 TEL. (864) 271-4924 FAX: (864) 233-0315  
 EMAIL: info@freeland-associates.com

**ZONING INFORMATION:**  
 ZONED: C (COMMERCIAL DISTRICT)

SETBACK LINE:  
 FRONT: 15' FROM THE FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER. PARKING SHOULD NOT BE LOCATED BETWEEN THE FRONT FACADE AND THE PROPERTY LINE

SIDE:  
 a) WITHOUT FIRE RETARDANT WALL: 10', OR AS REQUIRED BY BUILDING AND/OR FIRE CODES  
 b) WITH FIRE RETARDANT WALL: 0'  
 c) ABUTTING RESIDENTIALLY ZONED PROPERTY: 20' PLUS ONE-HALF THE BUILDING HEIGHT OVER 36'  
 d) IN NO CASE SHALL MORE THAN A 50' SETBACK BE REQUIRED

REAR:  
 a) ABUTTING NONRESIDENTIALLY ZONED PROPERTY, WITH FIRE RETARDANT WALL AND ALLEY SEPARATING: 0'  
 b) WITHOUT FIRE RETARDANT WALL, OR ALLEY: 10', OR AS REQUIRED BY BUILDING AND/OR FIRE CODES  
 c) ABUTTING RESIDENTIALLY ZONED PROPERTY: 20' PLUS ONE-HALF THE BUILDING HEIGHT OVER 36'  
 d) IN NO CASE SHALL MORE THAN A 50' SETBACK BE REQUIRED

MAXIMUM BUILDING HEIGHT - 240'; ANY STRUCTURE OVER 60' SHALL REQUIRE A SPECIFIC USE PERMIT

PLS: JAMES R. FREELAND  
 NO: 6080

STATE OF TEXAS  
 ROCKWALL COUNTY  
 CITY OF ROCKWALL

**RE-PLAT OF ROCKWALL MARKET CENTER EAST BLOCK A - LOT 6**

E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64

**CURRENT OWNER OF RECORD:**  
 KOHLS ILLINOIS INC  
 PO BOX 2148  
 MILWAUKEE, WI 53201-2148

**FLOOD INFORMATION:**  
 THIS PROPERTY IS LOCATED IN FLOOD ZONE "X"  
 PER NFIP FIRM COMMUNITY PANEL NO. 48397C0040L  
 EFFECTIVE DATE: SEPTEMBER 26, 2008

OWNER'S CERTIFICATION:

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS KOHLS ILLINOIS, INC. BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING LOT 1 BLOCK A, ROCKWALL MARKET CENTER EAST, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO FINAL PLAT THEREOF RECORDED IN CABINET D, SLIDE 189, OF THE PLAT RECORDS, ROCKWALL COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE TXDOT RIGHT-OF-WAY CONCRETE MONUMENT AT THE SOUTHWEST CORNER OF THE INTERSECTION OF INTERSTATE HIGHWAY 30 AND MIMS ROAD; THENCE ALONG A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 3969.72 FEET, AN ARC LENGTH OF 206.57 FEET AND A CHORD BEARING AND DISTANCE OF S 55°30'43"W FOR A DISTANCE OF 206.55 FEET TO A DRILL HOLE FOUND, BEING THE POINT OF BEGINNING;

THENCE S 46°12'30"E FOR 225.43 FEET TO AN IRON ROD;

THENCE S 43°47'30"W FOR 128.00 FEET TO A MAG NAIL AND WASHER;

THENCE N 46°12'30"W FOR 63.00 FEET TO A MAG NAIL AND WASHER;

THENCE S 43°47'30"W FOR 181.25 FEET TO A MAG NAIL AND WASHER;

THENCE N 46°12'30"W FOR 194.00 FEET TO A MAG NAIL AND WASHER;

THENCE N 43°47'30"E FOR 121.00 FEET TO A MAG NAIL AND WASHER;

THENCE N 30°15'32"W FOR 16.84 FEET TO AN IRON ROD;

THENCE ALONG THE SOUTHEASTERN RIGHT-OF-WAY OF INTERSTATE HIGHWAY 30, ALONG A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 3969.72 FEET, AN ARC LENGTH OF 189.74 FEET AND A CHORD BEARING AND DISTANCE OF N 58°22'19"E FOR 189.73 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.528 ACRES OR 66,540 SF, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I (WE) THE UNDERSIGNED OWNER (S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE RE-PLAT OF ROCKWALL MARKET CENTER EAST, BLOCK A, LOT 1 SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, THEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREET, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I (WE) FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE ON LIEN INTEREST IN THE RE-PLAT OF ROCKWALL MARKET CENTER EAST, BLOCK A, LOT 1 SUBDIVISION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT. I (WE) UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR SUING SAME. I (WE) ALSO UNDERSTAND THE FOLLOWING:

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENTS STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE ON CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

4. THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROL SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLMENT OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

7. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIR AND RECONSTRUCTION OF DRAINAGE AND DETENTION SYSTEMS IN EASEMENTS.

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITH THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

I (WE) FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I (WE), MY (OUR) SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I (WE) MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

PROPERTY OWNER SIGNATURE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_(PROPERTY OWNER), KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREFOING INSTRUMENT, AND ACKNOWLEDGED TO ME TAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_(DAY) OF \_\_\_\_\_(MONTH/YEAR).

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES \_\_\_\_\_

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST \_\_\_\_\_

GENERAL NOTES:

1) IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING PERMITS UNTIL ALL STREET, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OF PERMIT THEREFOR ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW THAT ALL MEN BY THESE PRESENTS:

THAT I, JAMES R. FREELAND, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERTY PLACED UNDER MY PERSONAL SUPERVISION.

SURVEYOR SIGNATURE \_\_\_\_\_ 1-10-18  
REGISTERED PUBLIC SURVEYOR# 6080

STANDARD CITY SIGNATURE BLOCK:

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_(DAY) OF \_\_\_\_\_(MONTH/YEAR).

THIS APPROVAL SHALL BE INVALED UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS \_\_\_\_\_(DAY) OF \_\_\_\_\_(MONTH/YEAR).

MAYOR, CITY OF ROCKWALL \_\_\_\_\_

CITY SECRETARY \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_



FREELAND & ASSOCIATES, INC.  
323 WEST STONE AVE.  
GREENVILLE S.C. 29609  
TEL. (864) 271-4924 FAX: (864) 233-0315  
EMAIL: info@freeland-associates.com

DRAWN: JD PARTY CHIEF: RH CHECKED: MVA

REF. PLAT BOOK: D-189

REF. DEED BOOK: 5340-143

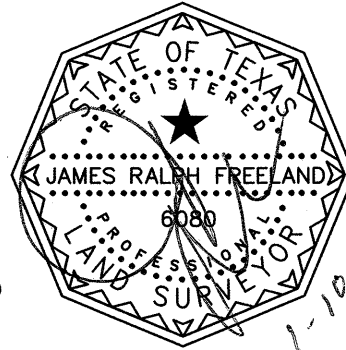
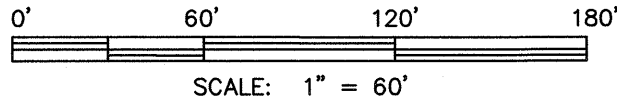
TAX MAP : 50234

DATE OF SURVEY: 3-22-18

DATE DRAWN: 11-7-18

DRAWING NO: 69508-SUB C3D

DATE OF LAST REVISION: 12-17-18



PLS: JAMES R. FREELAND  
NO: 6080

STATE OF TEXAS  
ROCKWALL COUNTY  
CITY OF ROCKWALL

RE-PLAT OF ROCKWALL  
MARKET CENTER EAST  
BLOCK A - LOT 6

E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**TO:** Planning and Zoning Commission

**DATE:** March 26, 2019

**APPLICANT:** Mike Whittle and Randall Noe; *Rockwall Rental Properties, LLC*

**CASE NUMBER:** P2019-014; *Lots 16 & 17, Block 2, Alliance Addition, Phase 2*

---

### **SUMMARY**

Discuss and consider a request by Mike Whittle and Randall Noe of Rockwall Rental Properties, LLC for the approval of a replat for Lots 16 & 17, Block 2, Alliance Addition, Phase 2 being a 0.98-acre tract of land identified as Lots 14 & 15, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 6520 & 6530 Alliance Addition, and take any action necessary.

### **PLAT INFORMATION**

- ☑ The applicant is requesting to replat a 0.98-acre tract of land (*i.e. Lots 14 & 15, Block 2, Alliance Addition, Phase 2*) for the purpose of abandoning a five (5)-foot portion of a 15-foot drainage easement. This process will establish new lot numbers for the subject properties (*i.e. Lots 16 & 17, Block 2, Alliance Addition, Phase 2*). The applicant intends to construct office buildings on these two (2) sites. The subject properties are zoned Planned Development District 57 (PD-57), which designates the subject property for Commercial (C) District land uses.
- ☑ On March 5, 2018, the City Council approved a replat [*Case No. P2018-004*] for the purpose of constructing two (2) single-story office buildings (*i.e. 4,920 SF each*) and dedicating the necessary easements for the development of these two (2) sites.
- ☑ On November 14, 2017, the Planning and Zoning Commission approved a site plans for each of these lots [*i.e. SP2017-034 & SP2017-036*].
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *- conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 16 & 17, Block 2, Alliance Addition, Phase 2*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



3/22/2019

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	P2019-014	<b>Owner</b>	ROCKWALL, RENTAL PROPERTIES LP	<b>Applied</b>	3/15/2019	LM
<b>Project Name</b>	Lots 16 & 17, Block 2, Alliance Addition	<b>Applicant</b>		<b>Approved</b>		
<b>Type</b>	Phase 2			<b>Closed</b>		
<b>Subtype</b>				<b>Expired</b>		
<b>Status</b>	STAFF REVIEW			<b>Status</b>	3/22/2019	DG

**Site Address**  
ALLIANCE DR

**City, State Zip**  
,

**Zoning**

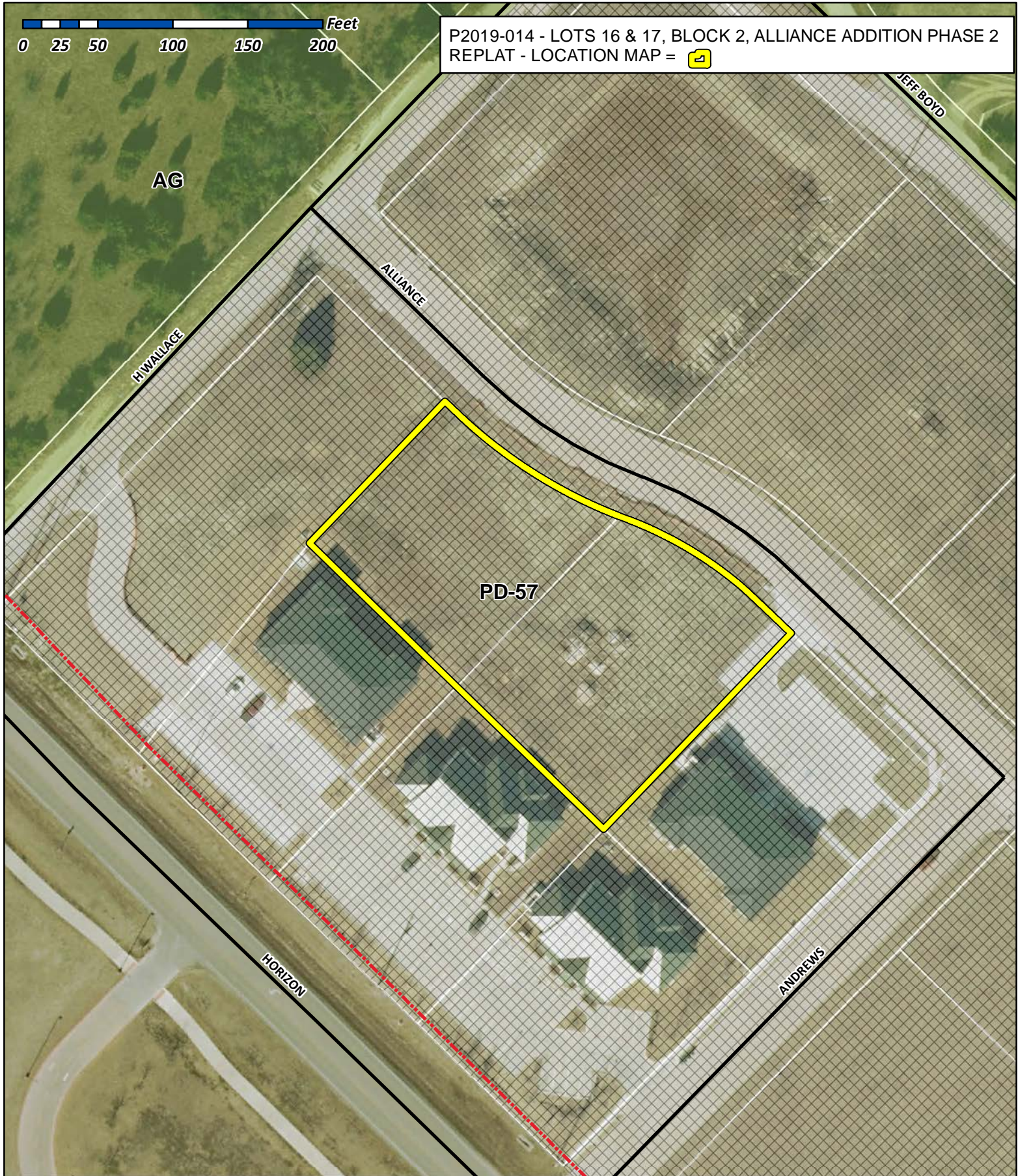
<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
ALLIANCE ADDITION PH 2	2	2	2	3039-0002-0002-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/15/2019	3/22/2019	3/19/2019	4	APPROVED	
ENGINEERING (3/22/2019 11:54 AM SH) Note 4 on the front sheet should read, " Property owner to maintain, repair, and replace drainage and detention easements."	Amy Williams	3/15/2019	3/22/2019	3/22/2019	7	COMMENTS	
FIRE	Ariana Hargrove	3/15/2019	3/22/2019				
GIS (3/20/2019 8:32 AM LS) Assigned addresses will be: Lot 15 - 6520 Alliance Dr, Rockwall TX 75032 Lot 14 - 6530 Alliance Dr, Rockwall TX 75032 All suite should follow #110, 120, 130 or similar scheme. No letters.	Lance Singleton	3/15/2019	3/22/2019	3/20/2019	5	APPROVED	See comments
PLANNING	David Gonzales	3/15/2019	3/22/2019	3/22/2019	7	COMMENTS	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Mike Whittle and Randall Noe of Rockwall Rental Properties LLC for the approval of a replat for Lots 16 &amp; 17, Block 2, Alliance Addition, Phase 2 being a 0.98-acre tract of land identified as Lots 14 &amp; 15, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 6520 &amp; 6530 Alliance Addition, and take any action necessary.</p> <p>PLANNING COMMENTS - DAVID GONZALES - 03.22.2019</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday April 2, 2019. Please provide two large copies [FOLDED 18" X 24"] and one PDF version for a subsequent/final review by staff:</p> <ol style="list-style-type: none"> <li>1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC), the staff comments provided by the Planning Engineering, Building Inspection, and Fire Departments as indicated on the Project Plan Review document</li> <li>2. Provide a label indicating "Case No. P2019-014" on the lower right corner on all pages of the revised final plat submittal</li> <li>3. Correct Title Block heading as follows: Final Plat Alliance Addition Phase 2 Lots 16 and 17, Block 2 Being a replat of Lots 14 and 15, Block 2 ...etc...</li> <li>4. Provide a hatch for the area to be abandoned</li> <li>5. On all outer adjacent lots, include block numbers (e.g. Lot 11, Blk 1, Lot 8, Blk 1, etc.).</li> </ol> <p>**As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved(by staff) prior to plat submittal on mylar for filing purposes **</p> <p>Although this case is scheduled for consent, staff recommends that a representative be present for the meetings as listed below. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Scheduled Meeting Dates to Attend</p> <p>Planning - Consent Agenda: March 26, 2019 (Tuesday at 6:00p.m.)</p> <p>City Council - Consent Agenda: April 1, 2019 (Monday at 6:00 p.m.)</p>						

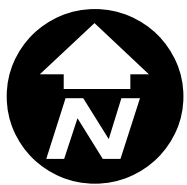




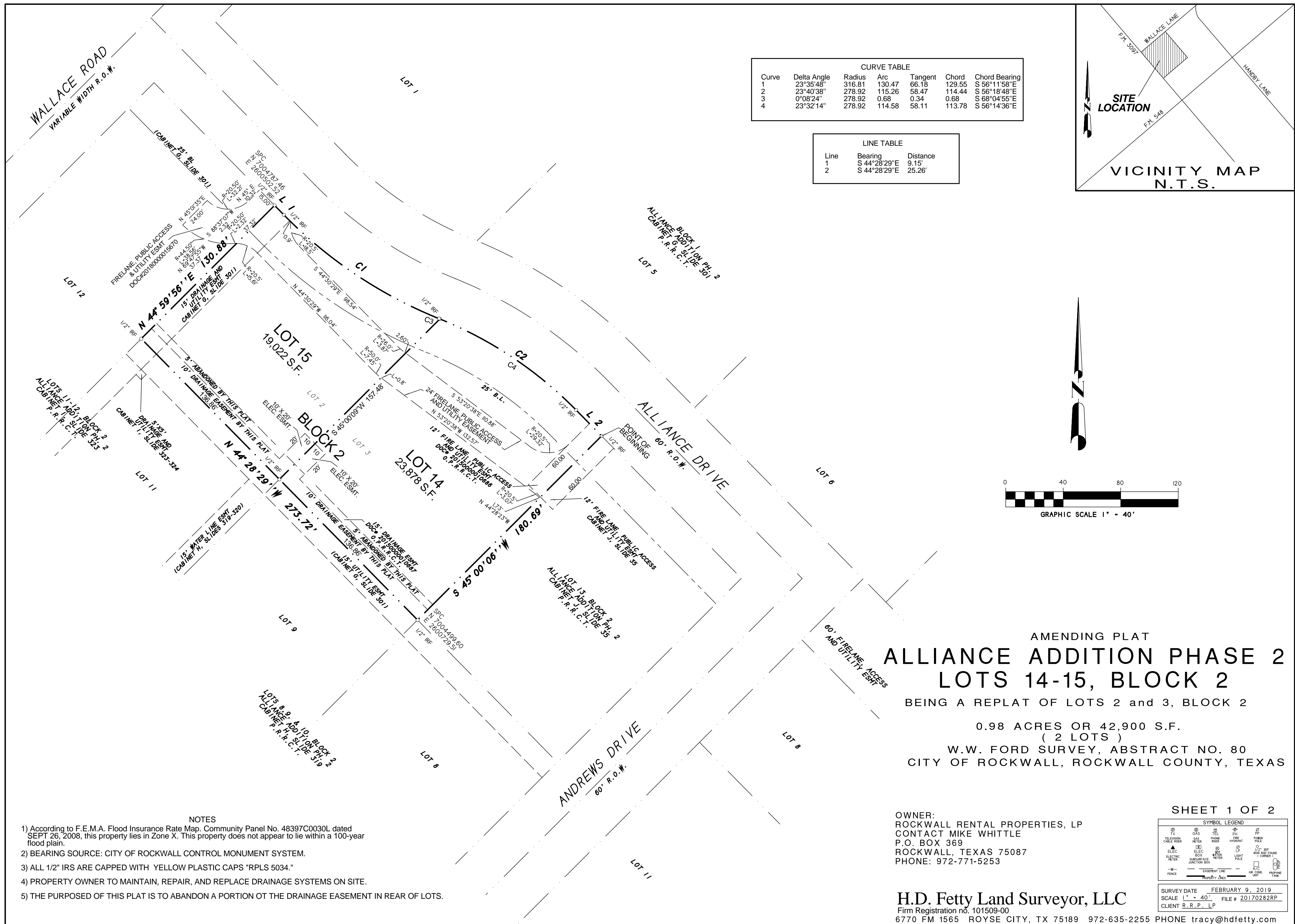
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

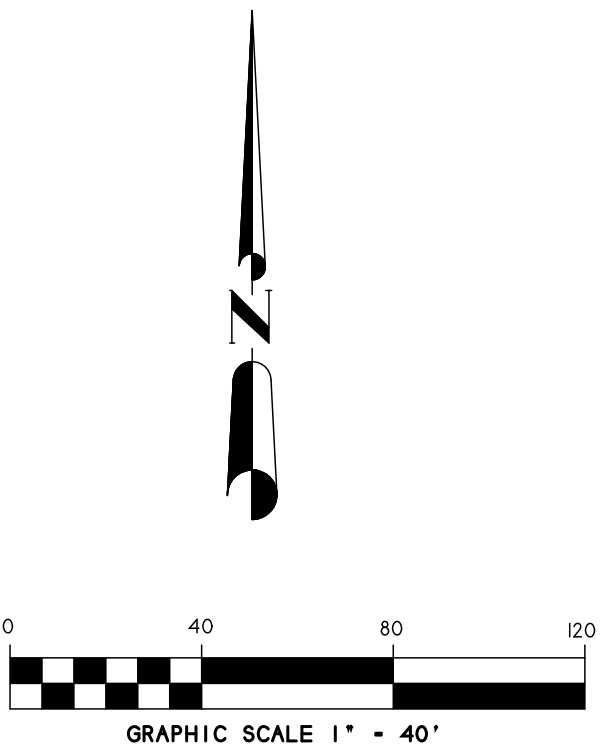
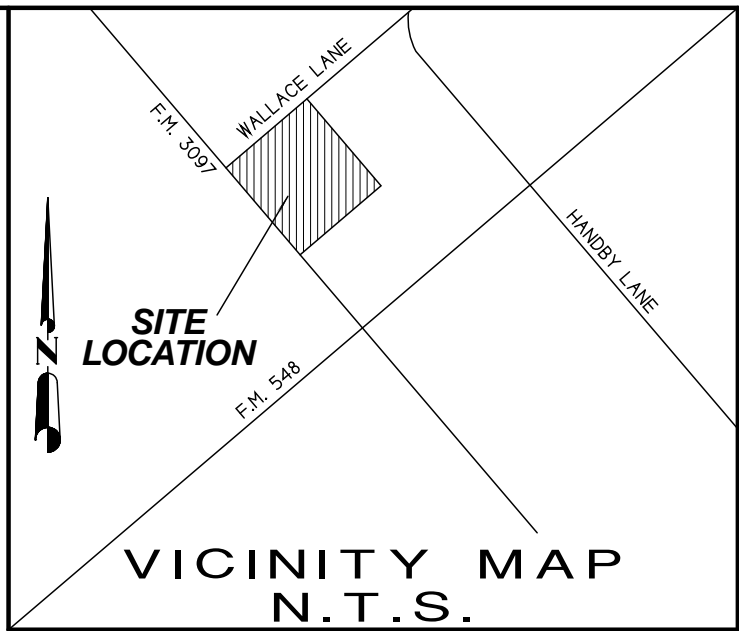






CURVE TABLE						
Curve	Delta Angle	Radius	Arc	Tangent	Chord	Chord Bearing
1	23°35'48"	316.81	130.47	66.18	129.55	S 56°11'58"E
2	23°40'38"	278.92	115.26	58.47	114.44	S 56°18'48"E
3	0°08'24"	278.92	0.68	0.34	0.68	S 68°04'55"E
4	23°32'14"	278.92	114.58	58.11	113.78	S 56°14'36"E

LINE TABLE		
Line	Bearing	Distance
1	S 44°28'29"E	9.15'
2	S 44°28'29"E	25.26'



AMENDING PLAT  
**ALLIANCE ADDITION PHASE 2**  
**LOTS 14-15, BLOCK 2**  
BEING A REPLAT OF LOTS 2 and 3, BLOCK 2  
0.98 ACRES OR 42,900 S.F.  
( 2 LOTS )  
W.W. FORD SURVEY, ABSTRACT NO. 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:  
ROCKWALL RENTAL PROPERTIES, LP  
CONTACT MIKE WHITTLE  
P.O. BOX 369  
ROCKWALL, TEXAS 75087  
PHONE: 972-771-5253

SHEET 1 OF 2

SYMBOL LEGEND											
TV	GAS	TEL	PH	PP	ELEC	WATER	WATER	WATER	WATER	WATER	WATER
TELEPHONE	METER	METER	METER	METER	METER	METER	METER	METER	METER	METER	METER
CABLE	RISE	RISE	RISE	RISE	RISE	RISE	RISE	RISE	RISE	RISE	RISE
ELEC	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC	ELEC
METER	METER	METER	METER	METER	METER	METER	METER	METER	METER	METER	METER
WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER
WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER
WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER
WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER
WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER	WATER

SURVEY DATE FEBRUARY 9, 2019  
SCALE 1" = 40' FILE # 20170282RP  
CLIENT R.R.P. - LP

**H.D. Fetty Land Surveyor, LLC**  
Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE NO. P2019-

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
  - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
  - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
  - 4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.
  - 5) THE PURPOSED OF THIS PLAT IS TO ABANDON A PORTION OT THE DRAINAGE EASEMENT IN REAR OF LOTS.

OWNER'S CERTIFICATE  
(Public Dedication)  
STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS ROCKWALL RENTAL PROPERTIES, LP, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING all of Lot 2 and Lot 3, Block 2, ALLIANCE ADDITION, PHASE 2, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet G, Slide 301-302, of the Plat Records of Rockwall County, Texas.and being more particularly described as follows:

BEGINNING at 1/2" iron rod found for corner at the East most corner of Lot 3, Block 2 and west most corner of Lot 13, Block 2, ALLIANCE ADDITION PHASE 2, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet J, Slide 35, of the Plat Records of Rockwall County, Texas, and being in the Southwest right-of-way line of Alliance Drive, a 60 foot right-of-way;

THENCE S. 45 deg. 00 min. 06 sec. W. a distance of 180.69 feet to a 1/2" iron rod found for corner;

THENCE N. 44 deg. 28 min. 29 sec. W. a distance of 273.72 feet to a 1/2" iron rod found for corner at the west most corner of said Lot 2, Block 2;

THENCE N. 44 deg. 59 min. 56 sec. E. along the northwest line of said Lot 2, a distance of 130.88 feet to a 1/2" iron rod found for corner in the southwest right-of-way line of Alliance Drive;

THENCE S. 44 deg. 28 min. 29 sec. E. along said right-of-way line, a distance of 9.15 feet to a 1/2" iron rod found for corner;

THENCE in a southeasterly direction along a curve to the left having a central angle of 23°35'48", a radius of 316.81 feet, a tangent of 66.18 feet, a chord of S 56°11'58"E, 129.55 feet along said right-of-way line, an arc distance of 130.47 feet to a 1/2" iron rod found for corner;

THENCE in a southeasterly direction along a curve to the left having a central angle of 23°40'38", a radius of 278.92 feet, a tangent of 58.47 feet, a chord of S 56°18'48"E, 114.44 feet along said right-of-way line, an arc distance of 115.26 feet to a 1/2" iron rod found for corner;

THENCE S. 44 deg. 28 min. 29 sec. E. along said right-of-wayline, a distance of 25.26 feet to the POINT OF BEGINNING and containing 42,900 square feet or 0.98 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as ALLIANCE ADDITION, PHASE 2, LOTS 14-15, BLOCK 2, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of th eir respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer, subdivision engineer and owner shall bear total responsibility for storm drain improvements. The property owner is responsible for all maintenance, repair, and replacement of all systems in drainage easements
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I , my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

RANDALL NOE  
for ROCKWALL RENTAL PROPERTIES, LP

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared RANDALL NOE known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representa tion, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission

Date \_\_\_\_\_

APPROVED

I hereby certify that the above and foregoing plat of ALLIANCE ADDITION PHASE 2, LOTS 14-15, BLOCK 2, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Mayor, City of Rockwall

City Secretary City of Rockwall

City Engineer

Date \_\_\_\_\_

AMENDING PLAT  
ALLIANCE ADDITION PHASE 2  
LOTS 14-15, BLOCK 2

BEING A REPLAT OF LOTS 2 and 3, BLOCK 2

0.98 ACRES OR 42,900 S.F.  
( 2 LOTS )

W.W. FORD SURVEY, ABSTRACT NO. 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:  
ROCKWALL RENTAL PROPERTIES, LP  
CONTACT MIKE WHITTLE  
P.O. BOX 369  
ROCKWALL, TEXAS 75087  
PHONE: 972-771-5253

SYMBOL LEGEND											
⊗	TELEVISION CABLE ROSE	⊗	GAS	⊗	PHONE ROSE	⊗	FIH HYDRANT	⊗	POWER POLE		
▲	ELEC. SUBSURFACE JUNCTION BOX	⊗	ELEC. BOX	⊗	WATER METER	⊗	LP LIGHT POLE	⊗	REF. MON ROD FOUND CORNER	⊗	PREPARE TANK
—X—	FENCE	—	EASEMENT LINE	—	PROPERTY LINE	—	A/C	—	AR. CIRC. UNIT		

SURVEY DATE FEBRUARY 9, 2019  
SCALE 1" = 40' FILE # 20170282RP  
CLIENT R.R.P. - LP

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**TO:** Planning and Zoning Commission  
**DATE:** March 26, 2019  
**APPLICANT:** Matt Moore; *Claymoore Engineering*  
**CASE NUMBER:** P2019-015; *Lots 4, Block E, Rockwall Technology Addition*

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### SUMMARY

Discuss and consider a request by Matt Moore of Claymoore Engineering on behalf of Phil Wagner of the Rockwall Economic Development Corporation for the approval of a replat for Lot 4, Block E, Rockwall Technology Park Addition being a 3.634-acre parcel of land identified as Lot 1, Block E, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the northwest corner of the intersection of Technology Way and Observation Trail, and take any action necessary.

### PLAT INFORMATION

- ☒ The applicant is requesting to replat a 3.634-acre parcel of land (*i.e. Lot 1, Block E, Rockwall Technology Park Addition*) located within the *REDC Technology Park*. The purpose of the replat is to establish the necessary easements (*i.e. 24-foot firelane, public access, utility, and drainage easements*) in order to develop the lot (*i.e. Lot 4, Block E, Rockwall Technology Park Addition*).
- ☒ On December 11, 2018, the Planning and Zoning Commission approved a site plan [Case No. *SP2018-039*] for the purpose of constructing an approximately 35,525 SF manufacturing/office (*i.e. Lime Media*) on the subject property.
- ☒ The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *- conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☒ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☒ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 4, Block E, Rockwall Technology Park Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall

Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

3/22/2019

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	P2019-015	<b>Owner</b>	ROCKWALL ECONOMIC DEVELOPMENT	<b>Applied</b>	3/19/2019	LM
<b>Project Name</b>	Lot 4, Block E, Rockwall Technology Park	<b>Applicant</b>	CLAYMOORE ENGINEERING	<b>Approved</b>		
<b>Type</b>	REPLAT			<b>Closed</b>		
<b>Subtype</b>	REPLAT			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>
2700 OBSERVATION TRL	Rockwall, TX 75032

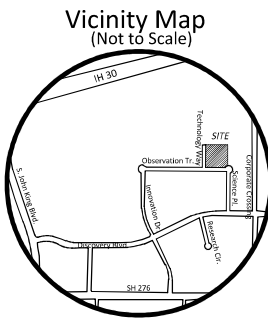
Zoning

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/19/2019	3/26/2019	3/19/2019		APPROVED	
ENGINEERING (3/22/2019 1:29 PM SH) - Sheet 2, add note 7 under the paragraph that starts, "Until the developer..." Note 7 should read, "7. Property owner shall be responsible for all maintenance, repair, and replacement of all drainage and detention easements." - All 24' fire lane easements should be labeled as, "24' Fire Lane, Public Access, Utility, and Drianage Easement." - Clarify if the line shown is the 25' building line at the est property line.	Sarah Hager	3/19/2019	3/26/2019	3/22/2019	3	COMMENTS	
FIRE	Ariana Hargrove	3/19/2019	3/26/2019				
GIS (3/20/2019 8:33 AM LS) Assigned address will be: 2700 OBSERVATION TRL, ROCKWALL, TX 75032	Lance Singleton	3/19/2019	3/26/2019	3/20/2019	1	APPROVED	See comments
PLANNING	David Gonzales	3/19/2019	3/26/2019	3/22/2019	3	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Matt Moore of Claymoore Engineering on behalf of Phil Wagner of the Rockwall Economic Development Corporation for the approval of a replat for Lot 4, Block E, Rockwall Technology Park Addition being a 3.634-acre parcel of land identified as Lot 1, Block E, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the northwest corner of the intersection of Technology Way and Observation Trail and take any action necessary.</p> <p>PLANNING COMMENTS - DAVID GONZALES - 03.22.2019</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday April 2, 2019. Please provide two large copies [FOLDED 18" X 24"] and one PDF version for a subsequent/final review by staff:</p> <ol style="list-style-type: none"> <li>1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC), the staff comments provided by the Planning Engineering, Building Inspection, and Fire Departments as indicated on the Project Plan Review document</li> <li>2. Provide a label indicating "Case No. P2019-015" on the lower right corner on all pages of the revised final plat submittal</li> <li>3. Correct Title Block heading to read "Final Plat" at the heading (and not replat)</li> <li>4. Relabel firelane as "24-ft Firelane, Public Access, Utility &amp; Drainage Easement."</li> </ol> <p>**As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes **</p> <p>Although this case is scheduled for consent, staff recommends that a representative be present for the meetings as listed below. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Scheduled Meeting Dates to Attend</p> <p>Planning - Consent Agenda: March 26, 2019 (Tuesday at 6:00p.m.)</p> <p>City Council - Consent Agenda: April 1, 2019 (Monday at 6:00 p.m.)</p>						





It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Basis of Bearings: Bearings are based on those cited on plat of Rockwall Technology Park Addition recorded in Cabinet G, Slide 377, Map/Plat Records Rockwall County, Texas.

FLOOD STATEMENT: According to Community Panel No. 48397C00451, dated September 26, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

LINE	BEARING	DISTANCE	CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING
L1	N 00°47'33" W	77.56'	C1	76°11'13"	50.00'	66.49'	S 52°41'57" E
L2	N 89°12'27" E	41.43'	C2	76°11'13"	20.00'	26.59'	S 52°41'57" E
L3	N 89°12'27" E	155.80'	C3	39°42'36"	44.00'	30.50'	S 70°56'15" E
L4	S 51°04'33" E	81.62'	C4	50°17'24"	44.00'	38.62'	S 25°56'15" E
L5	S 00°47'33" E	176.30'	C5	28°42'49"	30.00'	33.58857'	S 33°08'57" E
L6	S 29°30'21" E	7.54'	C6	26°43'11"	70.00'	32.64'	S 59°30'39" E
L7	N 29°30'27" E	6.90'	C7	25°00'43"	25.00'	10.91'	N 17°00'00" W
L8	S 89°12'27" W	240.45'	C8	61°17'11"	25.00'	26.74'	N 60°08'57" W
L9	N 00°47'33" W	195.11'	C9	90°00'00"	44.00'	69.12'	N 45°47'33" W
L10	N 00°47'33" W	22.66'	C10	90°00'00"	15.00'	23.56'	N 45°47'33" W
L11	S 89°12'27" W	4.01'	C11	47°42'38"	10.00'	8.33'	S 65°21'08" W
L12	S 89°12'27" W	184.12'	C12	21°55'40"	50.07'	19.16'	S 38°35'35" W
L13	S 51°04'57" E	81.62'	C13	94°01'50"	30.00'	33.87'	S 33°13'22" W
L14	N 00°47'33" W	142.81'	C14	39°42'36"	20.00'	13.85'	N 70°56'15" W
L15	N 89°12'27" E	245.50'	C15	50°17'24"	20.00'	17.58'	N 25°56'15" E
L16	S 00°47'33" E	195.11'	C16	90°00'00"	20.00'	31.42'	N 44°12'27" E
			C17	90°00'00"	20.00'	31.42'	S 45°47'33" E

L17	N 89°12'27" E	35.93	C20	17°59'58"	50.08'	15.73'	S 36°37'48" W
L18	N 89°12'27" E	21.97	C21	47°42'38"	10.00'	8.33'	S 65°21'08" W
L19	S 51°04'57" E	88.01	C22	90°00'00"	15.00'	23.56'	N 45°47'33" W
L20	S 00°47'33" E	19.59	C23	22°22'07"	44.00'	17.18'	N 62°16'00" W
L21	N 51°04'57" W	81.65	C24	25°40'12"	44.00'	19.71'	N 38°14'51" W
L22	N 89°12'27" W	6.65	C25	48°47'39"	20.00'	17.03'	N 26°41'08" W
L23	N 89°12'27" E	20.00'					
L24	S 00°47'33" E	20.00'					
L25	S 89°12'27" W	28.27					
L26	N 44°10'29" E	25.45					
L27	N 89°12'27" E	28.27					
L28	S 44°10'29" W	25.45					
L29	S 89°12'27" W	4.01'					
L30	N 51°04'57" W	8.04'					

L34	S 89°12'27" W	28.28'	C18	17°23'29"	44.00'	13.36'	S 82°05'49" E
L35	N 44°12'27" E	64.37'	C19	38°44'22"	25.00'	16.90'	S 71°25'22" E
L36	N 89°12'27" E	240.45'	C26	25°55'04"	30.00'	13.57'	S 13°45'05" E



1 LOT TOTALING 3.634 ACRES  
BEING A REPLAT OF A LOT 1, BLOCK E OF ROCKWALL TECHNOLOGY PARK  
ADDITION 3.634 ACRES (158,285 SQUARE FEET)  
J.M. ALLEN SURVEY, ABSTRACT NO. 2  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner:	Engineer:
Rockwall Economic Development	ClayMoore Engineering
697 East Interstate 30, PO Box 968	1903 Central Drive, Suite 406
Rockwall, Texas 75087	Bedford, Texas 76021

Date: March 5, 201

Technician: Bedford

Drawn By: Bedford

File: LOT 1 BLOCK ENIME MEA

Job. No. 552-172

GF No.

301 N. Alamo Rd. • Rockwall, Texas 75087  
(972) 722-0225, [www.ajbedfordgroup.com](http://www.ajbedfordgroup.com), [ajb@ajbedfordgroup.com](mailto:ajb@ajbedfordgroup.com)

1

**AJ Bedford Group, Inc.**

Registered Professional Land Surveyors

TBPLS REG#10118200

\\FILEFLEES552-CLAYMOORE ENGINEERING\ROCKWALL\ROCKWALL TECHNOLOGY PARK\LOT 1 BLOCK E\LINE MEDIA PLAT.dwg, REPLAT, 3/5/2019 12:50:13 PM

OWNER'S CERTIFICATE

STATE OF TEXAS §  
COUNTY OF ROCKWALL §

WHEREAS ROCKWALL ECONOMIC DEVELOPMENT, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, said tract being described as follows:

**BEING a 3.634 acre** tract of land situated in the J.M Allen Survey, Abstract Number 2, in the City of Rockwall, Rockwall County, Texas and being Lot 1, Block E of Rockwall Technology Park according to the plat recorded in Cabinet G, Slide 377 of the Official Public Records of Rockwall County, Texas and being more particularly described as follows:

**BEGINNING** at an iron rod with cap found for the southerly southwest corner of said Lot 1 and being the southerly corner of a corner cut-off line for the northerly line of Observation Trail (60' wide) with the easterly line of Technology Way (60' wide);

**THENCE** with easterly line of said Technology Way, **NORTH 45°47'33" WEST** a distance of **28.99** feet to a 5/8 inch iron rod set for corner;

**THENCE** continuing with the east line of said Technology Way, **NORTH 00°47'33" WEST** a distance of **380.35** feet to an iron rod with cap found for the northwest corner of said Lot 1;

**THENCE** departing the east line of said Technology Way, **NORTH 89°30'15" EAST** a distance of **400.00** feet to an iron rod with cap found for the northeast corner of said Lot 1;

**THENCE SOUTH 00°47'33" EAST** a distance of **365.87** feet to a 5/8 inch iron rod set in the north line of said Observation Trail and being in a non-tangent curve to the left having a radius of 70.00 feet and a chord bearing of South 64°22'24" West;

**THENCE** along the north line of said Observation Trail with said non-tangent curve to the left through a central angle of **51°18'21"** for an arc length of **62.68** feet to an iron rod with cap found for the beginning of a reverse curve to the right to having a radius 20.50 feet a chord bearing of South 63°58'20" West;

**THENCE** continuing with the north line of said Observation Trail with said reverse curve to the right through a central angle of **50°30'15"** for an arc length of **18.07** feet to an iron with cap found for corner;

**THENCE** continuing with the north line of said Observation Trail, **SOUTH 89°12'27" WEST** a distance of **308.67** feet to the **POINT OF BEGINNING**;

**CONTAINING** within these metes and bounds **3.634 acres** or 158,285 square feet of land more or less.

7. Property owner shall be responsible for all maintenance, repair, and replacement of all drainage and detention easements.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
STATE OF TEXAS §  
COUNTY OF ROCKWALL §

We, **ROCKWALL ECONOMIC DEVELOPMENT**, the undersigned owner of the land shown on this plat, and designated herein as the **ROCKWALL TECHNOLOGY PARK** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **ROCKWALL TECHNOLOGY PARK** subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my (our) successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

ROCKWALL ECONOMIC DEVELOPMENT

Name: \_\_\_\_\_  
Title: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2019

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Austin J. Bedford, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document"

Austin J. Bedford  
Registered Professional Land Surveyor No. 4132  
A.J. Bedford Group, Inc.  
301 North Alamo Road  
Rockwall, Texas 75087

Case No.: P \_\_\_\_\_

REPLAT  
ROCKWALL TECHNOLOGY PARK ADDITION  
LOT 4, BLOCK E

1 LOT TOTALING 3.634 ACRES  
BEING A REPLAT OF A LOT 1, BLOCK E OF ROCKWALL TECHNOLOGY PARK  
ADDITION 3.634 ACRES (158,285 SQUARE FEET)  
J.M. ALLEN SURVEY, ABSTRACT NO. 2  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Owner: Rockwall Economic Development 697 East Interstate 30, PO Box 968 Rockwall, Texas 75087	Engineer: ClayMoore Engineering 1903 Central Drive, Suite 406 Bedford, Texas 76021
--------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------

Scale: 1" = 50'
Date: March 5, 2019
Technician: Bedford
Drawn By: Bedford

Checked By: A.J. Bedford
P.C.: Cryer/Spradling
File: LOT 1 BLOCK E\LINE MEDIA PLAT
Job. No. 552-172
GF No.

301 N. Alamo Rd. \* Rockwall, Texas 75087  
(972) 722-0225 , www.ajbedfordgroup.com, ajb@ajbedfordgroup.com

Sheet:  
2  
Of: 2





0 37.5 75 150 225 300 Feet

P2019-015 - LOT 4, BLOCK E, ROCKWALL TECNOLOGY PARK ADDITION  
REPLAT - LOCATION MAP = 

AG

TECHNOLOGY

LI

OBSERVATION

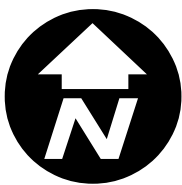
SCIENCE



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Korey Brooks, *Senior Planner*  
**CC:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** March 12, 2019  
**SUBJECT:** SP2017-025; *Site Plan for Cornerstone Church*

---

In August 2017, the applicant submitted a request for approval of a site plan [Case No. SP2017-025] for an approximately 21,600 SF house of worship (*i.e. Cornerstone Church*). While reviewing the proposed site plan, landscape plan, treescape plan, photometric plan, and building elevations, staff notified the applicant of the variances required to construct the building. At the time of this review, it appeared that the rear of the building did not have a parapet wall providing screening from the mechanical equipment that was thought to be mounted on the roof. In response to this, staff requested that the applicant provide the height of the parapet wall, and indicate how the equipment would be screened. In addition, staff requested that the applicant provide a dash line on the building elevations indicating where the equipment would be located. The applicant submitted revised comments noting that the rooftop units (RTU's) were to be screened utilizing a six (6) foot tall masonry wall matching the exterior materials used on the building; however, the applicant intended for the HVAC system to be on the ground and screened by a six (6) foot wing wall (despite indicating RTU's on the provided comments as opposed to noting HVAC's). Staff was under the impression that the intent of the applicant's comment was to provide a six (6) foot tall masonry wall on the rear of the building where there was no parapet wall. The revised building elevations depicted a sloped dash line (*i.e. the sloped roof*) on the east and west building elevations, but did not indicate the provision of a parapet wall. At the time of building permit, a comment was made indicating a need to show the parapet wall, but this was never followed up on and a building permit was issued. Based on this issuance the applicant felt like they had addressed all of staff's comments, and the applicant commenced construction of the building. Currently, the building shell has been erected. Recently, it was discovered by staff that the building did not incorporate the required parapet in accordance with the requirements of the Unified Development Code (UDC), and that the variance was not requested by the applicant as part of the original case nor was it approved as part of this case. Based on this, staff notified the applicant that this would need to be rectified prior to the City giving final acceptance to the project.

Since this notification, the applicant has stated that they do not wish to construct the parapet wall citing the cost required to retrofit the building as being the main reason. Based on this, the applicant has submitted an application requesting the approval of a variance for this issue. As a compensatory measure the applicant is requesting that the Planning and Zoning Commission accept one of the following alternatives:

- (1) Grant a variance to the requirement and leave the building as-is since the City issued a permit in error;
- (2) Grant a variance to utilize trees to partially screen the parapet walls at the rear; or
- (3) Grant a variance to paint the back of the parapet walls that are visible from John King Boulevard a color to match the stucco on the front façades and provide the additional trees mentioned in Option 2 above.

Staff should note that the rear of this building is highly visible from John King Boulevard. Both staff and the applicant have provided pictures of the visibility of the building to assist the Planning and Zoning Commission in making a decision. Staff should also note that the Planning and Zoning Commission is not limited to approving the variance as presented, and retains discretion with regard to the request. Based on the requirements of the UDC, since the four (4) sided parapet wall is a requirement of the overlay district it will require a super-majority vote of the Planning and Zoning Commission for approval. The Architectural Review Board (ARB) will review the request and forward a recommendation to the Planning and Zoning Commission at the March 12, 2019 Planning and Zoning Commission meeting.

Should this request be approved, the applicant would be required to amend the existing site plan and provide staff with new documents reflecting the changes required by the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions, staff and the applicant will be available at the meeting on March 12, 2019.



City of Rockwall  
Planning and Zoning Department  
Ryan Miller AICP

March 4, 2019

Mr. Ryan,

We are respectfully requesting a variance of the John King Overlay District ordinance for the Cornerstone Church project.

The roof design standards requiring four sided parapets was overlooked by both ourselves and city staff during the site plan approval process and permitting. This was not brought to our attention until recently, after the building and roof were constructed. The only exterior elevation that does not have a parapet is the back wall. Making this change at this late date would be costly and difficult for our client in that the loan and budget was set some time ago. Also, it is our understanding, that the purpose and intent of requiring parapet walls is to hide roof top equipment; we have no roof top mechanical units that a parapet wall would screen. Please accept one of the following recommended solutions:

1. Request this variance due to the project being permitted and constructed.
2. Request this variance with modified landscape as included to help screen parapet walls.
3. Request this variance with both modified landscape and back of parapet walls painted to match the stucco walls.

Thank you for your consideration,

Greg Wallis  
Mershawn Architects









































EXISTING CEDAR AND HACKBERRY




LIVE OAKS (61)  
INSTALLED WITH A MIN. 4" CALIPER



RED BUD (2)  
4' HIGH @ INSTALLATION



INDIAN HAWTHORNE (23)  
PARKING SCREEN  
PLANTS SHALL BE A MINIMUM OF 5-GALLONS W/A MINIMUM HEIGHT @ PLANTING OF 15" & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.



BOXWOOD BUSH (58)  
PLANTS SHALL BE A MINIMUM OF 5-GALLONS W/A MINIMUM HEIGHT @ PLANTING OF 15" & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED, BERMUDA.

IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.

REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

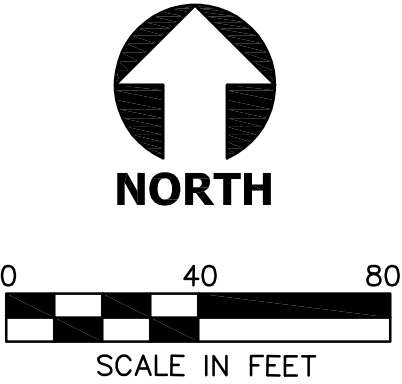
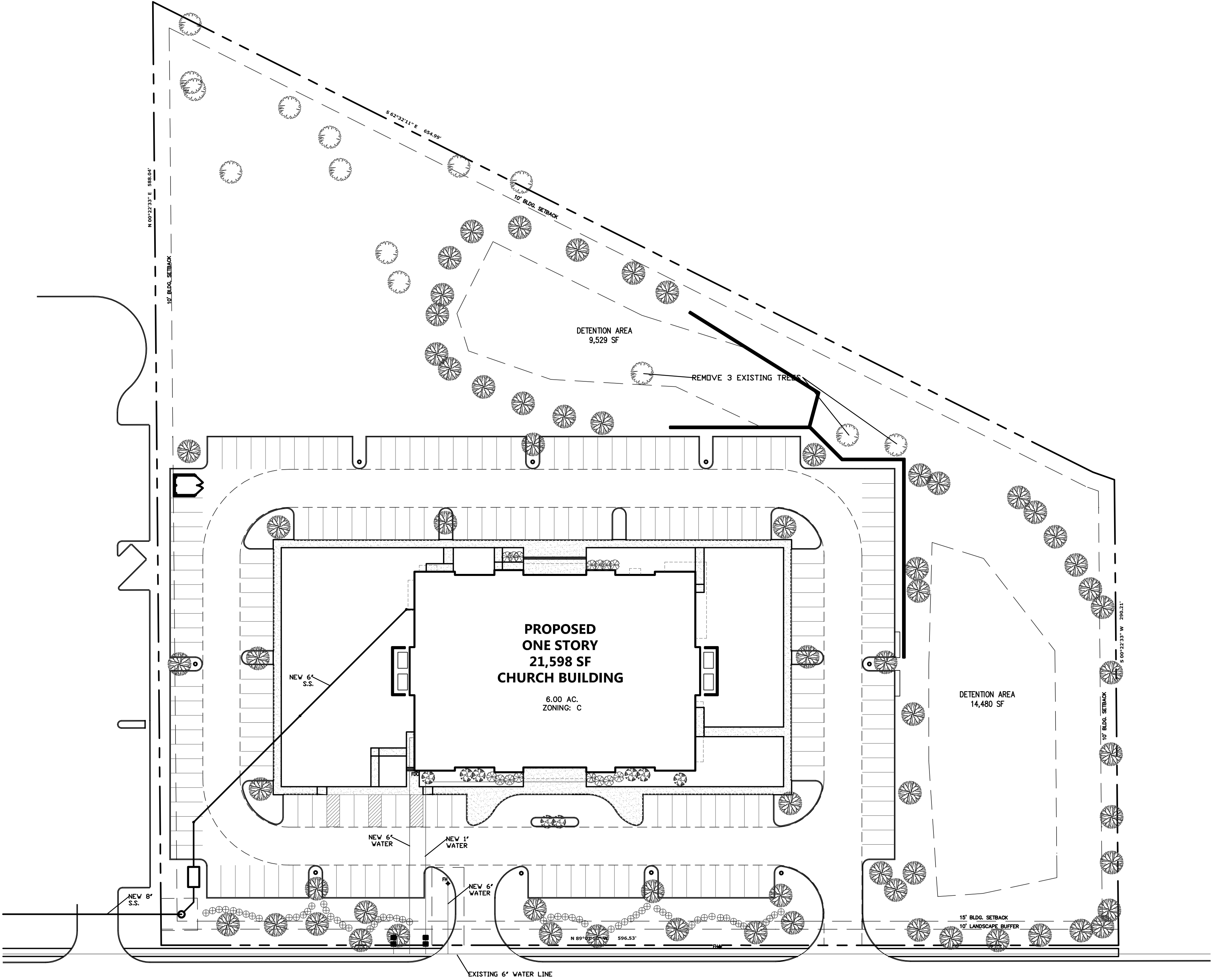
CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.

TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.

THERE IS NO TREE MITIGATION REQUIRED FOR THIS PROPERTY

ABSTRACT NO. 20 -N. BUTLER SURVEY		
1.	ZONING: C -COMERCIAL	
2.	PROPOSED USE: CHURCH	
3.	PROPERTY AREA (GROSS): 261,357.0 SF 6.0 AC	
4.	BUILDING AREA: 21,598 SF	
5.	BUILDING HEIGHT: SINGLE STORY - 37'-0" "	
6.	LOT COVERAGE: 8.3% F.A.R. = 0.008:1	
7.	PARKING REQUIRED: 3 SPACE/SEAT 592/3 = 197 SPACES REQUIRED	
8.	HANDICAP REQUIRED 6 ACCESSIBLE IN 150-200 SPACES 6 ACCESSIBLE PROVIDED	
9.	TOTAL PARKING PROVIDED: 198 SPACES	
10.	TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 100,300 SF	

	REQUIRED	PROVIDED
1.	STREET TREES 1 CANDOPY PER 50'	12 12
2.	SITE TREES - ONE TREE W/ A CALIPER OF AT LEAST 2" FOR EACH 20,000 SF OF PARKING. 1 PER EVERY TEN REQ. PARKING SPACES	20 20
3.	LANDSCAPE BUFFER	10' 10'
4.	SCREENING OF OFF STREET PARKING	YES YES
5.	DETENTION AREA 25,742 SF / 750 SF	34 34
6.	TOTAL LANDSCAPE AREA 10% REQUIRED	39,204 SF 161,057 SF



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ADDRESS 1565 AIRPORT ROAD

OWNER  
CORNERSTONE CHURCH  
1950 ALPHA DRIVE  
ROCKWALL, TEXAS 75087  
214-771-4140  
CASE # (SP2017-025)

RESIDENTIAL RESTAURANTS  
INSTITUTIONAL

MEDICAL COMMERCIAL  
CHURCHES

MERSHAWN ARCHITECTS

2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087

PHONE: 972-722-9302  
FAX : 972-249-2061

No.	Date	Revision	By



CORNERSTONE COMMUNITY CHURCH  
ROCKWALL, TEXAS

LANDSCAPE PLAN

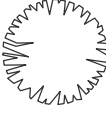
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Date:	08/24/17
Project No.:	170201
Designed:	GW
Drawn:	GW
Checked:	WM

SHEET

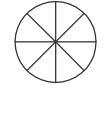
L1

OF


19




EXISTING CEDAR AND HACKBERRY




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INSTALLED WITH A MIN. 4" CALIPER




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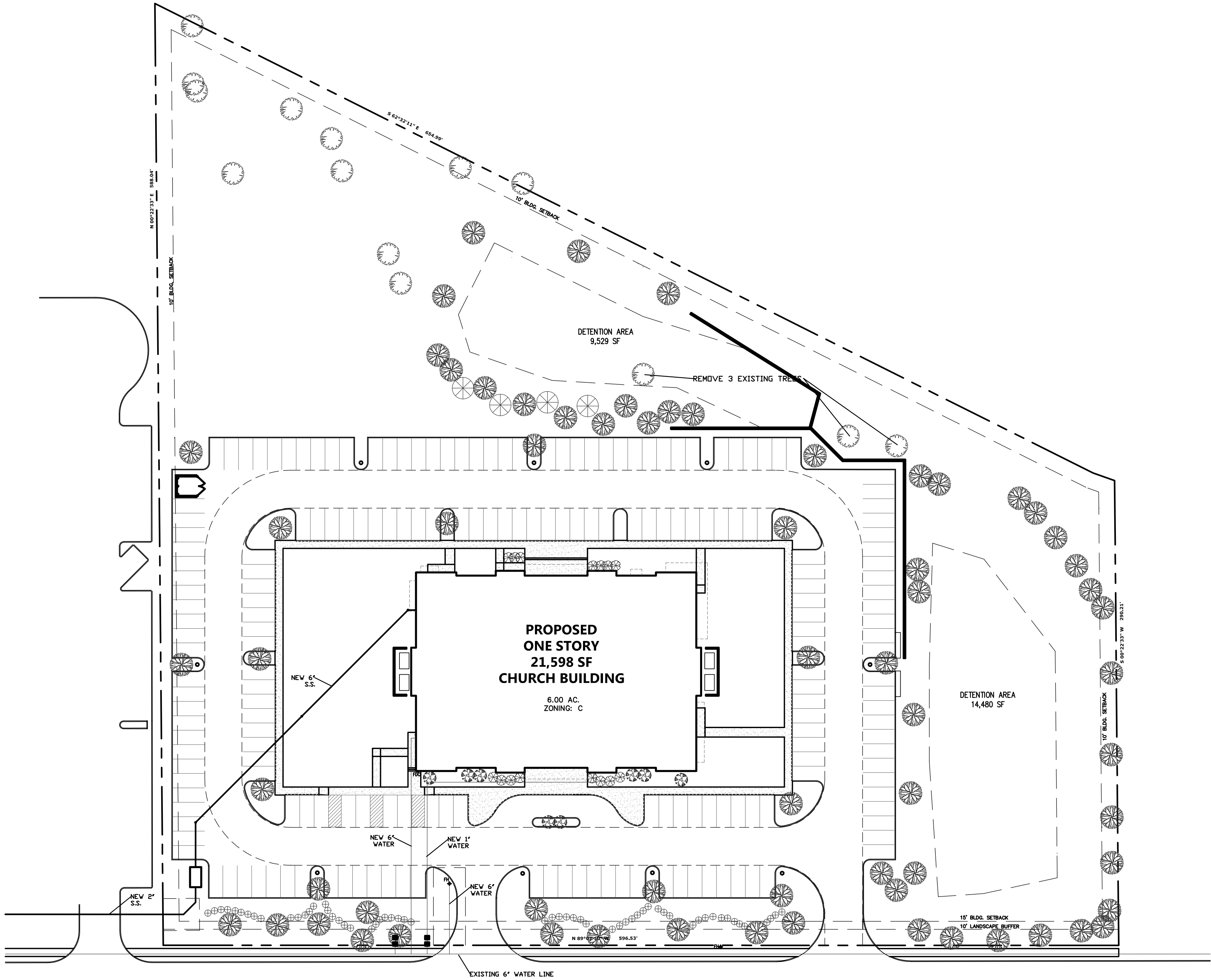
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ROCKWALL, TEXAS

LANDSCAPE PLAN

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Date:	08/24/17
Project No.:	170201
Designed:	GW
Drawn:	GW
Checked:	WM

Wall Independent  
District

Soil  
Conservation  
Service Site  
4a Reservoir

Boles Lake

Chickadee Blvd

Rockwall Blvd

Rockwall Mun

Rockwall County  
Road & Bridge

Johnking Blvd

Cornerstone  
Community Church

Ralph M. Hall  
Municipal  
Airport

Ado

Airport Rd

Airport Rd

Airport Rd

Airport Rd

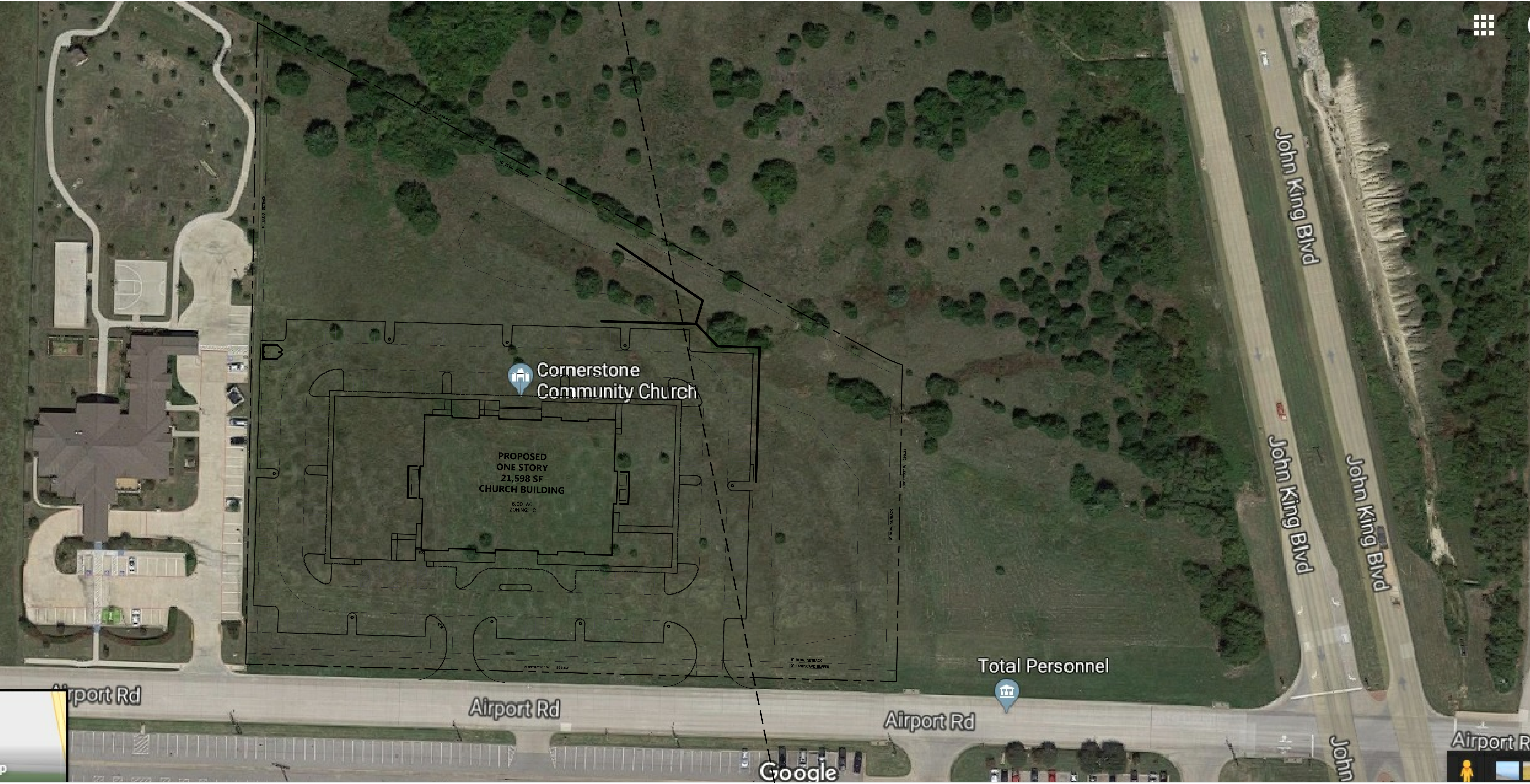
Deer Tuttle  
Athletic Complex

Rockwall Service Center

Rockwall Blvd

Rockwall Blvd







Staff Photo





Staff Photo





Staff Photo



Staff Photo



# City of Rockwall

## Project Plan Review History



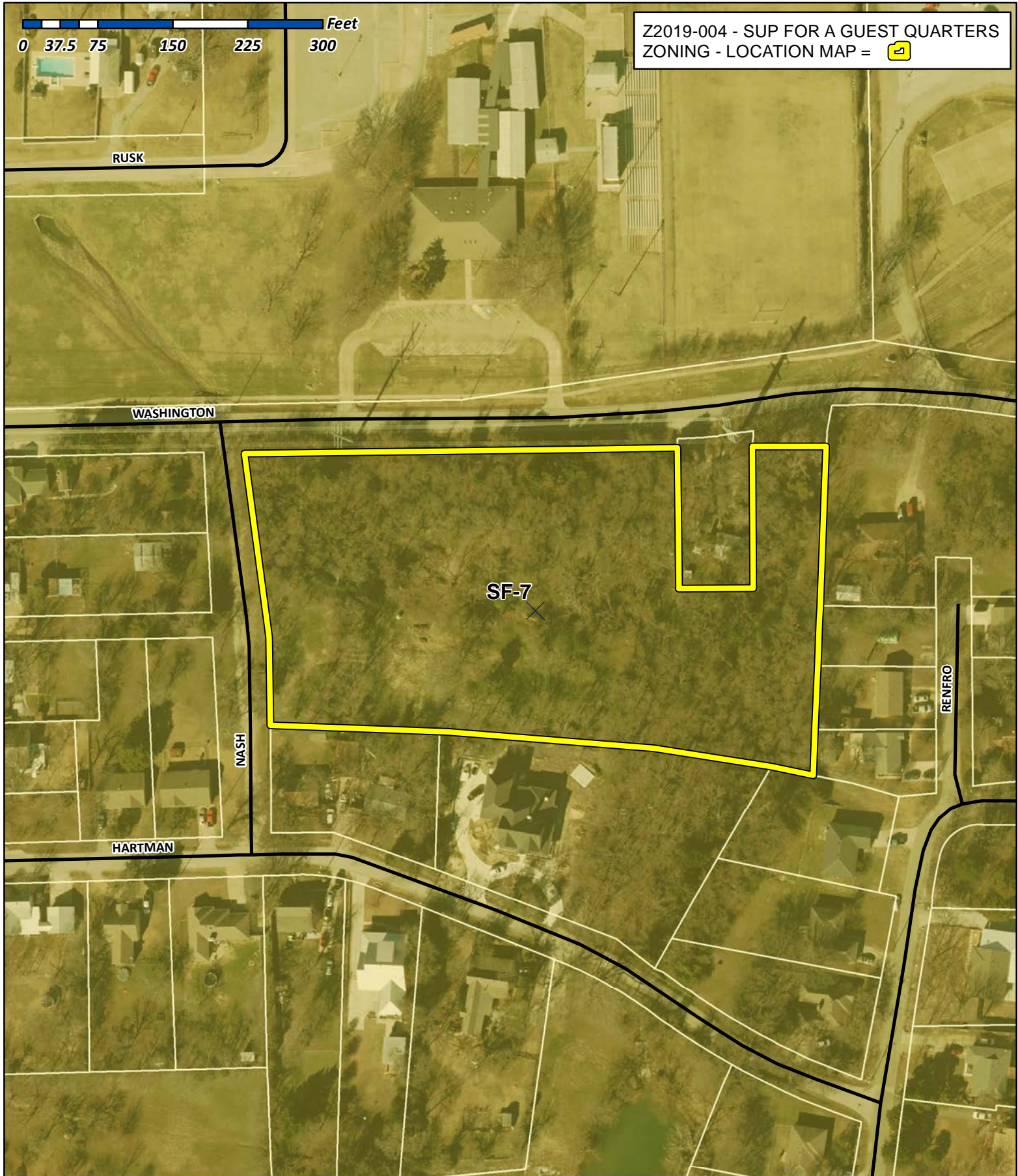
<b>Project Number</b>	Z2019-004	<b>Owner</b>	SANDIE WOOD	<b>Applied</b>	3/14/2019	LM
<b>Project Name</b>	SUP for a Guest Quarters	<b>Applicant</b>	SANDIE WOOD	<b>Approved</b>		
<b>Type</b>	ZONING			<b>Closed</b>		
<b>Subtype</b>	SUP			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	
HARTMAN	ROCKWALL, TX 75087	<b>Zoning</b>

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
RENFRO PLACE NORTH	60-01	NULL	60-01	0029-0000-0060-01-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/14/2019	3/21/2019	3/19/2019	5	APPROVED	
ENGINEERING (3/22/2019 1:22 PM SH) One meter per lot. If planning to keep the lot as one large lot, there can only be one meter.	Sarah Hager	3/14/2019	3/21/2019	3/22/2019	8	APPROVED	
FIRE	Ariana Hargrove	3/14/2019	3/21/2019				
PLANNING Z2019-004 SUP for Quest Quarters Secondary Living Unit Please address the following comments (M= Mandatory Comments; I = Informational Comments). I.1 This is a request by Sandie Wood for the approval of a Specific Use Permit (SUP) for a guest quarters/secondary living unit that does not meet the minimum requirements as stipulated by Article IV, Permissible Uses, of the Unified Development Code (UDC) on a 3.574-acre parcel of land identified as Lot 1, Block A, Wood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 207 Nash Street. I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. M.3 For reference, include the case number (Z2019-004) in the lower right hand corner of all pages on future submittals. M.4 Please review the attached draft ordinance prior to the April 12, 2019 Planning & Zoning Commission meeting. M.5 Please note, the guest quarters can be no larger than 30% of the main structure. M.6 Please note, the garage and the quest quarters will need to be separated. M.7 Please note, the detached garage will need to go to the Board of Adjustments for a variance to the maximum size. M.8 Please note, as presented, this will need to come back to the Planning and Zoning Commission for a masonry exception to use metal as exterior cladding. I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by April 2, 2019. The Planning and Zoning Worksession for this case is March 26, 2019. The Planning and Zoning Meeting for this case is April 9, 2019. I.10 The projected City Council meeting date and subsequent approval for this request is April 15, 2019 and May 6, 2019.	Korey Brooks	3/14/2019	3/21/2019	3/21/2019	7	COMMENTS	Comments





## City of Rockwall

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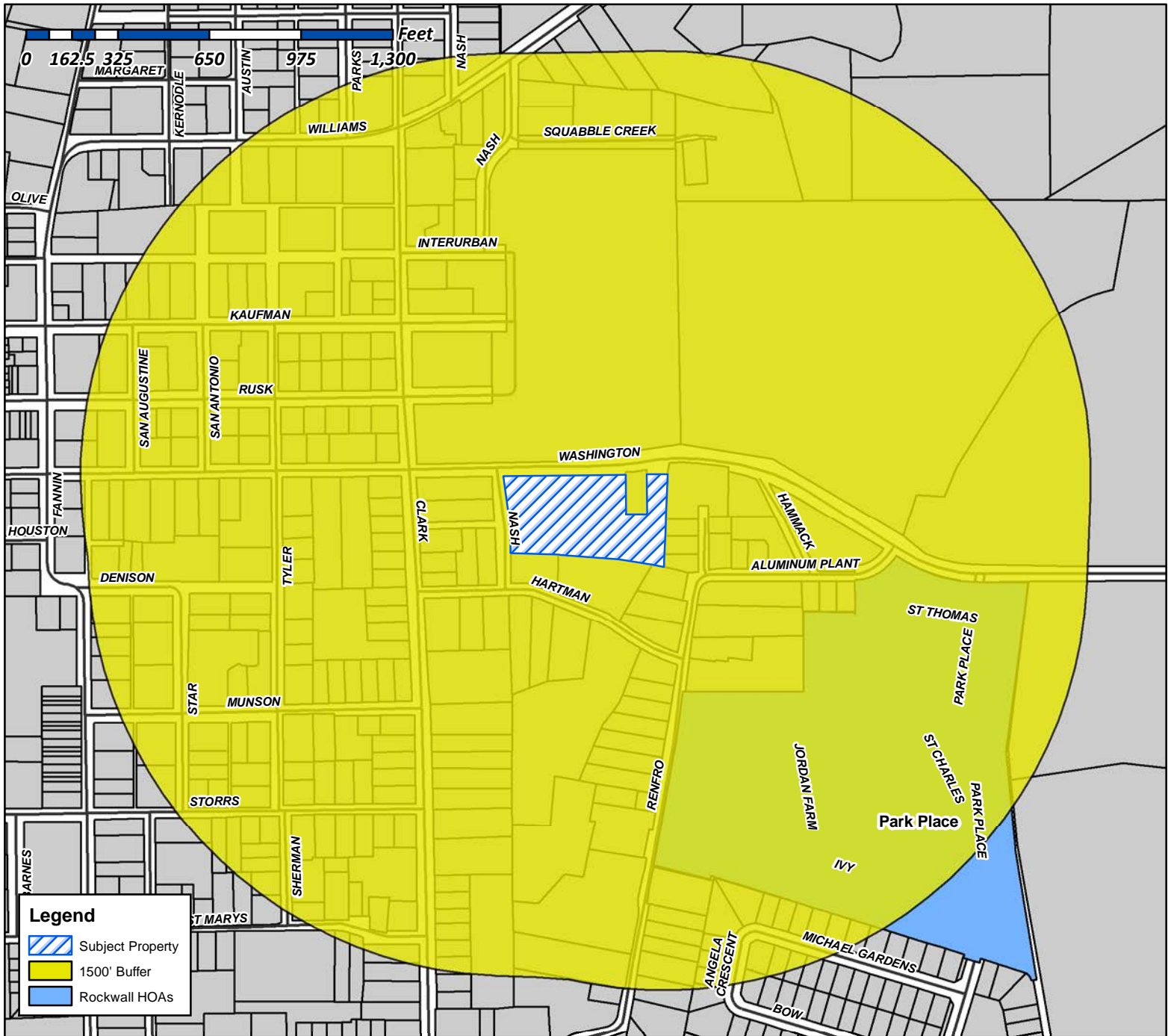




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(P): (972) 771-7745  
(W): www.rockwall.com

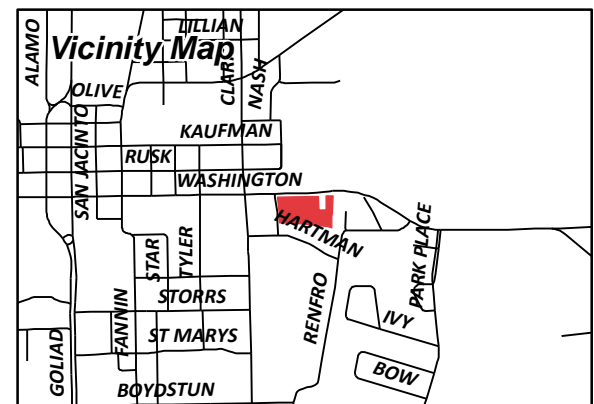
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2019-004  
**Case Name:** SUP for a Guest Quarters  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** East of the Intersection of S. Clark Street and Washington Street

**Date Created:** 3/14/2019

**For Questions on this Case Call** (972) 771-7745



**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Friday, March 22, 2019 1:02:44 PM  
**Attachments:** [PUBLIC NOTICE.PDF](#)  
[HOA Map.pdf](#)

---

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **March 22, 2019**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 4/9/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday 4/15/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

**Z2019-004- Hold a public hearing to discuss and consider a request by Sandie Wood for the approval of a Specific Use Permit (SUP) for a *guest quarters/secondary living unit* that does not meet the minimum requirements as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code (UDC) on a 3.574-acre parcel of land identified as Lot 1, Block A, Wood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 207 Nash Street, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

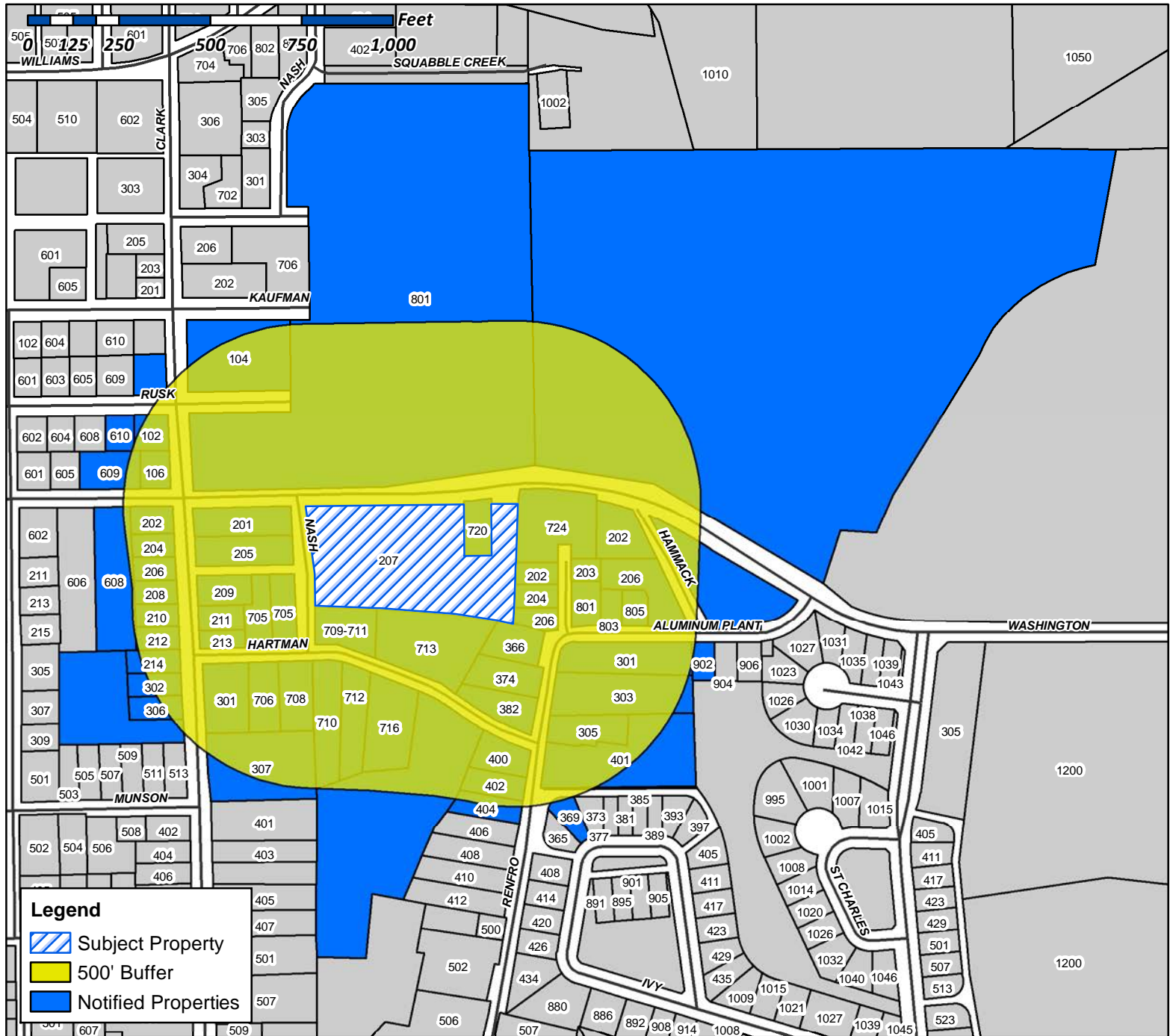
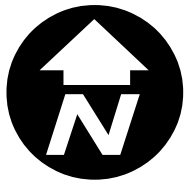
Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[lmorales@rockwall.com](mailto:lmorales@rockwall.com) | <http://www.rockwall.com/planning/>



# City of Rockwall

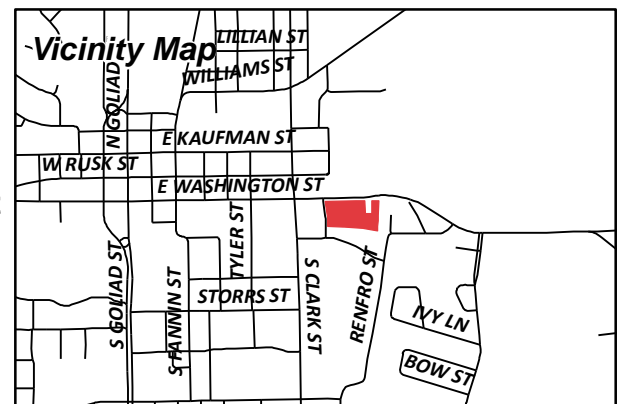
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Date Created:** 3/14/2019  
**For Questions on this Case Call** (972) 771-7745





MASSEY GREGORY  
102 S CLARK  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

GATES ROBERT V & CHRISTI C  
104 S CLARK ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
106 S CLARK ST  
ROCKWALL, TX 75088

TAH MS BORROWER LLC  
C/O TRICON AMERICAN HOMES LLC  
1508 BROOKHOLLOW DRIVE  
SANTA ANA, CA 92705

CURRENT RESIDENT  
201 S CLARK ST  
ROCKWALL, TX 75088

CURRENT RESIDENT  
202 HAMMACK LN  
ROCKWALL, TX 75088

CURRENT RESIDENT  
202 RENFRO ST  
ROCKWALL, TX 75088

RICH LISA  
202 S CLARK ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
203 RENFRO ST  
ROCKWALL, TX 75088

CURRENT RESIDENT  
204 RENFRO ST  
ROCKWALL, TX 75088

CURRENT RESIDENT  
204 S CLARK ST  
ROCKWALL, TX 75088

HENRY AMANDA A  
205 S CLARK  
ROCKWALL, TX 75087

CURRENT RESIDENT  
206 HAMMACK LN  
ROCKWALL, TX 75088

ESPINOZA MARCELA P AND ROLAND  
206 RENFRO ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
206 S CLARK ST  
ROCKWALL, TX 75088

CURRENT RESIDENT  
207 S NASH ST  
ROCKWALL, TX 75088

CURRENT RESIDENT  
208 S CLARK ST  
ROCKWALL, TX 75088

LEFERE KEVIN M AND  
AMANDA HENRY  
209 S CLARK ST  
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP, A TEXAS LTD  
PARTNERSHIP  
210 GLENN AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
210 S CLARK ST  
ROCKWALL, TX 75088

WILKINSON LYNN L & CHAD DAVID  
211 S CLARK ST  
ROCKWALL, TX 75087

ZAKEM KYNSIE JO  
212 S CLARK ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
213 S CLARK ST  
ROCKWALL, TX 75088

SIMPSON MELISSA HUFFAKER  
214 S CLARK ST  
ROCKWALL, TX 75087

LIGHTFOOT MARSHALL K AND CYNTHIA DAWN  
256 WINDY LN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
301 RENFRO ST  
ROCKWALL, TX 75088

CAUBLE LINDA  
301 S CLARK ST  
ROCKWALL, TX 75087

BURGESS JULIA ANN  
302 S CLARK ST  
ROCKWALL, TX 75087

CHERRY JOHN T  
303 RENFRO STREET  
ROCKWALL, TX 75087

MCMILLAN TAYLOR KATHRYN  
303 WILLIAMS ST  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA EXTRUSIONS CORP  
ATTN BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

PRATER SAMUEL LEE AND LAUREN NICOLE  
305 RENFRO ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
306 S CLARK ST  
ROCKWALL, TX 75088

RIDDLE TYLER AND MEGAN L  
307 S CLARK  
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI  
309 GLENN AVE  
ROCKWALL, TX 75087

STRADTMANN TROY H  
366 RENFRO ST  
ROCKWALL, TX 75087

MEYER DAVID JAMES AND ALETA KAY  
369 JORDAN FARM CIRCLE  
ROCKWALL, TX 75087

KOCH JEAN  
3720 MEDITERRANEAN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
374 RENFRO ST  
ROCKWALL, TX 75088

HALL JESSIE MARIE AND  
JAMIE KATE HALL  
382 RENFRO ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
400 RENFRO ST  
ROCKWALL, TX 75088

CLARK JERRY W & PAMELA  
401 RENFRO ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
402 RENFRO ST  
ROCKWALL, TX 75088

CURRENT RESIDENT  
404 RENFRO ST  
ROCKWALL, TX 75088

SAMPLES ELVA NELL  
502 RENFRO ST  
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI  
508 HIGHVIEW  
ROCKWALL, TX 75087

DEFRANCO JOHN SCOTT  
5710 SOUTHERN CROSS DR  
ROCKWALL, TX 75032

MUNSON PARTNERS 1 LLC  
608 E WASHINGTON  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
608 E WASHINGTON  
ROCKWALL, TX 75087

JONES CLYDE AND CHRISTY  
608 E WASHINGTON  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
608 E WASHINGTON  
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK ST  
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET  
609 EAST WASHINGTON STREET  
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN  
610 E RUSK ST  
ROCKWALL, TX 75087

RUFF DAVE & ANNE  
6105 LAKESHORE DR  
ROWLETT, TX 75089

RUFF DAVID & ANNE  
6105 LAKESHORE DR  
ROWLETT, TX 75089

CURRENT RESIDENT  
705 HARTMAN ST  
ROCKWALL, TX 75088

CURRENT RESIDENT  
705 HARTMAN ST  
ROCKWALL, TX 75088

CURRENT RESIDENT  
706 HARTMAN ST  
ROCKWALL, TX 75088

SHELTON HEATHER  
708 HARTMAN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
709-711 HARTMAN ST  
ROCKWALL, TX 75088

RENDON MARCELINO J JR  
710 HARTMAN ST  
ROCKWALL, TX 75087

ANDERSON TREVOR  
711 HARTMAN ST  
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN  
712 HARTMAN ST  
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER  
713 HARTMAN  
ROCKWALL, TX 75087

HOOVER LINDA WEST-  
716 HARTMAN STREET  
ROCKWALL, TX 75087

CURRENT RESIDENT  
720 E WASHINGTON  
ROCKWALL, TX 75088

CURRENT RESIDENT  
724 E WASHINGTON ST  
ROCKWALL, TX 75088

DANIEL MICHAEL D  
801 ALUMINUM PLANT RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
801 E WASHINGTON  
ROCKWALL, TX 75088

WISE ALICE  
803 ALUMINUM PLANT ROAD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
805 ALUMINUM PLANT RD  
ROCKWALL, TX 75088

COX GERALD GLEN AND ROSALBA CARRASCO  
815 T L TOWNSEND O  
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE  
8718 CLEARLAKE DR  
ROWLETT, TX 75088

WARDELL JOHN AND  
JAKE WARDELL  
880 IVY LN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
902 ALUMINUM PLANT RD  
ROCKWALL, TX 75088

RUSHING JOE L & DONNA S  
9414 SHEARER ST  
ROWLETT, TX 75088

My name is Sandie Wood. I am Chase's mother. I am typing to the Board Of Adjustment this letter to give you a little background on why we are requesting the board to consider approving the adjustment for the Wood Estates. We are asking the Board Of Adjustment to approve the request in allowing us to build a 40 x 50 steel garage located at 207 S. Nash, Rockwall, Texas.

In four years, my youngest son will graduate Rockwall High School to go to college and move into a dormitory with other students. My middle son, however, can't make a similar choice to live with his peers. Chase, now 19, was born with Down Syndrome. Chase at this time can't live on his own in an apartment like his older brother that graduated from Rockwall High School. Chase had asked us why can't he have a place of his own and have his friends come over like his older brother. Chase then said "I will come visit you mom like Austin does". What do you say accept turn your head and cry at the situation. How do you explain to your son that he still needs to live with his parents because of his Intellectual Disability and his Life Skills need supervision. While his entire life you teach him and raise him with out a disability. That just breaks a mother's heart knowing that Chase can't live on his own at this time without supervision because of his social skills and his intellectual disability.

After that I was on a mission to find property on the Northside of Rockwall where Chase is very familiar with the surroundings and making this his home for a very long time to come. We found a needle in a hay stack and found the property ( 207 S. Nash) after two in a half years of cleaning the property , we are finally able to build and ran into a snag our steel garage is larger then what the size that the city allows unless the board approves it under this hardship we are hoping after you read this letter the board will approve the request and allow us to build the garage the way we have it on the plans. Please don't have me explain to Chase again why he won't have a "place of his own" for him and his friends to hang out.

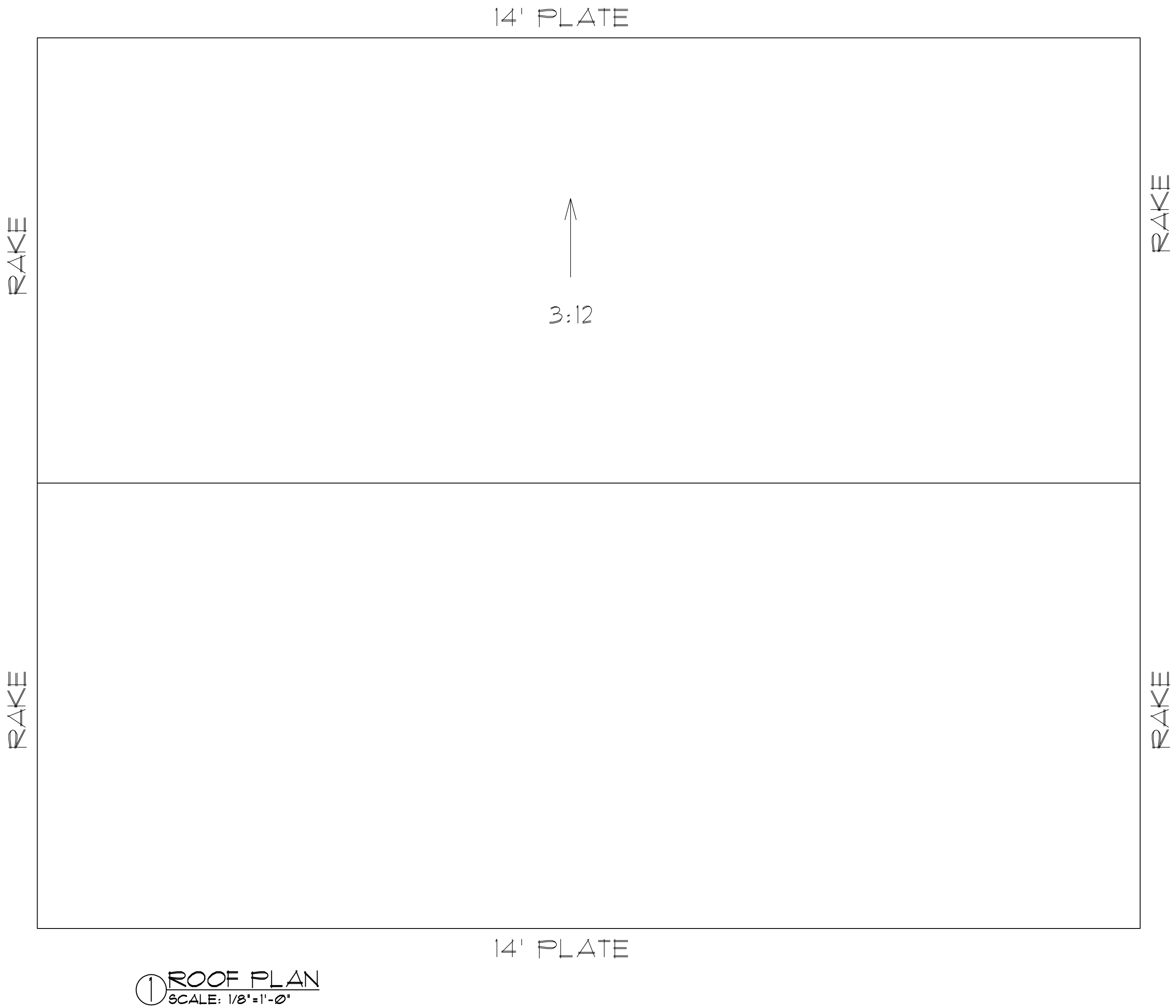
Chase has become a major role in some of the changes that occurred with sports starting at middle school and ending at the high school level. As well as helping the Community Parks and Recreation Center starting with new programs for families with Intellectual Disabilities to participate in activities that are offered to typical citizens. Chase may have been born with Down Syndrome but that has not stopped him from being active in the community and making changes. This is why your decision as a whole is important to our family because we want a safe place for our son to grow as an adult in the Rockwall Community and feel that he has a private place that he can go to for privacy and entertaining his friends that also have Intellectual Disabilities and Physical Disabilities in our community. Chase has enough in life to be challenged with please don't make this another obstacle for him.

I will attend the meeting in case you have any additional questions that you may have for me that I can help answer. Thank you in advance for your time and consideration.

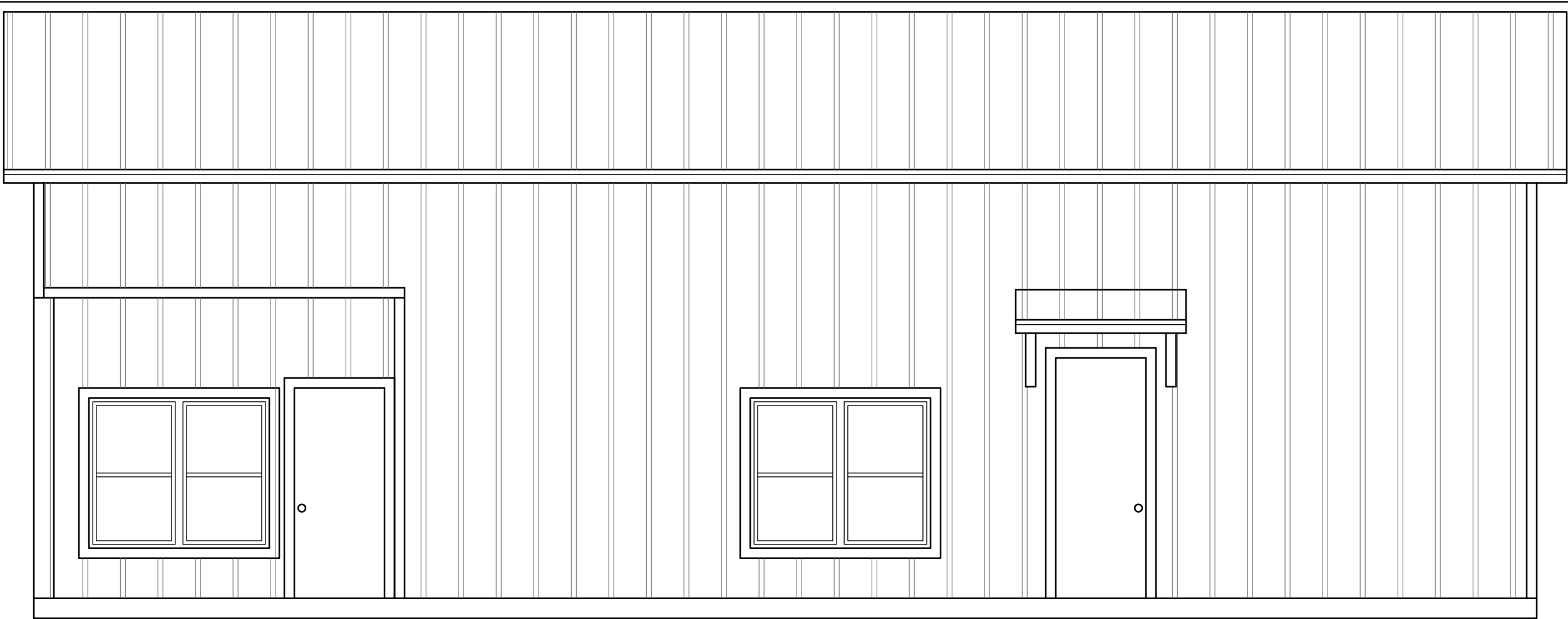
Sincerely,

Sandie Wood

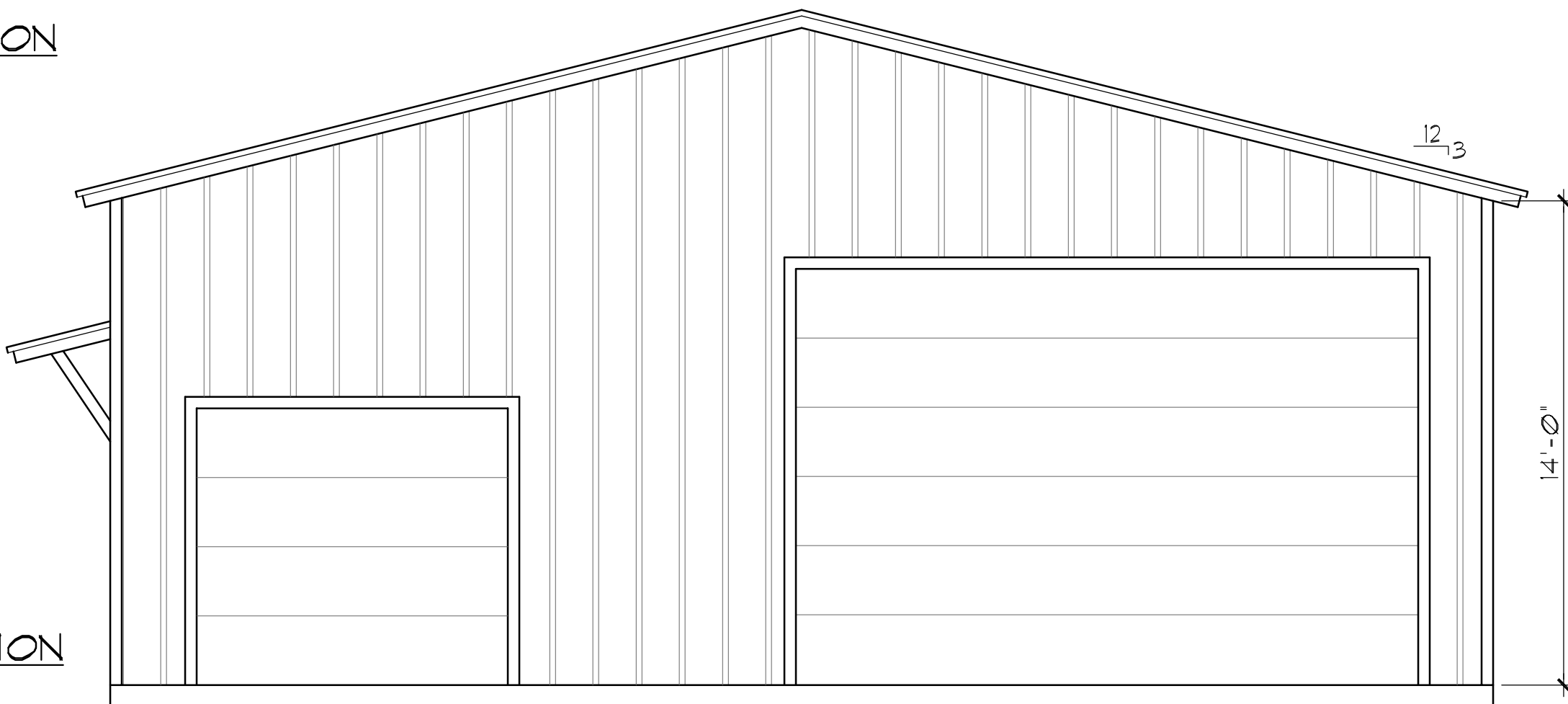




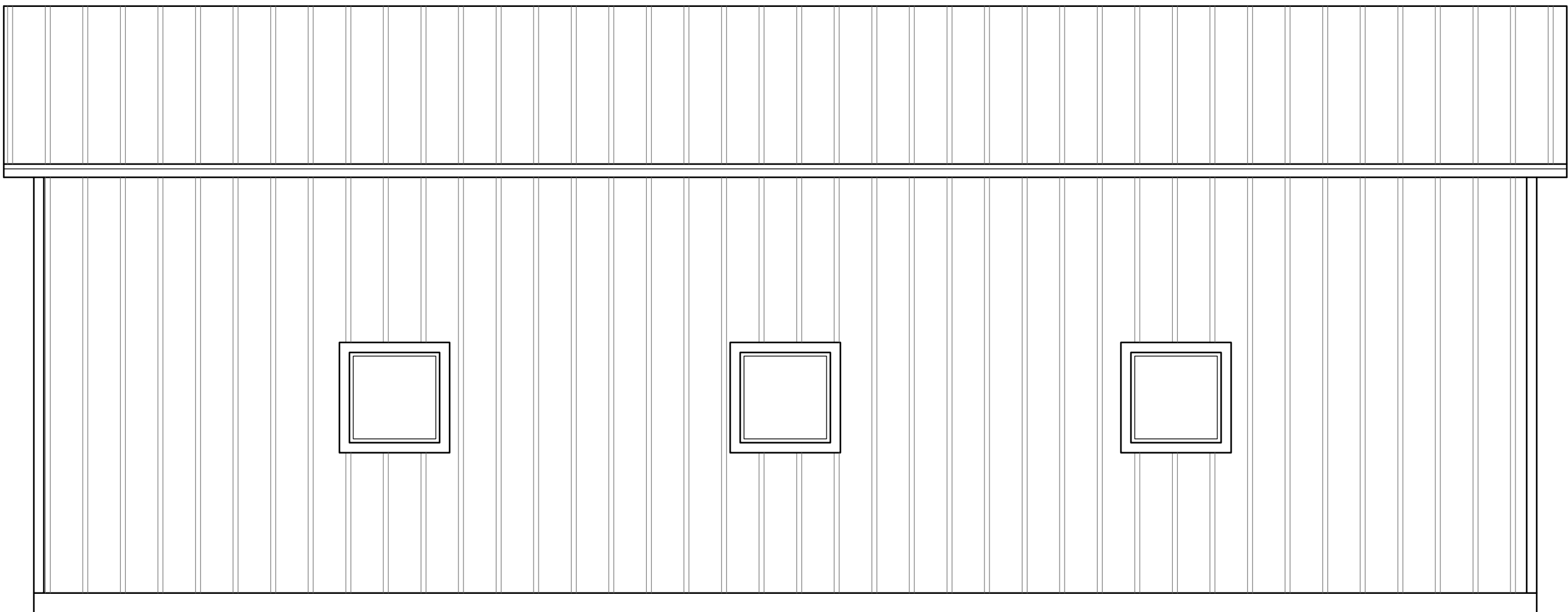
① ROOF PLAN  
SCALE: 1/8"=1'-0"



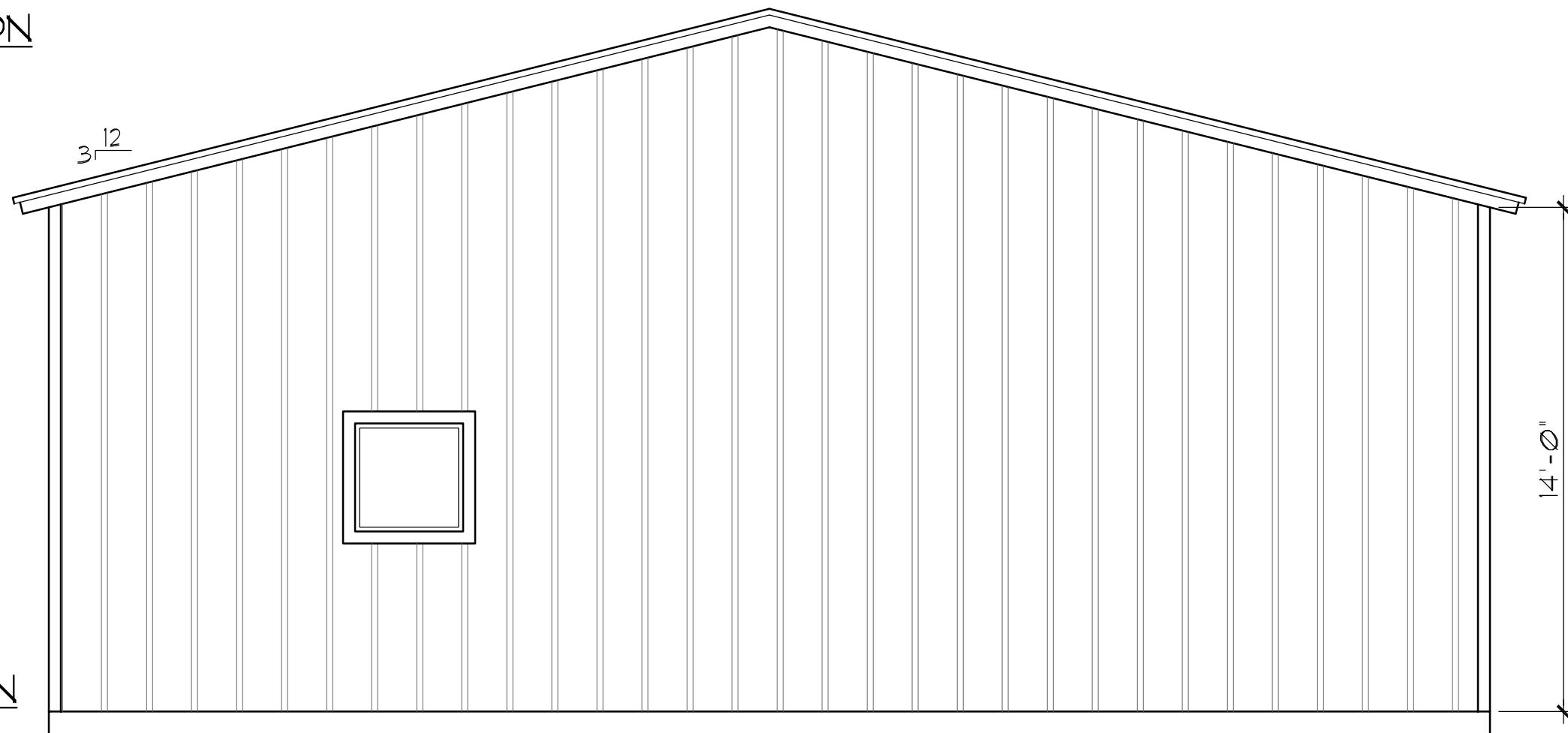
② FRONT ELEVATION  
SCALE: 1/4"=1'-0"



③ RIGHT ELEVATION  
SCALE: 1/4"=1'-0"



④ REAR ELEVATION  
SCALE: 1/4"=1'-0"



⑤ LEFT ELEVATION  
SCALE: 1/4"=1'-0"

WOOD RESIDENCE  
BILL & SANDIE  
207 SOUTH NASH  
ROCKWALL, TEXAS

TITLE:  
GARAGE ROOF & ELEVATIONS

SCALE:  
AS SHOWN

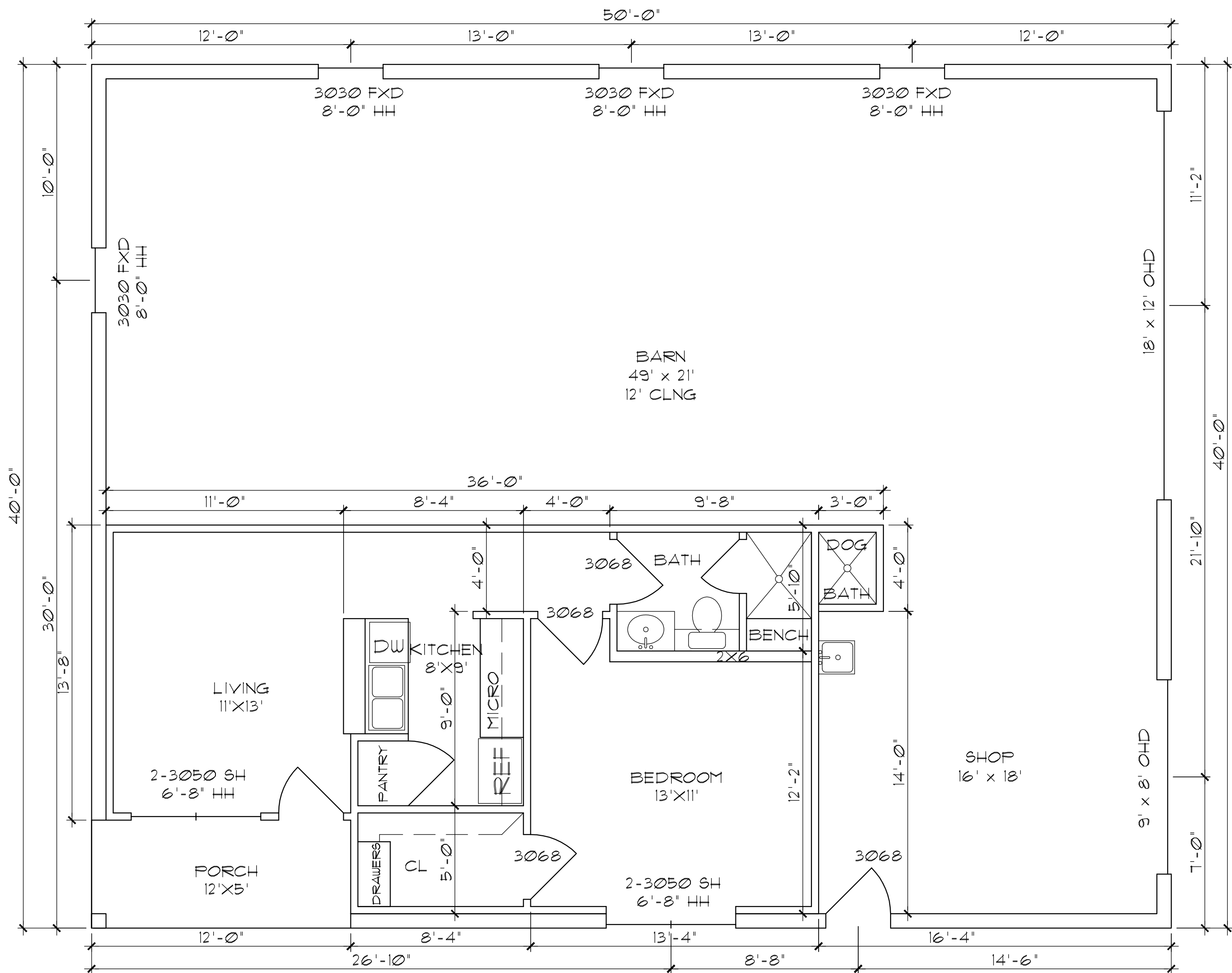
SHANNON NEUSOM  
CADAZIGN  
3709 C.R. 2522  
ROYSE CITY, TEXAS 75189  
469-338-9863

DATE  
02/05/19

REVISION DATE:  
.

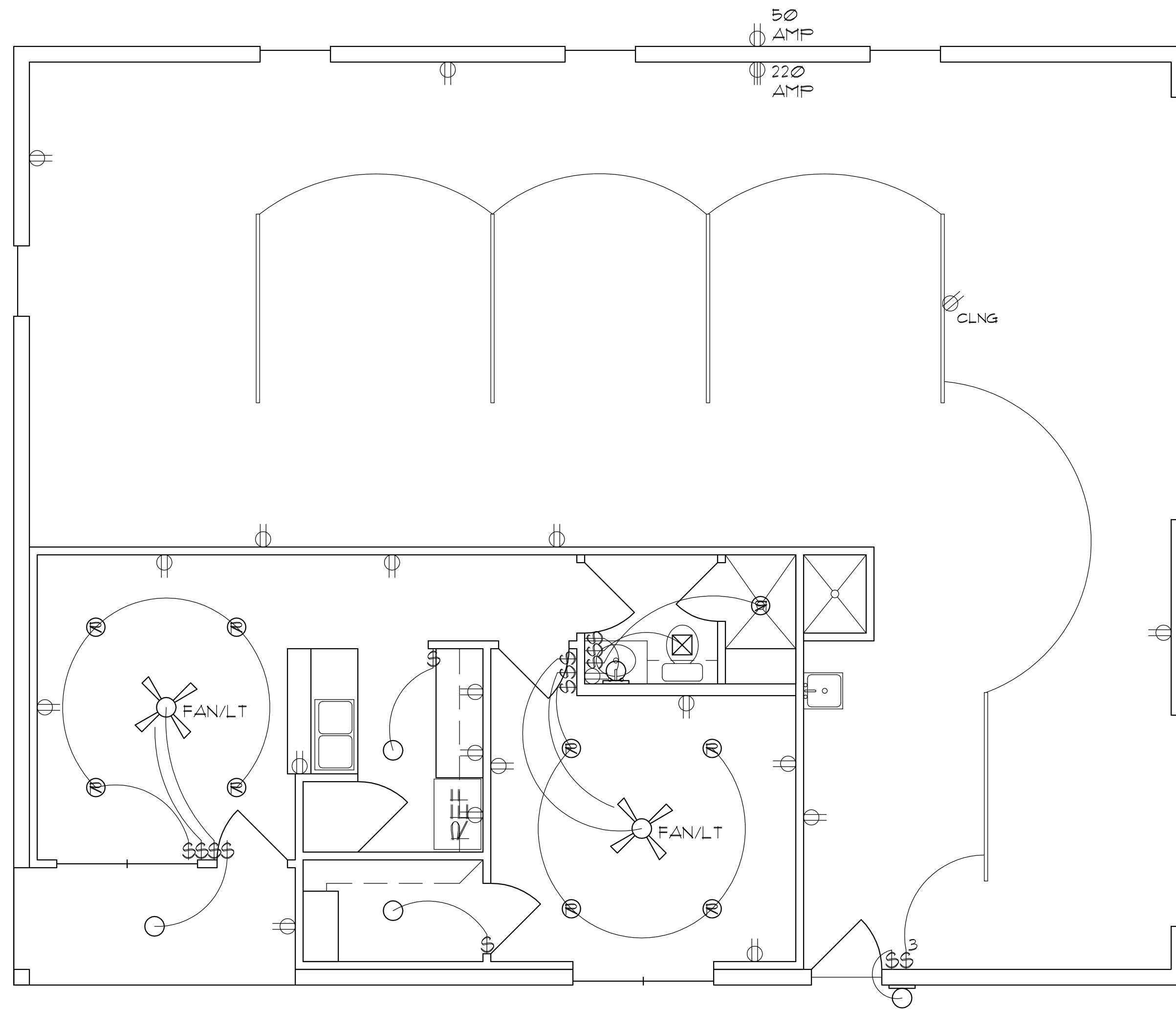
SHEET  
A5

JOB NO.  
15418CAD



① GARAGE - FLOOR PLAN  
SCALE: 1/4"=1'-0"

GARAGE AREAS	
GARAGE	1372#
APARTMENT	568#
COVERED PORCH	60#
TOTAL AREA	2000#



② GARAGE - ELECTRICAL PLAN  
SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND	
SW	SWITCH
SW-D	SWITCH W/ DIMMER
SW-3W	SWITCH - 3 WAY
110	110 OUTLET
110-F	110 OUTLET - FLOOR PLUG
110-WP	110 OUTLET - WEATHER PROOF
110-XX'	110 OUTLET - XX' ABOVE FINISHED FLOOR
110-GFCI	110 OUTLET - GROUND FAULT CIRCUIT INTERRUPT
110-CLNG	110 OUTLET - CEILING MOUNTED
220	220 OUTLET
WALL	WALL FIXTURE
MOISTURE	MOISTURE PROOF FIXTURE
CEILING	CEILING FIXTURE
FAN/LT	CEILING FAN W/ LIGHT
FAN	CEILING FAN
RECESSED	RECESSED LED
MINI CAN	MINI CAN LED
VOICE / DATA	VOICE / DATA
EXHAUST	EXHAUST FAN
DISP	DISPOSER
SMOKE	SMOKE DETECTOR
MOTION	MOTION SENSOR EXTERIOR LIGHTING
LANDSCAPE	LANDSCAPE UP-LIGHTS
UNDER COUNTER	UNDER COUNTER LIGHT
SPEAKER	SPEAKER
TELEVISION	TELEVISION CABLE
8'	8' LED LIGHTING

WOOD RESIDENCE  
BILL & SANDIE  
207 SOUTH NASH  
ROCKWALL, TEXAS

TITLE:  
GARAGE PLANS

SCALE:  
AS SHOWN

SHANNON NEUSOM  
MARK NEUSOM  
CADAZIGN  
3709 C.R. 2522  
ROYSE CITY, TEXAS 75189  
469-338-9863

DATE  
02/05/19

REVISION DATE:  
.

SHEET  
A6

JOB NO.  
15418CAD



WOOD RESIDENCE  
BILL & SANDIE  
207 SOUTH NASH  
ROCKWALL, TEXAS

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *GUEST QUARTERS/SECONDARY LIVING UNIT* IN A SINGLE-FAMILY 7 (SF-7) DISTRICT, SITUATED ON A 3.574-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, WOOD ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Sandie Wood for the approval of a Specific Use Permit (SUP) to allow a *guest quarters/secondary living unit* in a Single-Family 7 (SF-7) District on a 3.574-acre parcel of land being described as Lot 1, Block A, Wood Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 207 Nash Street, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *guest quarters/secondary living unit* as stipulated by Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*], on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 3.09, *Single-Family 7 (SF-7) District*, of Section 3, *Residential Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended and as may be amended in the future, and shall be subject to the following:



## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *guest quarters/secondary living unit* on the *Subject Property* and conformance to these conditions is required for continued operations:

- 1) The *guest quarters/secondary living unit* shall generally conform to the concept plan and building elevations depicted in *Exhibits 'B' & 'C'* and of this ordinance;
- 2) The *guest quarters/secondary living unit* shall not be utilized for a non-residential land use.
- 3) The *guest quarters/secondary living unit* shall be ancillary to the primary use.
- 4) The *guest quarters/secondary living unit* shall not to exceed 568 SF.
- 5) The *guest quarters/secondary living unit* shall not be combined with any other use.
- 6) The *guest quarters/secondary living unit* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF MAY, 2019.

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

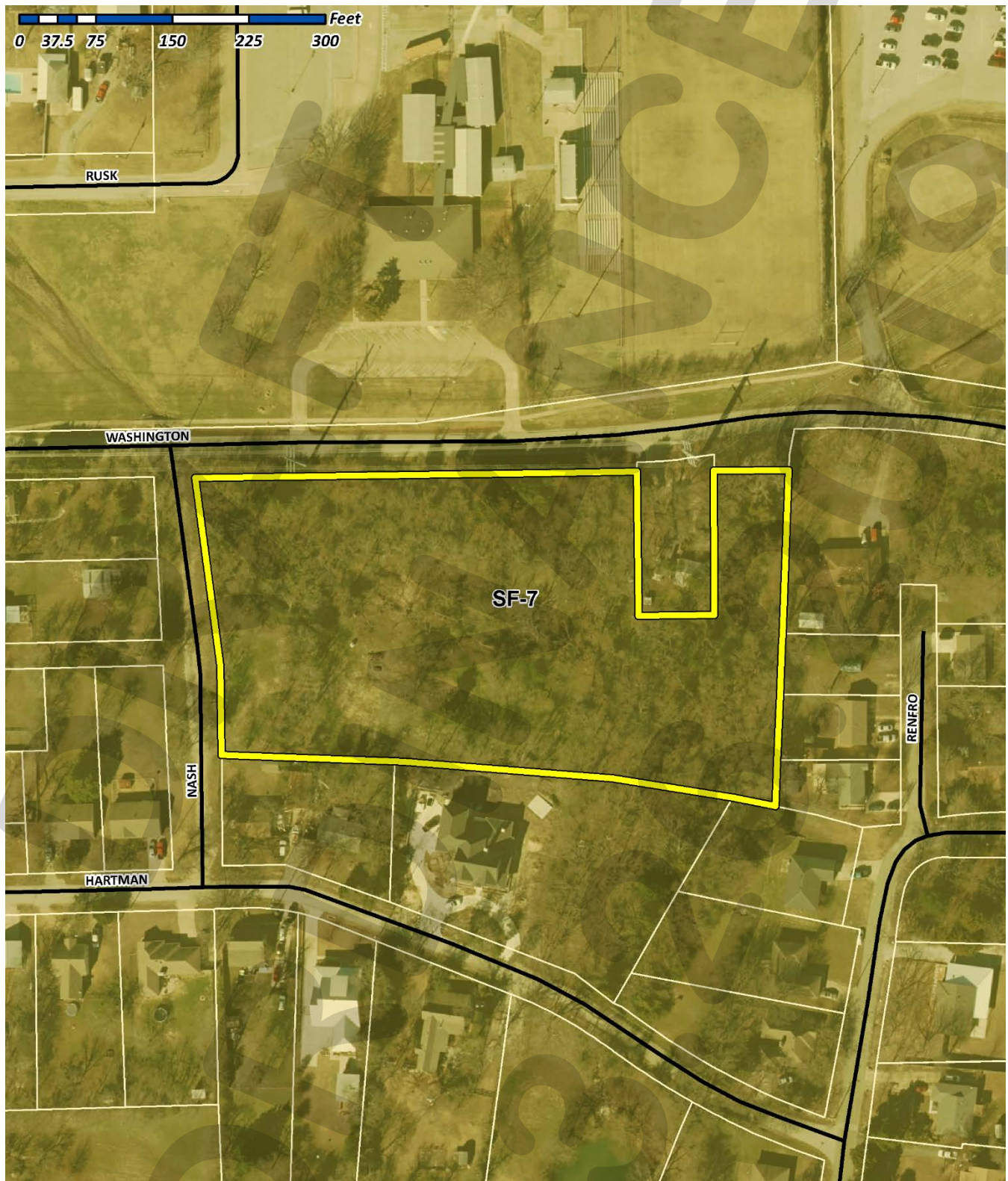
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2019

2<sup>nd</sup> Reading: May 6, 2019

Address: 207 S. Nash Street  
Legal Description: Lot 1, Block A, Wood Estates Addition





# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	Z2019-005	<b>Owner</b>	ROCKWALL, HIGHGATE LTD	<b>Applied</b>	3/15/2019	LM
<b>Project Name</b>	Heritage Park	<b>Applicant</b>	DONAHUE DEVELOPMENT CORP	<b>Approved</b>		
<b>Type</b>	ZONING			<b>Closed</b>		
<b>Subtype</b>	PD			<b>Expired</b>		
<b>Status</b>	NEED REVISIONS			<b>Status</b>	3/20/2019	RM

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
HWY205	ROCKWALL, TX 75032	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	17-15		17-15	0080-0000-0017-15-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/19/2019	3/26/2019	3/19/2019		APPROVED	
ENGINEERING (3/22/2019 11:51 AM SH) - 4% Engineering Inspection Fees - Impact Fees - Min Easement is 20' wide - TXDOT permit required and TIA. - NTMWD approval of crossing required. - FEMA flood study required. Review fees apply. - Must detain if increasing flow to the floodplain and water surface elevation off property increases. - Wetlands study required for the ponds. - 12" water line must be placed from SH 205 and Lofland through the site. See attached sheets. - Long Branch Lift Station Construction required. - Construct 24' of Cullens road or ESCROW at 115%. - Reserve 4-lane thoroughfare for FM 549. - SH 205 to be a future 6-lane roadway. - 50' ROW for all residential streets. - All roadway adjacent to parks to be 41' Back-to-back of curb with additional ROW. - Erosion Hazard Setback Required. - Upgrade Lift Stations FM 3097 #1 and #2. - Lift Station pro-rata = \$432.74/acre - Need to meet TxDOT roadway/driveway spacing requirements - ROW dedication along Travis/Cullins must be 30' from Centerline. - Must meet all Rockwall Standards of Design and Construction	Sarah Hager	3/15/2019	3/22/2019	3/22/2019	7	APPROVED	



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	Kevin Clark	3/15/2019	3/22/2019	3/22/2019	7	APPROVED	
PLANNING	Ryan Miller	3/15/2019	3/22/2019	3/20/2019	5	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2019-005; Zoning Change (AG to PD) for Heritage Park						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
<p>I.1 This is a request for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land use: on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-4 [26.452-acres], 17-15 [134.33-acres], 17-16 [43.6-acres], &amp; 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.</p> <p>I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email <a href="mailto:rcmiller@rockwall.com">rcmiller@rockwall.com</a>.</p> <p>M.3 For reference, include the case number (Z2019-005) in the lower right hand corner of all pages on future submittals.</p> <p>I.4 According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the Southwest Residential District, and according to the Future Land Use Map contained within this document the subject property is designated for Low Density Residential land uses. The proposed zoning request does conform to this designation and appears to conform to the district strategies for the Southwest Residential District; however, zoning does remain a discretionary decision for the City Council.</p> <p>I.5 The OURHometown Vision 2040 Comprehensive Plan stipulates various goals for residential developments. The following aspects of the applicant's proposal do not conform to the stated goals of the City's plan, and could be revised -- per staff's recommendations -- to bring the project closer to conformance with the plan:</p> <p>(1) CH. 1; Section 2.02; Goal #2   Policy #1 (Page 1-2). Where residential uses are proposed through a Planned Development District that abuts an existing residential development, the proposed lots should be the same or a compatible size as the existing lots or be buffered by open space, trails, sidewalks, natural screening, or a roadway.</p> <p>(2) CH. 1; Section 2.02; Goal #2   Policy #3 (Page 1-2). Existing development patterns and surrounding conditions (e.g. lot size, architectural style, public improvements, etc.) should be considered in conjunction with this Comprehensive Plan to determine the appropriate zoning designation for a property.</p> <p>(3) CH. 8; Section 2.02; Goal #1   Policy #2 (Page 8-2). Large residential developments and master planned communities should require differing residential home types, lot sizes and land uses in the overall development plan.</p> <p>(4) CH. 8; Section 2.02; Goal #1   Policy #4 (Page 8-2). Developments should be encouraged to provide a mixture of lot sizes throughout each phase to ensure that maximum value accrues for all properties. This is particularly important in developments that propose clusters of smaller lots.</p> <p>(5) CH. 8; Section 2.02; Goal #1   Policy #5 (Page 8-2). Residential developments should be designed so that smaller residential lots/units are located in the closest proximity to a park and/or open space. This will maximize the value of these lots/units, and allow the open spaces to off-set smaller lot/unit sizes.</p> <p>(6) CH. 8; Section 2.03; Goal #1   Policy #5 (Page 8-3). Design neighborhoods utilizing the Housing Tree Model (i.e. a method of laying out single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision).</p> <p>(7) CH. 8; Section 2.03; Goal #3   Policy #4 (Page 8-4). Require a larger separation between homes to make neighborhoods feel more spacious. This separation should be no less than 12-feet (i.e. six [6] foot side yard building setback) and should be scaled to the height of the home.</p> <p>Based on these goals, staff would make the following recommendationsto the applicant:</p> <p>(1) Provide a larger lot type (e.g. 80-foot lot type) adjacent to FM-549 and SH-205.</p> <p>(2) Locate the 60-foot type adjacent to the parkland and open spaces, as opposed to the 70-foot lot type.</p> <p>(3) Mix the 60-foot and 70-foot lot types as opposed to creating homogenous pods or clusters of one lot type.</p> <p>(4) Change the side yard setback for the 70-foot lot type from five (5) feet to six (6) feet.</p> <p>M.6 Please review the attached draft ordinance prior to the March 26, 2019 Planning &amp; Zoning Commission meeting, and provide staff with your markups by April 2, 2019. In reviewing the draft ordinance, please pay close attention to staff's suggestions, which differ from the applicant's submitted development standards. Specifically, staff has made changes to the following sections in the draft ordinance:</p>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(1) Masonry Materials. The masonry materials have been changed to better reflect the material requirements permitted by the Unified Development Code (UDC), and which have been approved by the City Council in previous zoning cases.</p> <p>(2) Garage Orientation. The garage orientation wording has been modified. Staff would recommend that the applicant provide picture examples of the proposed upgraded finishes to better convey the intent of this section.</p> <p>(3) Anti-Monotony. The anti-monotony standards were drafted in accordance with Planned Development District 63 (PD-63). These standards were similar to what was outlined in the applicant's submitted development standards.</p> <p>(4) Fencing. Staff used common language included in the majority of the City's other Planned Development Districts in the fence standards section. This differs slightly from what was outline in the applicant's submittal.</p> <p>(5) Landscape Buffers. Based on past zoning cases approved by the City Council, staff recommends that the applicant consider increasing the landscape buffers along FM-549 and SH-205 to 50-feet to allow for larger berms and buffers to be incorporated adjacent to lots backing to these major roadways. In addition, landscaping standards similar to the landscaping standards for residential properties in the SH-205 By-Pass Overlay (SH-205 BY OV) District (i.e. John King Boulevard) should be incorporated for noise attenuation. As an alternative, the plan could be amended to reorient these homes to face onto a slip street that runs parallel to these roadways.</p> <p>I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 2, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 9, 2019 Planning &amp; Zoning Meeting. The Planning &amp; Zoning Work Session meeting will be held on March 26, 2019.</p> <p>I.8 The projected City Council meeting dates for this case will be April 15, 2019 [1st Reading] &amp; May 6, 2019 [2nd Reading].</p>						





F.M. 549  
60' ROW from CI

STATE HWY 205  
60' ROW from CI

Cullins

30' ROW Dedication  
for Travis/Cullins  
from Centerline

±363  
RESIDENTIAL LOTS  
±114 ACRES  
(223 60' LOTS)  
(140 70' LOTS)

±182  
RESIDENTIAL LOTS  
±57 ACRES  
(100 60' LOTS)  
(82 70' LOTS)

- 4% Engineering Inspection Fees
- Impact Fees
- Min Easement is 20' wide
- TXDOT permit required and TIA.
- NTMWD approval of crossing required.
- FEMA flood study required. Review fees apply.
- Must detain if increasing flow to the floodplain and water surface elevation off property increases.
- Wetlands study required for the ponds.
- 12" water line must be placed from SH 205 and Lofland through the site. See attached sheets.
- Long Branch Lift Station Construction required.
- Construct 24' of Cullens road or ESCROW at 115%.
- Reserve 4-lane thoroughfare for FM 549.
- SH 205 to be a future 6-lane roadway.
- 50' ROW for all residential streets.
- All roadway adjacent to parks to be 41' Back-to-back of curb with additional ROW.
- Erosion Hazard Setback Required.
- Upgrade Lift Stations FM 3097 #1 and #2.
- Lift Station pro-rata = \$432.74/acre
- Neet to meet TxDOT roadway/driveway spacing requirements
- ROW dedication along Travis/Cullins must be 30' from Centerline.
- Must meet all Rockwall Standards of Design and Construction

LEGEND	
	70' LOTS
	60' LOTS
	PUBLIC PARK
	ROADWAY





**CITY OF ROCKWALL, TEXAS  
WASTEWATER COLLECTION SYSTEM  
MASTER PLAN**

HIRKHOFF, HENDRICKS & CARTER, L.L.P.  
PROFESSIONAL ENGINEERS  
JUNE 2014  
REVISED NOVEMBER 2016

**LEGEND**

EXISTING PARCELS

EXISTING FLOOD PLAIN

EXISTING MANHOLE & NUMBER

NTMWD MANHOLE & NUMBER

EXISTING MANHOLE & NUMBER  
(TO BE ABANDONED)

PROPOSED MANHOLE & NUMBER

EXISTING GRAVITY SANITARY SEWER  
PIPE & SIZE

EXISTING FORCE MAIN & SIZE

EXISTING NTMWD SANITARY  
SEWER PIPE & SIZE

EXISTING NTMWD FORCE MAIN & SIZE

EXISTING SANITARY SEWER  
PIPE & SIZE (TO BE ABANDONED)

EXISTING FORCE MAIN & SIZE  
(TO BE ABANDONED)

PROPOSED GRAVITY SANITARY  
SEWER PIPE & SIZE

PROPOSED FORCE MAIN & SIZE

PLANNING BOUNDARY AND  
E.T.J. BOUNDARY

WASTEWATER TREATMENT  
PLANT BASIN DIVIDE

EXISTING LIFT STATION

EXISTING LIFT STATION  
(TO BE ABANDONED)

PROPOSED LIFT STATION

NTMWD WASTEWATER  
TREATMENT PLANT



MH7001 ●

MH7001 ●

MH7001 ●

MH-LW100 ●

12"

12"

12"

12"

12"

12"

12"

12"

12"

12"

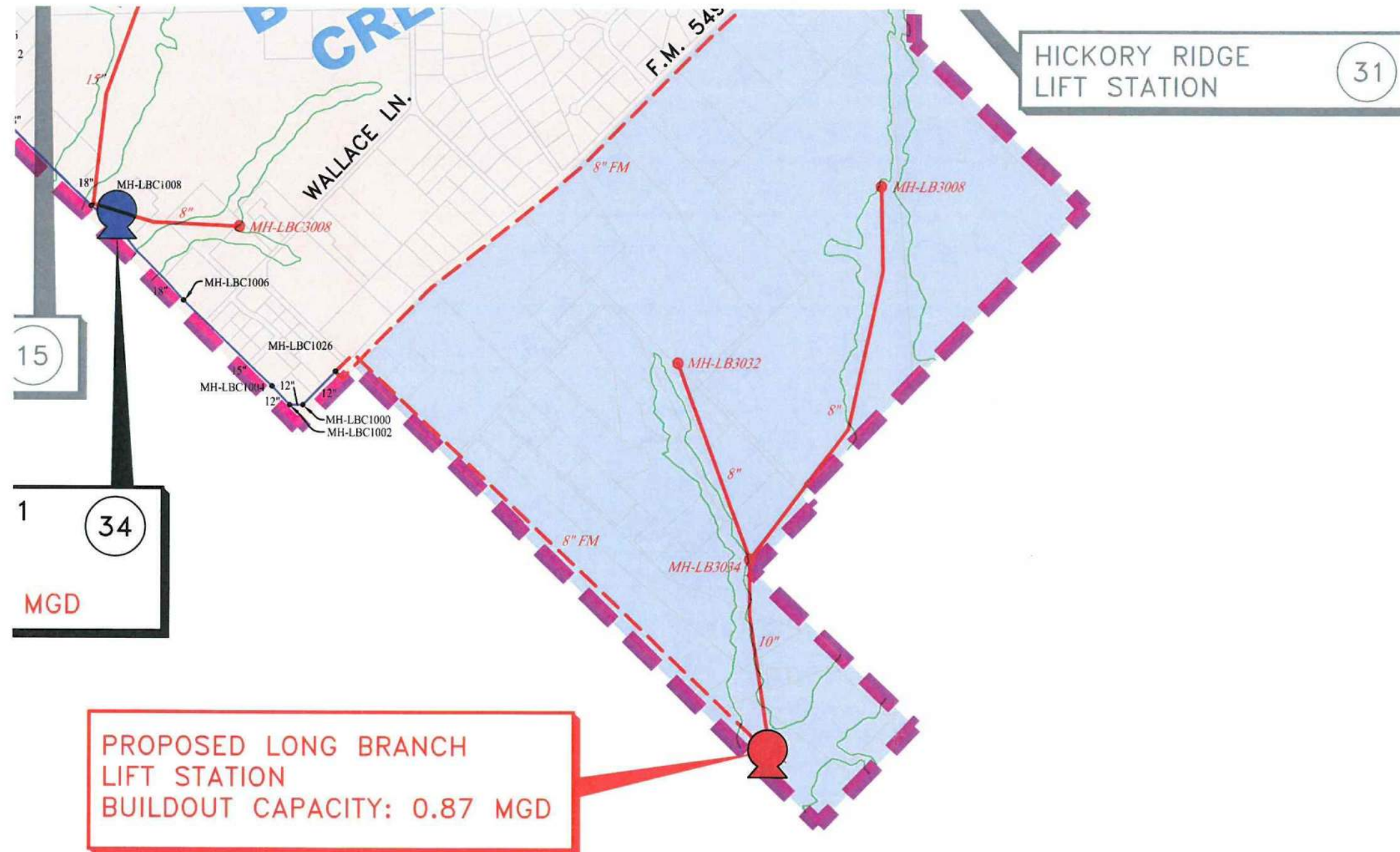
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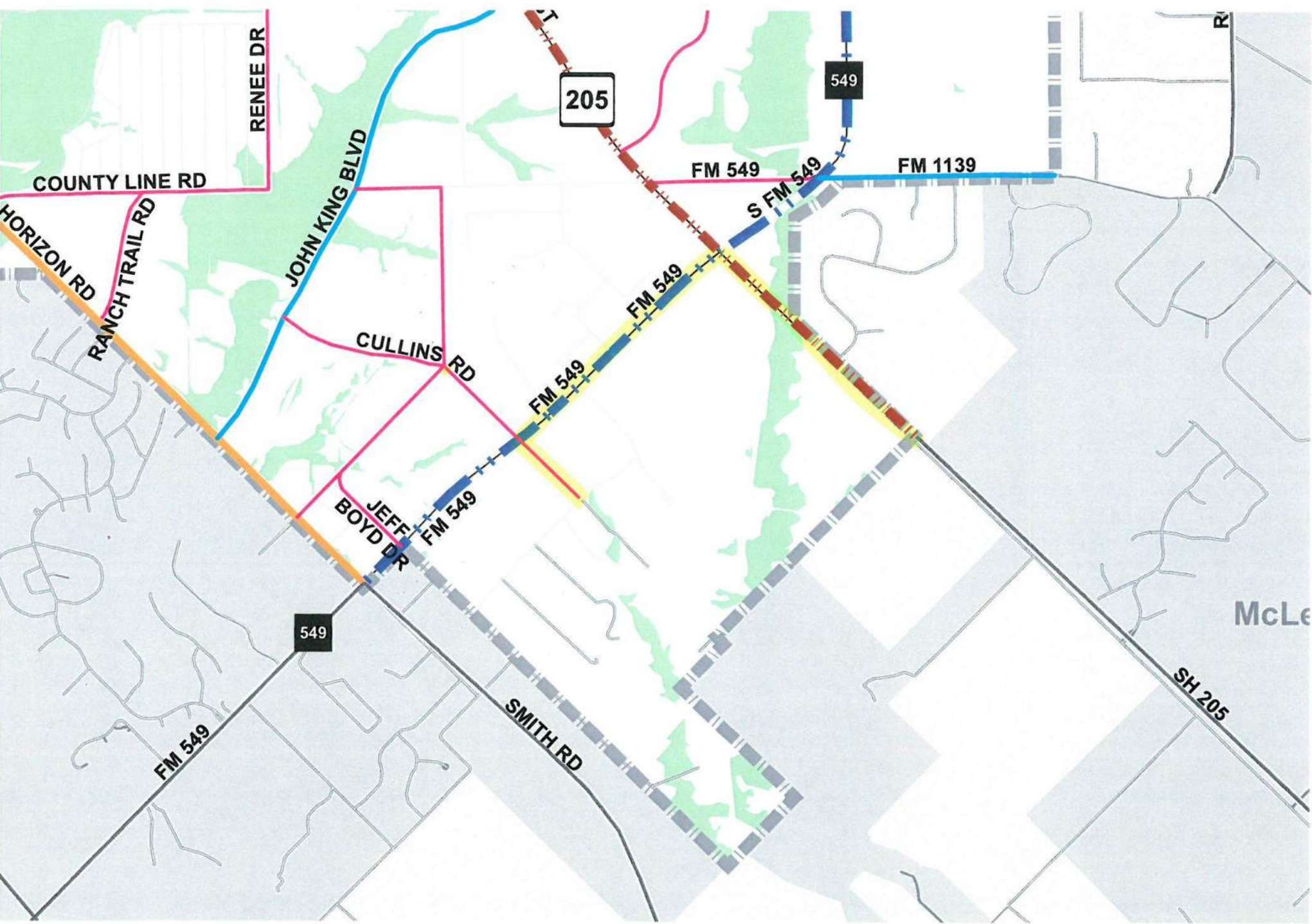
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12"





# City of Rockwall Thoroughfare Plan


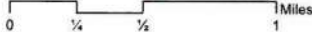


### ROADWAY CLASS

- P6D
- M4D
- M4U
- M4U-M
- Minor Collector
- P3U
- TxDOT 4D
- TxDOT 6D
- Outer Loop
- I.H. 30

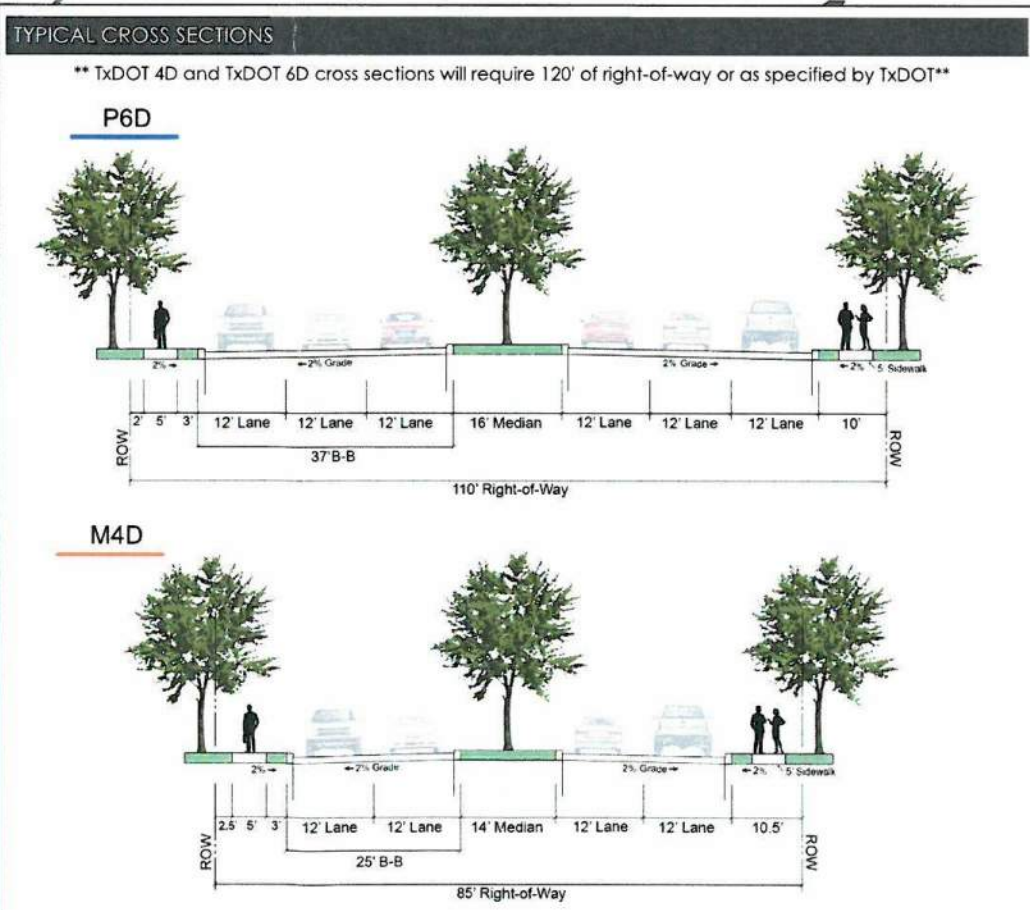
### MAP LEGEND

- Planning Boundary
- Lake
- Open Space

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For more information please visit  
<http://www.rockwall.com/Planning/>  
 or call (972) 771-7745







**CITY OF ROCKWALL, TEXAS  
WATER DISTRIBUTION SYSTEM  
MASTER PLAN**

BIRKHOFF, HENDRICKS & CARTER, L.L.P.  
PROFESSIONAL ENGINEERS  
JULY 2014  
JUNE 2014

**LEGEND**

**CREEKS**

**JUNCTION NODE & NO.**

**2013 EXISTING WATER LINE NO. & SIZE**

**EXISTING WATER LINE NO. & SIZE  
(CLOSED IN MODEL FOR BUILDOUT  
PRESSURE DIVIDES)**

**EXISTING WATER LINE NO. & SIZE  
(TO BE ABANDONED IN FUTURE)**

**BUILDOUT PROPOSED WATER LINE  
NO. & SIZE**

**EXISTING NTMWD SUPPLY LINE**

**PLANNING BOUNDARY**

**EXISTING PUMP STATION**

**PROPOSED PUMP STATION**

**PROPOSED PRESSURE REDUCING VALVE**

**EXISTING ELEVATED STORAGE TANK**

**PROPOSED ELEVATED STORAGE TANK**

**698.75 SERVICE AREA BOUNDARY  
(AT BUILDOUT)**

**717 SERVICE AREA BOUNDARY  
(AT BUILDOUT)**

**740 SERVICE AREA BOUNDARY  
(AT BUILDOUT)**

**780 SERVICE AREA BOUNDARY  
(AT BUILDOUT)**



J7001

P1328  
16"

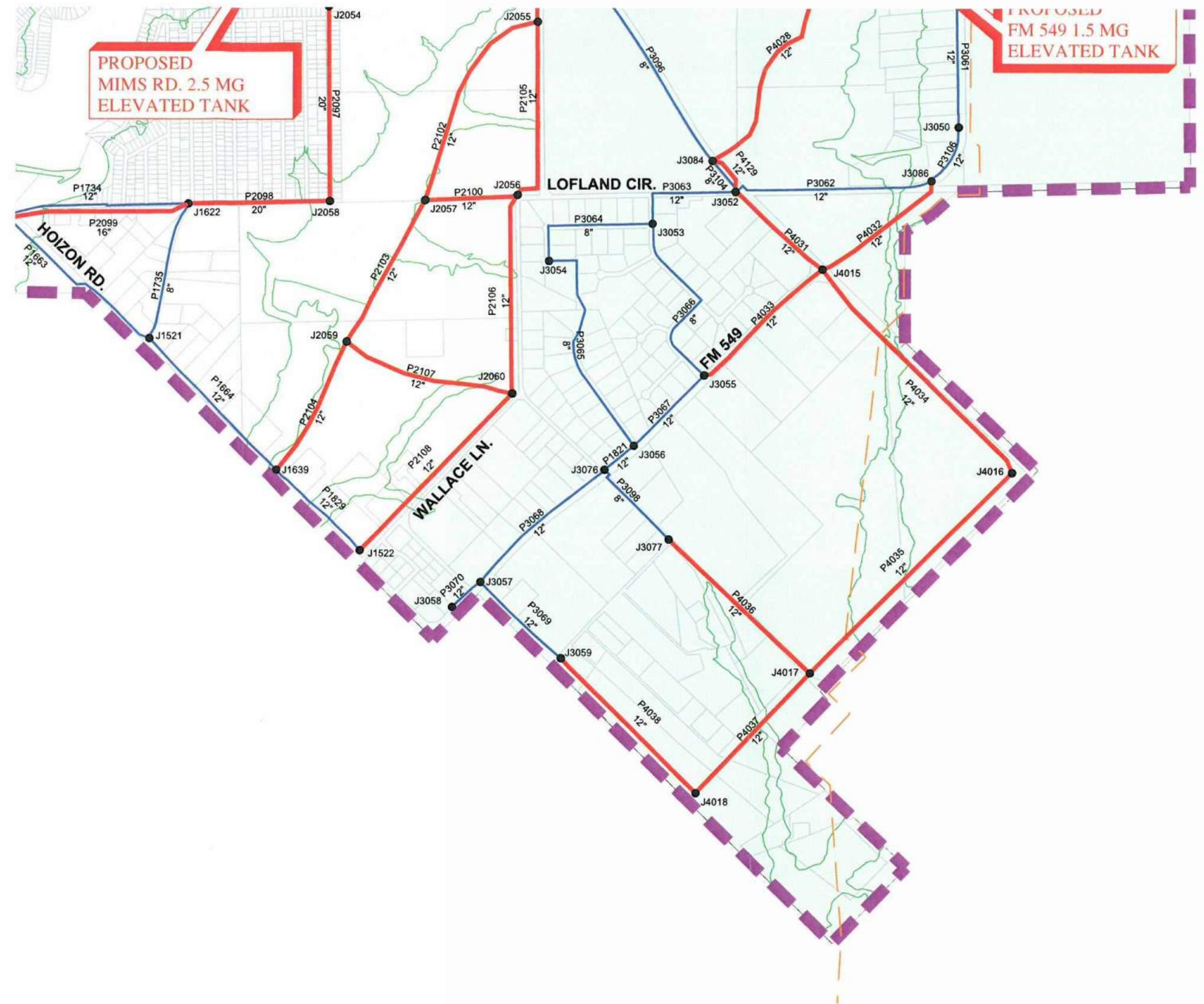
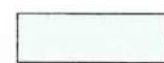
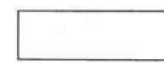
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12"

P5297  
16"

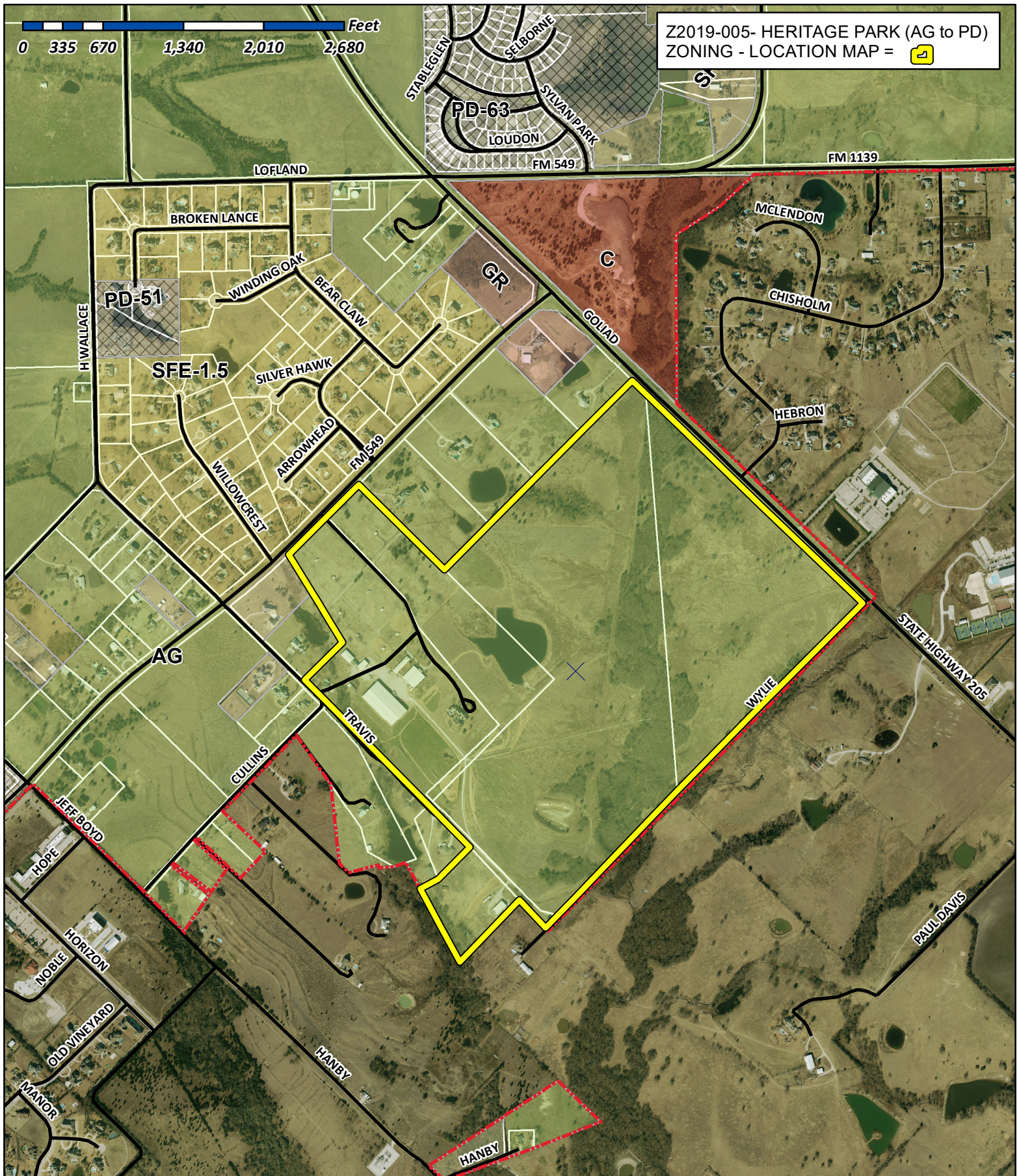
P4023  
36"

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## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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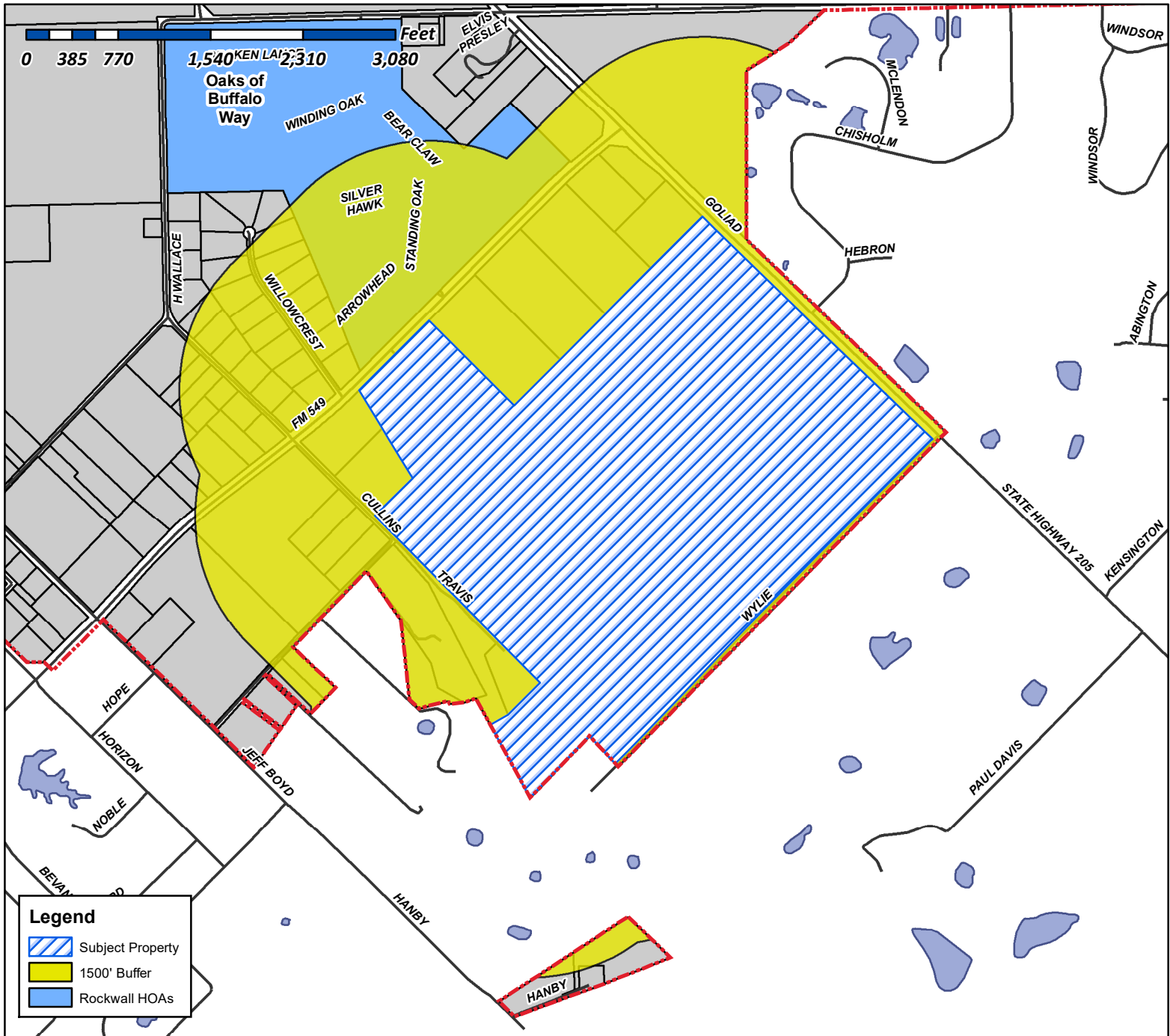




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

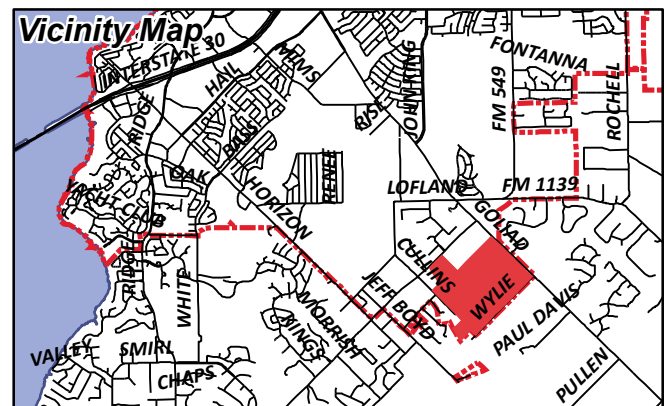
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**Case Number:** Z2019-005  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SWC of FM-549 & SH-205

**Date Created:** 3/15/2019

**For Questions on this Case Call** (972) 771-7745



**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Friday, March 22, 2019 2:17:00 PM  
**Attachments:** [PUBLIC NOTICE.PDF](#)  
[HOA Notification Map \(03.15.2019\).pdf](#)

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To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **March 22, 2019**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 4/9/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday 4/15/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

**Z2019-005- Hold a public hearing to discuss and consider a request by Kent Donahue of Donahue Development Corporation on behalf of the owner Rockwall Highgate LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-14 [26.452-acres], 17-15 [134.33-acres], 17-16 [43.6-acres], & 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

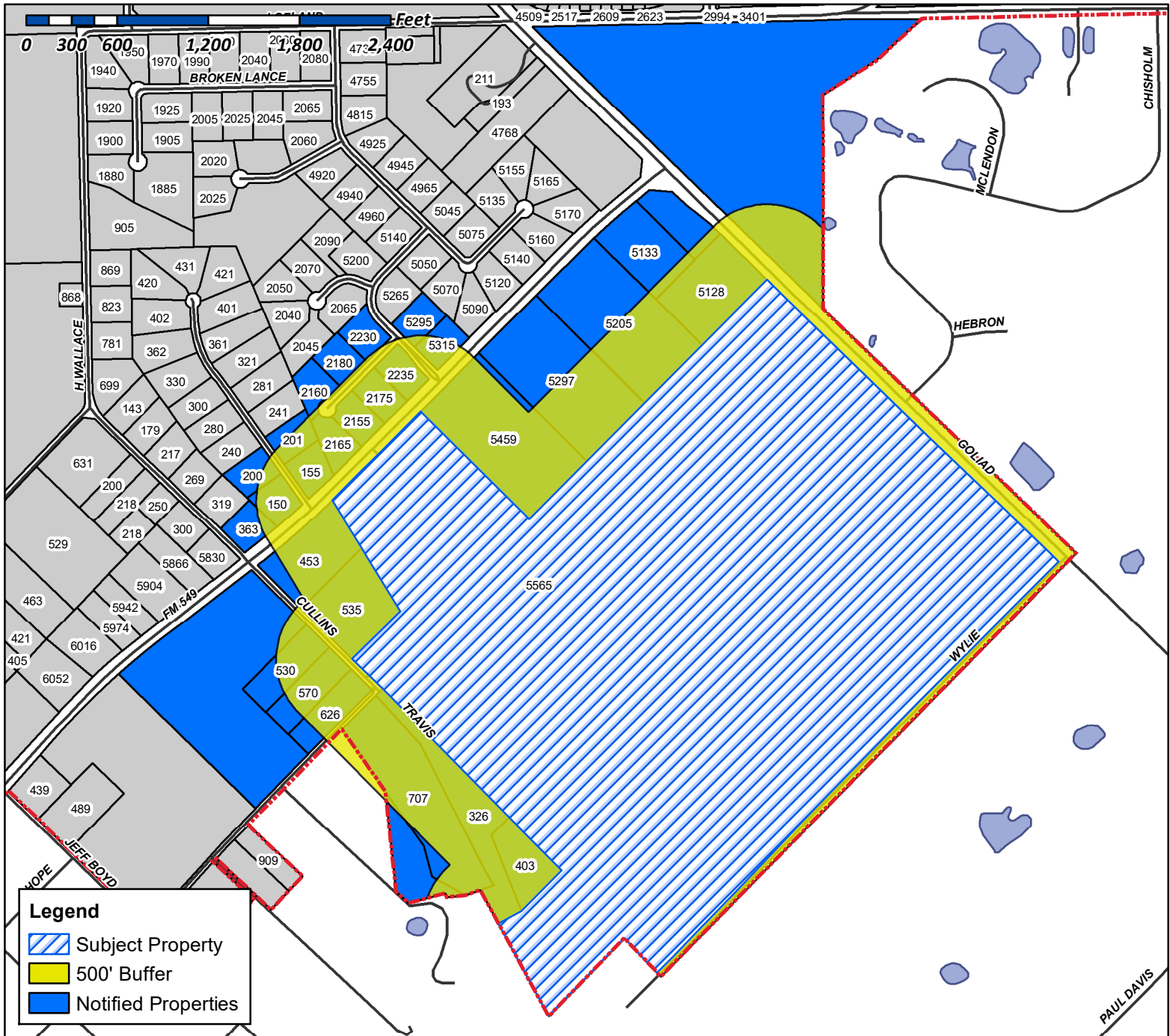
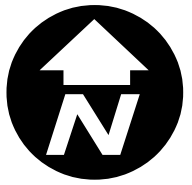
Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[lmorales@rockwall.com](mailto:lmorales@rockwall.com) | <http://www.rockwall.com/planning/>



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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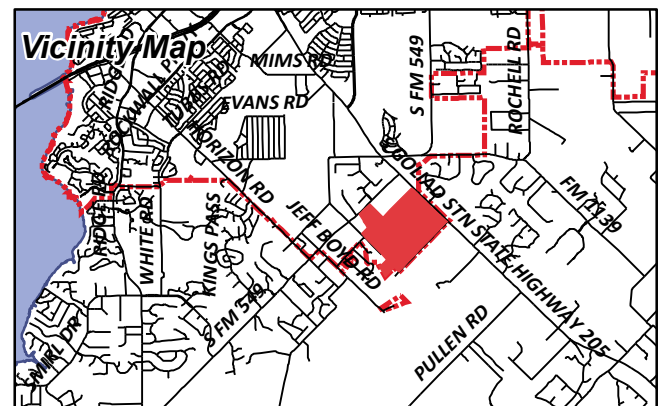
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**Case Address:** SWC of FM-549 & SH-205

**Date Created:** 3/15/2019

**For Questions on this Case Call** (972) 771-7745





ROCKWALL HIGHGATE LTD  
C/O SCOTT ASBURY  
13155 NOEL RD # 900  
DALLAS, TX 75240

RANEY GARY T  
150 WILLOWCREST DRIVE  
ROCKWALL, TX 75032

HADDOCK HOWARD J & JOAN W TRUSTEES  
HADDOCK FAMILY LIVING TRUST  
155 WILLOWCREST  
ROCKWALL, TX 75032

CONFIDENTIAL  
200 WILLOWCREST  
ROCKWALL, TX 75032

MUELLER JOHN HERMAN AND MELANIE KAY  
ANN BEAR-MUELLER  
201 WILLOWCREST LN  
ROCKWALL, TX 75032

RUCKER ROY LYDELL AND MONIFA  
2155 ARROWHEAD CT  
ROCKWALL, TX 75032

GRAHAM M TODD AND SHANNA R  
2160 ARROWHEAD COURT  
ROCKWALL, TX 75032

FLEMING KATHI  
2165 ARROWHEAD CT  
ROCKWALL, TX 75032

BURZAI EDWARD C & MARCIA Y  
2175 ARROWHEAD CT  
ROCKWALL, TX 75032

GREEN JACKIE & TAMI  
2180 ARROWHEAD CT  
ROCKWALL, TX 75032

RUMMEL STEVEN DAVID AND JANET L  
2230 ARROWHEAD CT  
ROCKWALL, TX 75032

JOHNSON BILLY RAY & JENNIFER REINHARDT  
2235 ARROWHEAD CT  
ROCKWALL, TX 75032

ROCKWALL 205 INVESTORS LLC  
2701 SUNSET RIDGE SUITE 607  
ROCKWALL, TX 75032

101 HUBBARD DR LLC  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

CURRENT RESIDENT  
326 CULLINS RD  
ROCKWALL, TX 75032

LEE SHERRIE  
363 CULLINS RD  
ROCKWALL, TX 75032

TRAVIS ALAN D  
403 TRAVIS LN  
ROCKWALL, TX 75032

TRAVIS ALAN D  
403 TRAVIS LN  
ROCKWALL, TX 75032

PRICE BOBBY DALE & BRETТА JEAN  
453 CULLINS RD  
ROCKWALL, TX 75032

ZEB MOHIUDIN DR &  
NASREEN ZEB  
5128 S STATE HIGHWAY 205  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5133 S FM549  
ROCKWALL, TX 75032

BLACKWOOD SCOTT W & GLENITA G  
5205 S FM 549  
ROCKWALL, TX 75032

HEAGNEY SCOTT AND LISA  
5295 STANDING OAK LN  
ROCKWALL, TX 75032

KESSLER JAMES AND ANGELA  
5297 SOUTH FM 549  
ROCKWALL, TX 75032

HOPE LESLIE AND DARYL  
530 CULLINS RD  
ROCKWALL, TX 75032

RENTA LARRY J & VICKI  
5315 STANDING OAK LN  
ROCKWALL, TX 75032

WILSON BRET A & LESLIE  
535 CULLINS RD  
ROCKWALL, TX 75032

BARRICK CODY ANDREW  
5459 S. FM 549  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5565 S FM549  
ROCKWALL, TX 75032

WESTRUP CAROLE LYNN  
570 CULLINS RD  
ROCKWALL, TX 75032



POPE TONY W & KARREN L  
626 E CULLINS ROAD  
ROCKWALL, TX 75032

BYRD GARY ETUX  
707 CULLINS RD  
ROCKWALL, TX 75032





Civil Engineering  
Surveying  
Water Resources Management  
Construction Management  
Environmental Consulting  
Land Planning

March 15, 2019

City of Rockwall  
Planning Department  
385 S Goliad  
Rockwall, TX 75087

RE: Proposed +/-545 Lot Residential PD & Regional Park  
Located @ South Corner of FM 549 & SH 205

Dear Staff,

The subject development will consist of +/-545 single family lots and a +/-94 Acre Regional Park located on a 264.5 acre tract. The Concept Plan included with this submittal is representative of our vision of the development. Our team is currently working with the City's Parks Department on general programming for the Regional Park to identify a yearly maintenance budget as requested by Council. The proposed Park area within the flood plain is currently accessible via existing equestrian trails paralleling the creek. Please feel free to contact us if you have any questions regarding our project or application.

Thank you,

  
Brian Bridgewater, P.E.  
Manhard Consulting



## Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the Permissible Use Charts contained in Article IV, Permissible Uses, of the Unified Development Code (UDC), are allowed on the Subject Property.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit B and stated in Table 1 below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below;

Table 1: Lot Composition

Lot Type	Minimum Lot Size	Minimum Lot Size	Dwelling Units	Dwelling %
A	60' x 120'	7,200	323	60%
B	70' x 130'	9,100	222	40%
Total Acreage – 265 acres			545 total Units (2.1 per acre)	

3. *Density and Dimensional Requirements.* The maximum permissible density for the Subject Property shall not exceed 2.1 dwelling units per gross acre of land. All lots shall conform to the standards depicted in Table 2 below and generally conform to Exhibit F of this ordinance.

Table 2: Lot Dimensional Requirements

Minimum Lot Width (1)	60'	70'
Minimum Lot Depth	120'	130'
Minimum Lot Area	7,200 SF	9,100 SF
Minimum Front Yard Setback (2) & (5)	20'	20'
Minimum Side Yard Setback	5'	5'
Minimum Side Yard Setback (Adjacent to Street) (2) & (5)	10'	10'
Maximum Height (3)	30'	30'
Minimum Rear Yard Setback (4)	20'	20'
Minimum Area / Dwelling Unit	2,000 SF	2,300 SF
Maximum Lot Coverage	65%	65%
Permitted Encroachment into Required Setbacks	Allowed	Allowed

General Notes:

- (1) The minimum lot width shall be measured at the Front Yard Building Setback
- (2) The location of the Front Yard Building Setback as measured from the front property line
- (3) The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single family home.
- (4) As measured from the rear yard property line
- (5) Porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks



4. *Building Standard.* All development shall adhere to the following building standards:

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior facades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, stucco, cast stone, and cementaceous fiberboard horizontal lap-siding (e.g. HardiBoard or Hardy Plank).
- (b) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation.* Garages may be oriented toward the street in a front entry configuration; however, the front façade of the garage must be situated a minimum of ten (10) feet behind the front façade of the primary structure or porch structure. In addition the following architectural elements must be included on all front entry homes:
  - 1) Divided bay garage doors
  - 2) Carriage style hardware and lighting
  - 3) Cedar clad garage doors
  - 4) Driveways must be constructed with ornamental stamped concrete brick pavers.

5. *Anti-Monotony Restrictions.* The development shall adhere to the following anti-monotony restrictions:

- (A) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least five (5) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - 1) Number of stories
  - 2) Permitted encroachment type and layout
  - 3) Roof type and layout
  - 4) Articulation of the front façade
- (B) Permitted encroachment (Porches) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (C) Each phase of the subdivision will allow for a maximum four (4) compatible roof Colors. All roof shingles shall be an architectural or dimensional shingle.



6. *Fencing Standards.* All individual residential fencing and walls shall be architecturally compatible with the design, materials, and colors of the primary structure on the same lot and meet the following standards:

- (A) No front yard fences allowed
- (B) *Corner Lots.* Corner lots shall utilize a wood fence that extends no further than the back (rear) corner of the house. The fence shall be a minimum of six (6) feet tall. The fence shall be located a minimum of five (5) feet from the sidewalk's edge.
- (C) *Rear Yard Fences.* Rear yard fences shall not extend forward, towards the front of the house, beyond the back (rear) corner of the house.
- (D) *Wood Fences.* All wood fences shall be constructed of a standard fencing material (minimum of ½" thickness or better; spruce fencing will not be allowed), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be stained and sealed with all pickets being placed on the "public side" facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a maximum of six (6) feet in height.
- (E) *Wrought Iron/Tubular Steel.* Lots located along the perimeter of roadways, abutting open space, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (F) *Solid Fences (including wood fences).* All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

7. *Landscape and Hardscape Standards.*

- (A) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All canopy/shade trees planted within this development shall be a minimum of four (4) caliper inches in size and all accent/ornamental/under story trees shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within the subdivision:

- (1) Canopy/shade trees. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.
- (2) Accent/ornamental/under story trees. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.

- (B) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).



- (1) *Landscape Buffer and Sidewalks (FM 549)*. A minimum of a 20 foot landscape buffer shall be provided along the frontage of FM 549 (outside of the required right-of-way dedication) and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30 inches and a maximum height of 48 inches. In addition, at least one canopy tree shall be planted per 50 feet of linear frontage. A minimum of a five (5) foot sidewalk shall be required along FM 549.
- (2) *Landscape Buffer (SH 205)*. A minimum of a 20 foot landscape buffer shall be provided along the frontage of SH 205 (outside of the required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30 inches and a maximum height of 48 inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100 feet of linear frontage.
- (C) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
- (D) *Street Trees and Hardscape*. Street tree and hardscape plans indicating the location of all sidewalk and trails shall be reviewed and approved with the PD Site Plan.
- (E) *Lighting*. Light poles shall not exceed 20 feet in total height. All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (F) *Sidewalks*. At a maximum, all sidewalks adjacent to a street shall begin two (2) feet behind the right-of-way line and be five (5) feet in overall width.
- (G) *Open Space*. The development shall consist of a minimum of 35 % open space and generally conform with the Open Space Plan contained in Exhibit \_\_\_\_ of this ordinance.
- (H) *Neighborhood signage*. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan.



- (I) *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood open space and common areas, irrigation, landscaping, screening fences associated with this development.
- (J) *Variances*. The variance procedures and standards for approval that are set forth in The Unified Development Code shall apply to any application for variances to this ordinance.







LEGAL DESCRIPTION (OVERALL)

BEING a 264.507 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southeast corner of said called 212.55 acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along the northwest line of said Wylie Lane, a distance of 2608.84 feet, to a 1/2" iron rod found;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said northwest line, a distance of 1147.78 feet, to the southwest corner of said called 43.30 acre tract,;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said East right-of-way line, a distance of 935.93 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 48 Seconds East, continuing along said East right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 07 Seconds East, continuing along said East right-of-way line, a distance of 950.08 feet, to the POINT OF BEGINNING, and containing 264.507 acres of land, more or less.

Project Number: 180164  
Revised Date:  
Revision Notes:

Date: February 18, 2019

Sheet 2 of 4



REALSEARCH OF TEXAS, LLC

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*"Thou shalt not remove thy neighbor's landmark" Deut. 19:14*  
TBPLS Firm Registration # 10158200 TBPE Firm Registration # 17968







LEGAL DESCRIPTION (PHASE II)

BEING a 55.193 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found at the northernmost corner of said called 212.55 acre tract, same being the easternmost corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas, and being on the southwest right-of-way line of State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said southwest right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to the POINT OF BEGINNING;

THENCE Southwesterly, departing said southwest right-of-way line and over and across said called 212.55 acre tract, the following calls:

- South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;
- South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;
- South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;
- South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;
- South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;
- South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;
- South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;
- South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;
- South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;
- South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;
- South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;
- South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;
- South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;
- North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE North 44 Degrees 17 Minutes 59 Seconds East, along the North line of said Wylie Lane, a distance of 2608.84 feet, to a point for corner at the intersection of said North line and the southwest right-of-way line of said State Highway No. 205;

THENCE North 46 Degrees 04 Minutes 07 Seconds East, departing said North line and along the said southwest right-of-way line, a distance of 950.08 feet, to a point for corner;

THENCE North 46 Degrees 04 Minutes 48 Seconds West, continuing along said southwest right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE North 45 Degrees 49 Minutes 58 Seconds West, continuing along said southwest right-of-way line, a distance of 634.53 feet, to the POINT OF BEGINNING, and containing 55.193 acres or land, more or less.

Project Number: 180164      Date: February 18, 2019  
Revised Date:  
Revision Notes:

Sheet 4 of 4

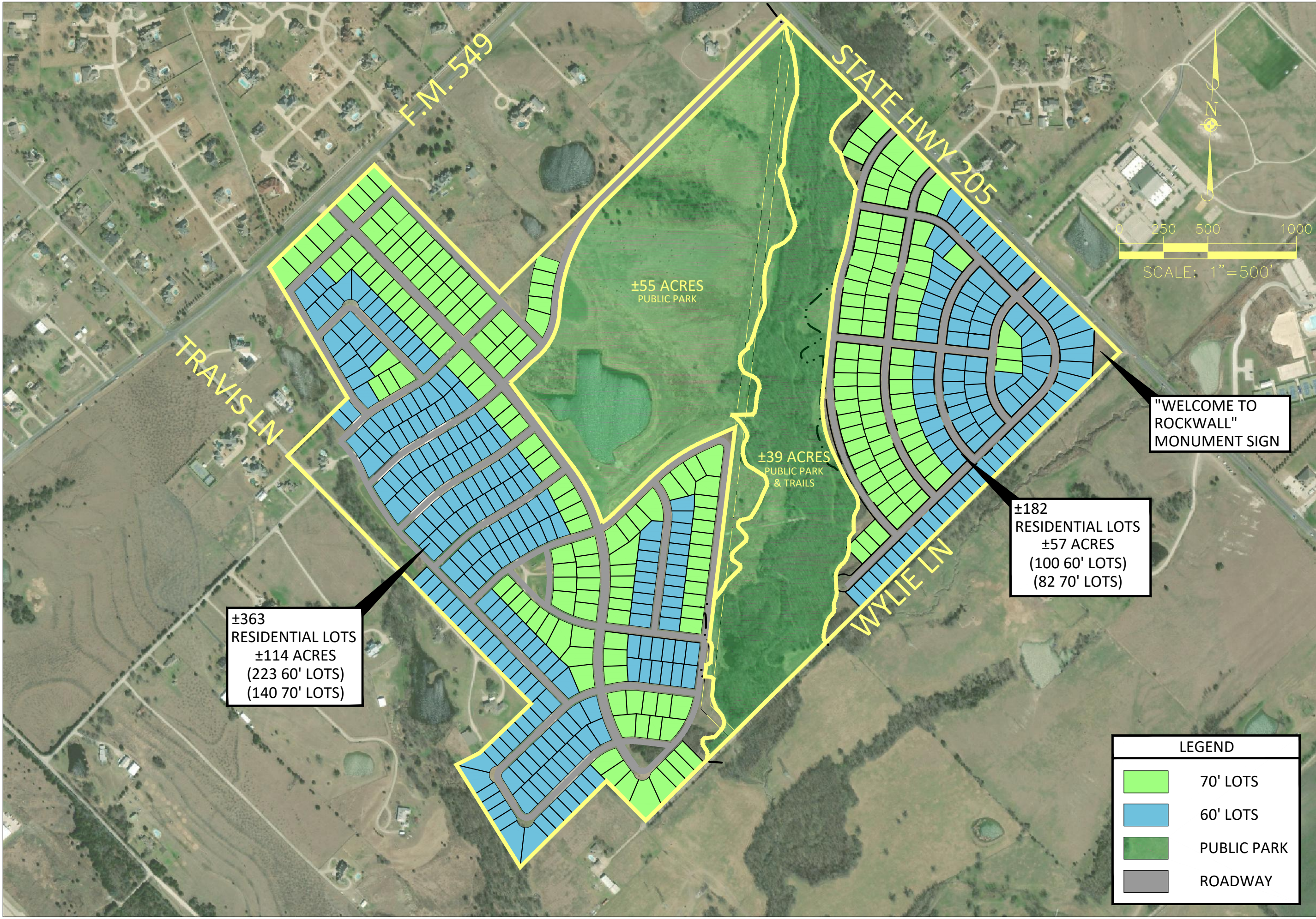


REALSEARCH OF TEXAS, LLC


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Ph. 817-937-2655, [jdeal@realsearch.org](mailto:jdeal@realsearch.org), [www.realsearch.org](http://www.realsearch.org)  
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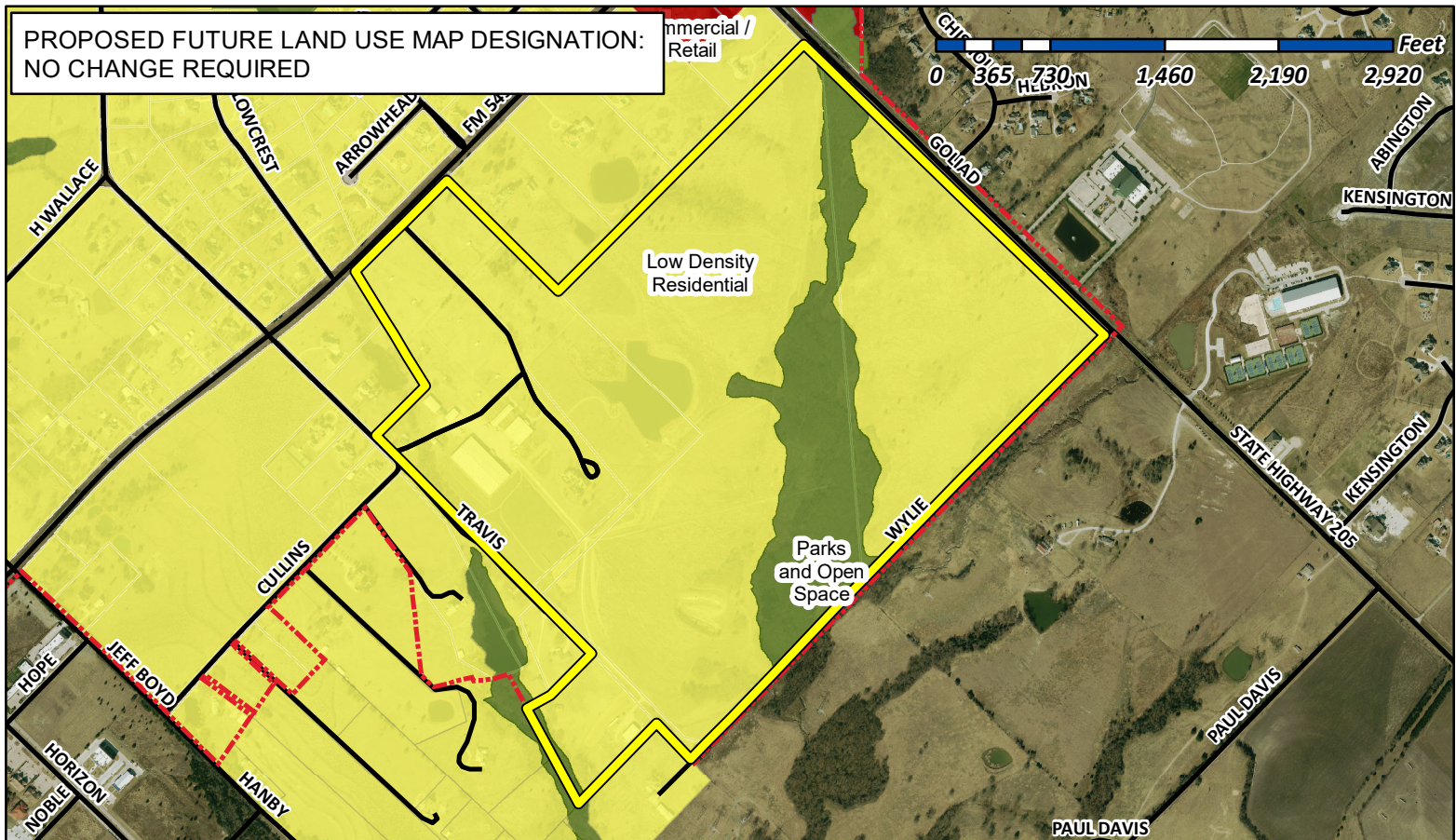
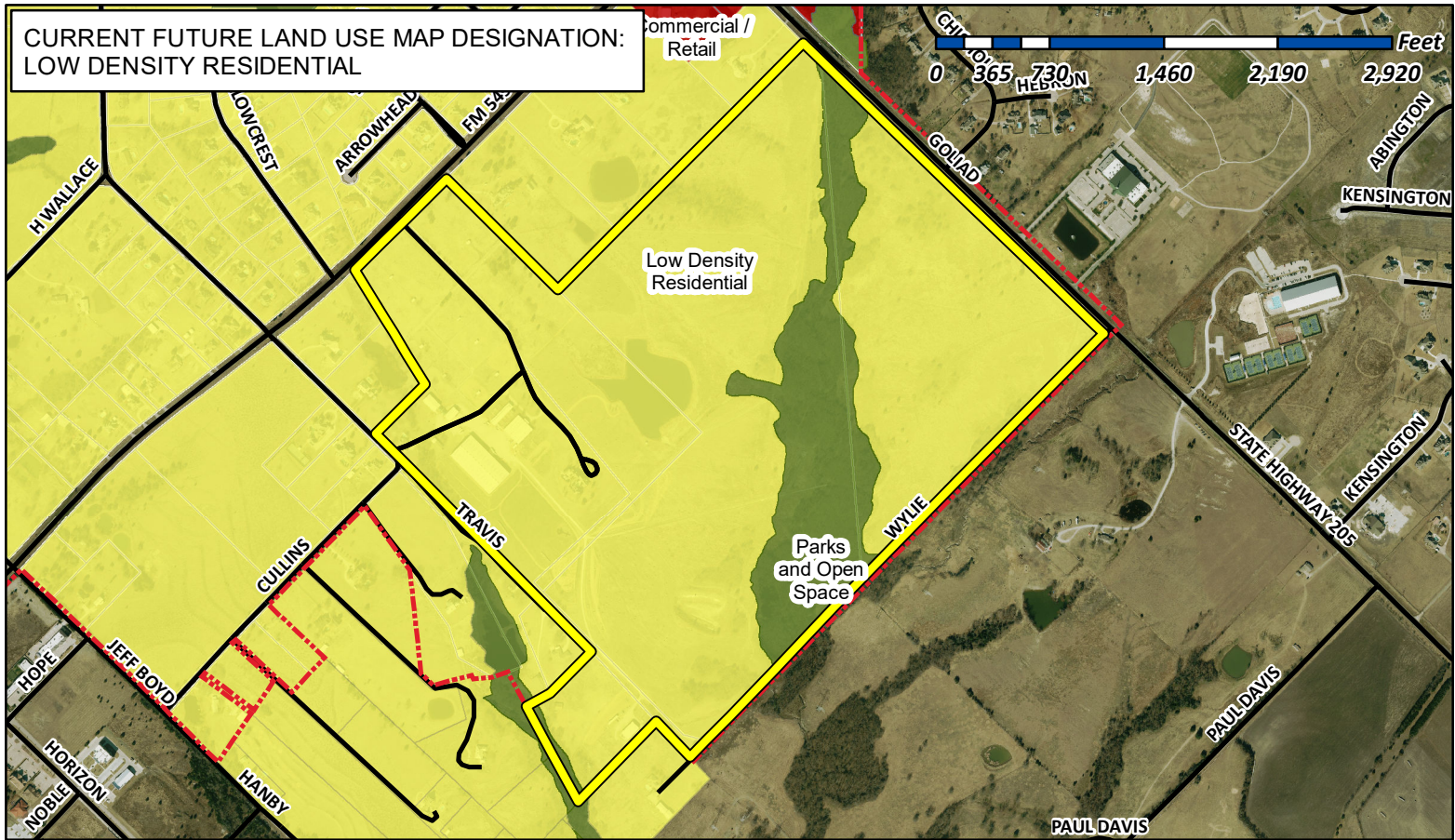
HERITAGE PARK - ZONING CONCEPT PLAN

SOUTHWEST CORNER OF F.M. 549 & S.H. 205

ROCKWALL, ROCKWALL COUNTY, TEXAS

DRAWN BY:	TRB	RELEASE DATE:	03/15/2019	SCALE:	1" = 500'	CODE:	611.011.001
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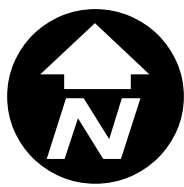




## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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# 18 SOUTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

## DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

- 1 Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

- 2 Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

- 3 Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

- 4 Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



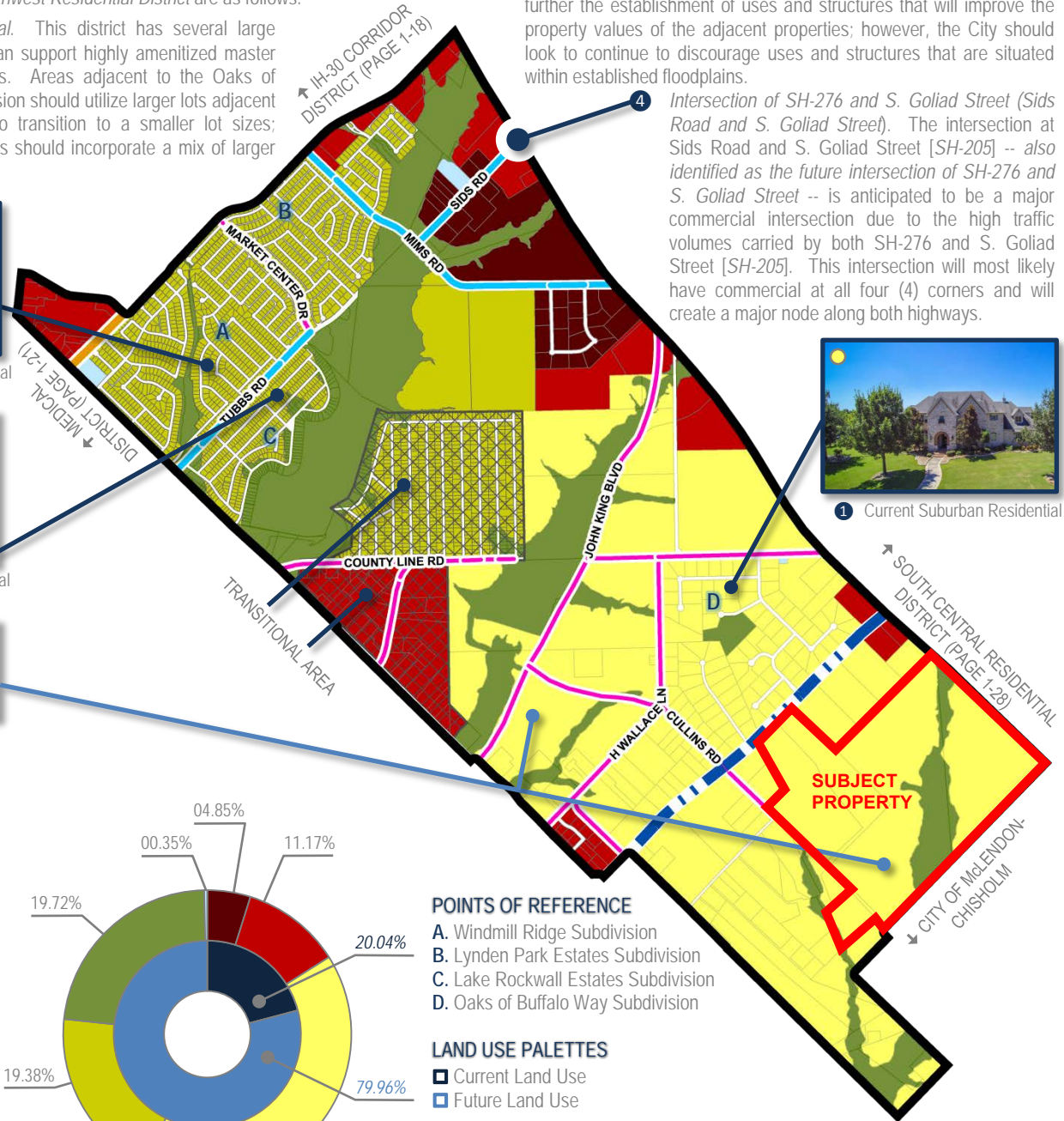
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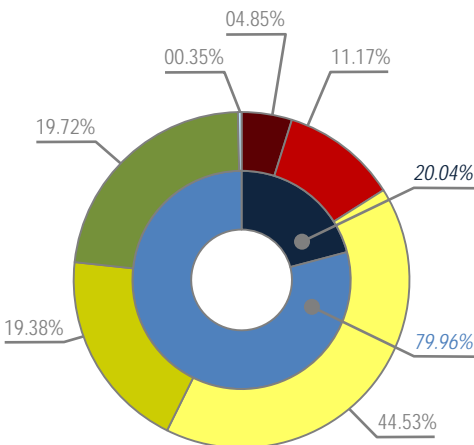
1 Current Suburban Residential



1 Future Suburban Residential



BUILD OUT	4,251
% OF ROCKWALL	10.95%
	10.34%
	12.49%
CURRENT	2,190
	188
	7,437



## POINTS OF REFERENCE

- Windmill Ridge Subdivision
- Lynden Park Estates Subdivision
- Lake Rockwall Estates Subdivision
- Oaks of Buffalo Way Subdivision

## LAND USE PAlettes

- Current Land Use
- Future Land Use

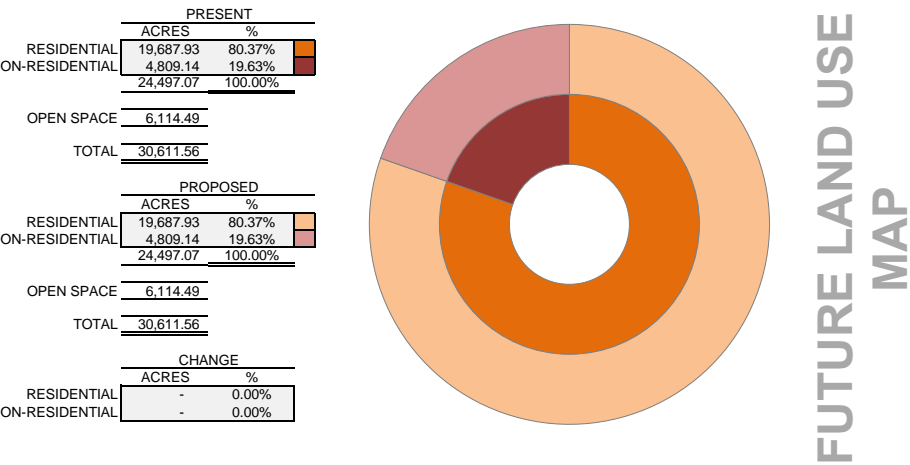
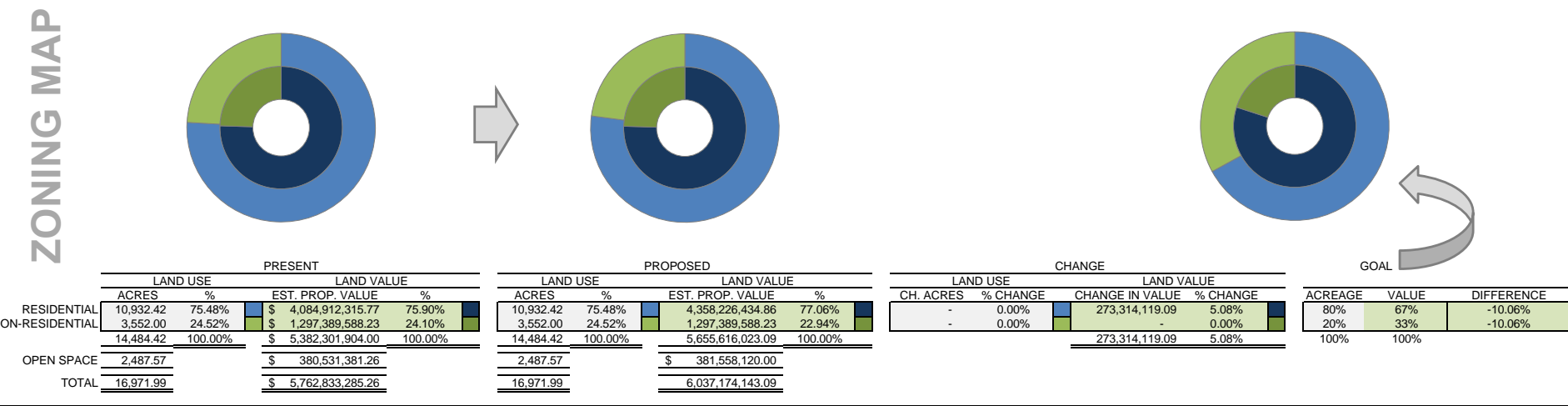
COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES



# FISCAL IMPACT ANALYSIS TOOL

**ASSUMPTIONS:** (1) All values are based on the Appraised Value and not the Market Value; (2) All Agricultural (AG) District land is assumed to be residential under Current Zoning and zoned in accordance to the Future Land Use Map under Current Zoning at Build Out.  
**DISCLAIMER:** The information provided below is not a reasonable basis for the approval or denial of any zoning case. This is a general tool that is meant to assist elected and appointed officials in the understanding the potential fiscal impacts of a zoning request, and to track conformance to the Comprehensive Plan's targeted land use ratios of 80% residential to 20% commercial land use, which is intended to yield a 67% residential value to 33% commercial value.  
**SUMMARY OF METHODOLOGY:** The methods used in this study are based on a rough fiscal impact analysis, and involve reducing the City's land values down to a per square footage cost to estimate potential impact on existing property value. The cost of service model is constructed around the City's current fiscal year costs versus the percentage of land area that is currently residential and non-residential. A per capita multiplier and average cost method were used to estimate sales tax.

**CASE NO.:** Z2019-005  
**CASE NAME:** Zoning Change (AG to PD) for Heritage Park



## ESTIMATED COST/REVENUES

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
<b>BENCHMARKS</b>				
Residential Value	\$ 7,453,690.00	\$ 159,668,944.44	\$ 273,314,119.09	\$ 113,645,174.65
Non-Residential Value	\$ -	\$ -	\$ -	\$ -
Residential Acreage	264.51	264.51	264.51	-
Non-Residential Acreage	-	-	-	-
<b>ANNUAL REVENUES</b>				
Residential Revenues	\$ 29,971.29	\$ 642,405.12	\$ 1,106,099.73	\$ 463,694.61
Non-Residential Revenues	\$ -	\$ -	\$ -	\$ -
Direct Sales Tax Increase	\$ 28,561.94	\$ -	\$ -	\$ -
Indirect Sales Tax Increase	\$ -	\$ 89,426.38	\$ 243,463.32	\$ 154,036.94
Total Revenues	\$ 58,533.22	\$ 731,831.50	\$ 1,349,563.05	\$ 617,731.54
<b>ANNUAL EXPENDITURES</b>				
Cost of Community Service for Residential	\$ -	\$ (1,438,287.51)	\$ (3,584,932.10)	\$ (2,146,644.59)
Cost of Community Service for Non-Residential	\$ -	\$ -	\$ -	\$ -
Total Estimated Expenditures	\$ -	\$ (1,438,287.51)	\$ (3,584,932.10)	\$ (2,146,644.59)
<b>EST. ANN. COST/REVENUES</b>	\$ 58,533.22	\$ (706,456.01)	\$ (2,235,369.06)	\$ (1,528,913.05)
<b>OTHER BENCHMARKS</b>				
Additional Citizens Added to Population		614	1,531	917
Estimated Non-Resident Consumers in City		-	-	-

**NOTES:** The subject property has an agricultural exemption, which would heavily reduce the current estimated annual cost/revenues. It should also be pointed out that the model will always show residential property as running a deficit due to the community cost of service associated with residential land uses.



CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 7 (SF-7) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 264.510-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 17-13, 17-14, 17-15, 17-16 & 40-8 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kent Donahue of Donahue Development Corporation on behalf of Rockwall Highgate, LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses, on a 264.510-acre tract of land identified as Tracts 17-13 [50.00-Acres], 17-14 [26.452-Acres], 17-15 [134.33-Acres], 17-16 [43.60-Acres], & 40-8 [8.79-Acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, depicted in Exhibit 'C' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'C', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in Exhibit 'D' of this ordinance, attached



hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Master Parks and Open Space Plan* in accordance with the time period specified in Section 212.009 of the Texas Local Government Code.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* An *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and an *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 7.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a



penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 8.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 9.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 10.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF MAY, 2019.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2019

2<sup>nd</sup> Reading: May 6, 2019



**Exhibit 'B':**  
*Legal Description and Survey*

*BEING* a 264.61-acre tract of land situated in the W. M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30-acre tract of land (*Tract 1*) and a called 212.55-acre tract of land (*Tract 2*) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's *File Number 2007-375596*, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, LTD., recorded in County Clerk's *File Number 2008-404731*, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

*BEGINNING* at the Southeast corner of said called 212.55-acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;  
*THENCE* South 44 Degrees 31 Minutes 24 Seconds West, along the northwest line of said Wylie Lane, a distance of 2609.49 feet, to a point for corner;

*THENCE* South 45 Degrees 18 Minutes 48 Seconds West, continuing along said northwest line, a distance of 1,147.99 feet, to the southwest corner of said called 43.30-acre tract;

*THENCE* North 45 Degrees 02 Minutes 31 Seconds West, departing said northwest line, and along the southwest line of said called 212.55-acre tract, a distance of 315.56-feet, to the easternmost corner of said called Rockwall Highgate tract;

*THENCE* South 44 Degrees 22 Minutes 37 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66-feet, to the southernmost corner of said Rockwall Highgate tract;

*THENCE* North 32 Degrees 22 Minutes 19 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55-feet, to the northwest corner of said Rockwall Highgate tract;

*THENCE* North 62 Degrees 32 Minutes 45 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 110.73-feet;

*THENCE* North 62 Degrees 13 Minutes 29 Seconds East, continuing along said northwest line, a distance of 43.88-feet;

*THENCE* North 45 Degrees 26 Minutes 21 Seconds East, continuing along said North line, a distance of 393.74-feet, to the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30-acre tract and being on the northeast line of Travis Lane;

*THENCE* Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls: North 45 Degrees 00 Minutes 29 Seconds West, a distance of 599.06-feet, to a point for corner;

North 43 Degrees 53 Minutes 14 Seconds West, a distance of 436.95-feet, to a point for corner;  
North 48 Degrees 27 Minutes 46 Seconds West, a distance of 237.14-feet, to a point for corner;  
North 39 Degrees 48 Minutes 03 Seconds West, a distance of 184.23-feet, to a point for corner;  
North 44 Degrees 40 Minutes 42 Seconds West, a distance of 244.69-feet, to a point for corner;  
South 45 Degrees 08 Minutes 57 Seconds West, a distance of 12.69-feet, to a point for corner;

North 45 Degrees 01 Minutes 43 Seconds West, a distance of 260.06-feet, to the lower northwest corner of said called 43.30-acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's *File Number 1998- 181246*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 58 Minutes 51 Seconds East, departing said East line and along the lower North line of said called 43.30-acre tract, being common with the South line of said Wilson tract, a distance of 467.61-feet, to the southeast corner of said Wilson tract;



**Exhibit 'B':**  
*Legal Description and Survey*

North 31 Degrees 15 Minutes 14 Seconds West, departing said common line and along the upper West line of said called 43.30-acre tract, a distance of 857.52-feet, to the northwest corner of said called 43.30-acre tract, being on the South right-of-way line of FM Highway No. 549;

*THENCE* North 45 Degrees 31 Minutes 38 Seconds East, a long said South right-of-way line, a distance of 121.99-feet, to a point for corner;

North 45 Degrees 00 Minutes 31 Seconds East, continuing a long said South right-of-way line, a distance of 703.71-feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's *File Number 2010-436143*, Deed Records, Rockwall County, Texas;

*THENCE* South 45 Degrees 05 Minutes 09 Seconds East, departing said South right-of-way line and along the upper East line of said called 2 12.55-acre tract, being common with the West line of said Barrick tract, a distance of 995.00-feet, to a point for corner;

*THENCE* South 86 Degrees 43 Minutes 47 Seconds East, continuing along said common line, a distance of 21.21-feet, to a point for corner;

*THENCE* North 44 Degrees 53 Minutes 41 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said Barrick tract, a distance of 524.11-feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's *File Number 2014-16421*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 59 Minutes 41 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said Enloe tract, a distance of 539.08-feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493-acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in *Volume 2884, Page 250*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 44 Minutes 22 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said called 12.493-acre tract, a distance of 541.09-feet, to the southeast corner of said called 12.493-acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's *File Number 1995-156072*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 56 Minutes 40 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said Zeb tract, a distance of 606.32-feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

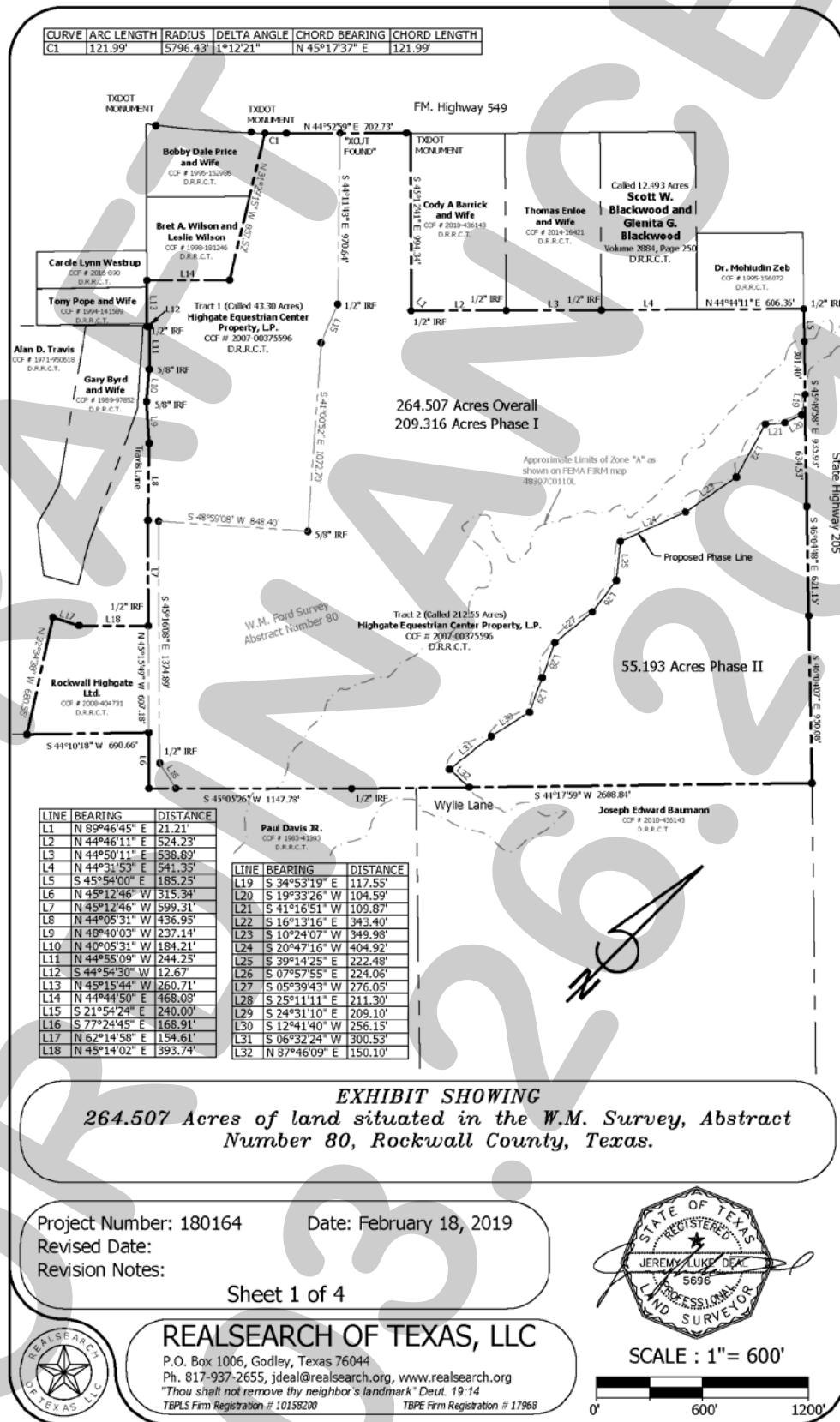
*THENCE* South 45 Degrees 37 Minutes 13 Seconds East, departing said common line and along said West right-of-way line, a distance of 1,121.18-feet, to a point for corner;

*THENCE* South 45 Degrees 51 Minutes 23 Seconds East, continuing along said East right-of-way line, a distance of 621.15-feet, to a point for corner;

*THENCE* South 45 Degrees 50 Minutes 42 Seconds East, continuing a long said East right-of-way line, a distance of 951.25-feet, to the *POINT OF BEGINNING*, and containing 264.61-acres of land, more or less.



# Exhibit 'B': Legal Description and Survey





**Exhibit 'B':**  
**Legal Description and Survey**

**LEGAL DESCRIPTION (OVERALL)**

BEING a 264.507 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southeast corner of said called 212.55 acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along the northwest line of said Wylie Lane, a distance of 2608.84 feet, to a 1/2" iron rod found;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said northwest line, a distance of 1147.78 feet, to the southwest corner of said called 43.30 acre tract;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 194.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 469.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barick tract, a distance of 524.23 feet, to the southeast corner of said Barick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said East right-of-way line, a distance of 935.93 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 48 Seconds East, continuing along said East right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 07 Seconds East, continuing along said East right-of-way line, a distance of 950.08 feet, to the POINT OF BEGINNING, and containing 264.507 acres of land, more or less.

Project Number: 180164  
Revised Date:  
Revision Notes:

Date: February 18, 2019

Sheet 2 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044

Ph. 817-937-2655, jdeal@realsearch.org, www.realsearch.org

"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration #: 10158200

TBPE Firm Registration #: 17968

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**Exhibit 'B':**  
**Legal Description and Survey**

**LEGAL DESCRIPTION (PHASE I)**

BEING a 209.316 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southwest corner of said called 43.30 acre tract, being on the northwest line of Wylie Lane;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane,

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2834, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to a point for corner;

THENCE Southwesterly, departing said West right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 38 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along said North line, a distance of 665.41 feet, to a point for corner;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said North line, a distance of 1147.78 feet, to the POINT OF BEGINNING, and containing 209.316 acres of land, more or less.

Project Number: 180164  
Revised Date:  
Revision Notes:

Date: February 18, 2019

Sheet 3 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044  
Ph. 817-937-2655, jdeal@realsearch.org, www.realsearch.org  
"Thou shalt not remove thy neighbor's landmark" Deut. 19:14  
TBPLS Firm Registration #: 10158200 TBPE Firm Registration #: 17968



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**Exhibit 'B':**  
**Legal Description and Survey**

**LEGAL DESCRIPTION (PHASE II)**

BEING a 55.193 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found at the northernmost corner of said called 212.55 acre tract, same being the easternmost corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas, and being on the southwest right-of-way line of State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said southwest right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to the POINT OF BEGINNING;

THENCE Southwesterly, departing said southwest right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE North 44 Degrees 17 Minutes 59 Seconds East, along the North line of said Wylie Lane, a distance of 2608.84 feet, to a point for corner at the intersection of said North line and the southwest right-of-way line of said State Highway No. 205;

THENCE North 46 Degrees 04 Minutes 07 Seconds East, departing said North line and along the said southwest right-of-way line, a distance of 950.08 feet, to a point for corner;

THENCE North 46 Degrees 04 Minutes 48 Seconds West, continuing along said southwest right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE North 45 Degrees 49 Minutes 58 Seconds West, continuing along said southwest right-of-way line, a distance of 634.53 feet, to the POINT OF BEGINNING, and containing 55.193 acres or land, more or less.

Project Number: 180164  
Revised Date:  
Revision Notes:

Date: February 18, 2019

Sheet 4 of 4



**REALSEARCH OF TEXAS, LLC**

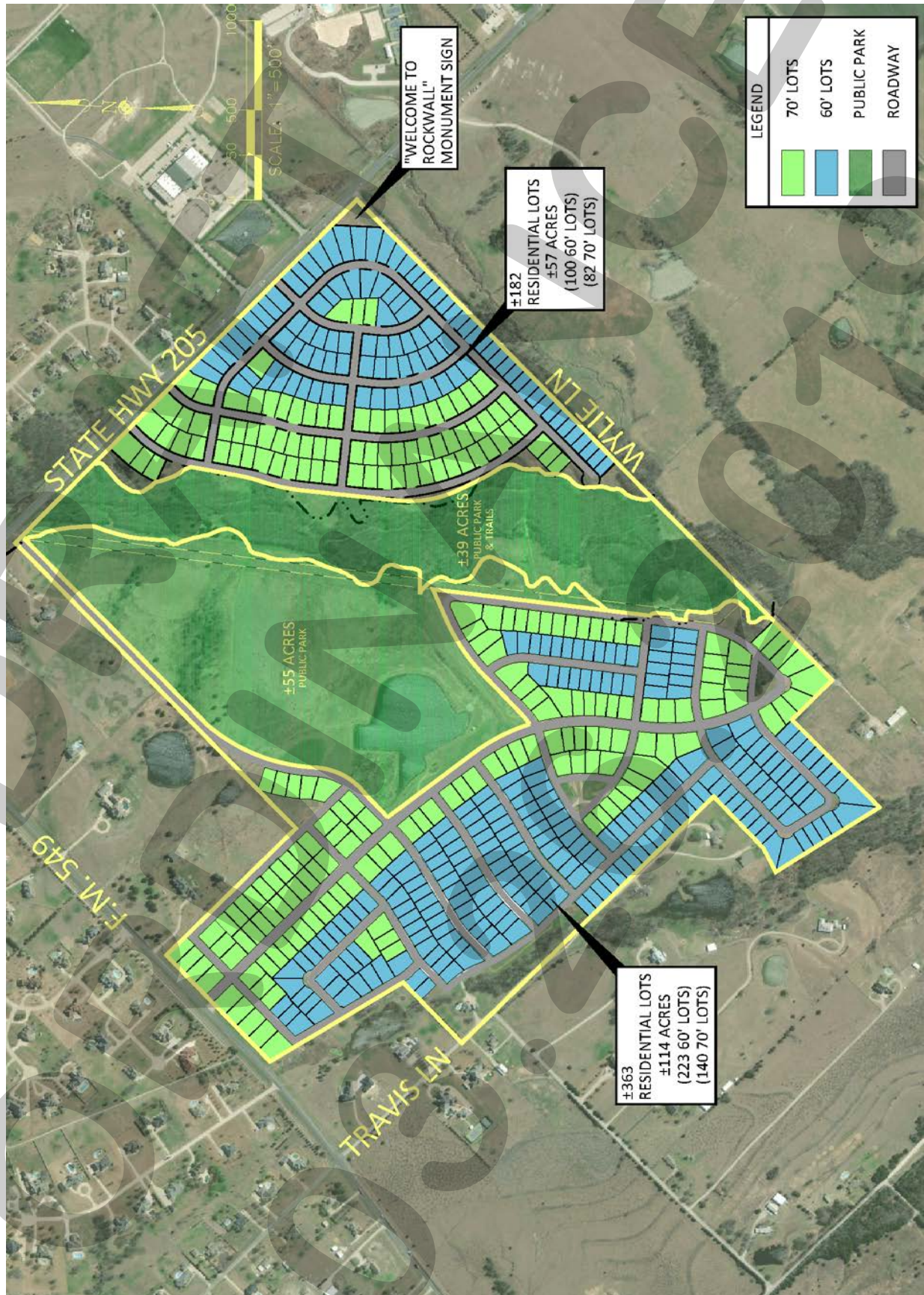
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**Exhibit 'C':  
Concept Plan**





**Exhibit 'D':**  
*Density and Development Standards*

**Density and Development Standards.**

1. *Permitted Uses.* Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,200 SF	323	59.27%
B	70' x 130'	9,100 SF	222	40.73%
Maximum Permitted Units:			545	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.10 dwelling units per gross acre of land; however, in no case should the proposed development exceed 545 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B
Minimum Lot Width <sup>(1)</sup>	60'	70'
Minimum Lot Depth	120'	130'
Minimum Lot Area	7,200 SF	9,100 SF
Minimum Front Yard Setback <sup>(2) &amp; (5)</sup>	20'	20'
Minimum Side Yard Setback	5'	5'
Minimum Side Yard Setback (Adjacent to a Street) <sup>(2) &amp; (5)</sup>	10'	10'
Minimum Length of Driveway Pavement	20'	20'
Maximum Height <sup>(3)</sup>	36'	36'
Minimum Rear Yard Setback <sup>(4)</sup>	20'	20'
Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]	2,000 SF	2,300 SF
Maximum Lot Coverage	65%	65%

General Notes:

1. The minimum lot width shall be measured at the *Front Yard Building Setback*.
2. The location of the *Front Yard Building Setback* as measured from the front property line.
3. The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
4. As measured from the rear yard property line.
5. Porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*.

4. *Building Standards.* All development shall adhere to the following building standards:

(a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%, with front façades being 100% masonry. For the



**Exhibit 'D':**  
*Density and Development Standards*

purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) shall be permitted through a Specific Use Permit (SUP) only. Siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible from any major thoroughfare (i.e. *John King Boulevard* and *Horizon Road* on Exhibit 'B' of this ordinance).

- (b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation*. Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a flat, front entry configuration (i.e. *even with the front façade of the primary structure*). Garages utilizing a *traditional swing* (or *j-swing*) are permitted to have a second garage door facing the street behind the front façade of the primary structure. Garages configured in a flat, front entry configuration shall be setback a minimum of ten (10) feet from the front façade of the primary structure. All garage doors shall be required to have upgraded finishes that consist of the following:
- (1) *Divided Garage Bay Doors*
  - (2) *Carriage Style Hardware and Lighting Elements*
  - (3) *Cedar Clad Garage Doors*

In addition, all driveways must be constructed with ornamental stamped concreted and/or brick pavers. All garage configurations not conforming to this section shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code (UDC).

5. *Anti-Monotony Restrictions*. The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for *spacing requirements* see the *illustration* below).

*Table 3 : Anti-Monotony Matrix*

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	60' x 120'	(1), (2), (3)
B	70' x 130'	(1), (2), (3)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-549 or SH-205 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:



**Exhibit 'D':**  
*Density and Development Standards*

- (a) Number of Stories
  - (b) Permitted Encroachment Type and Layout
  - (c) Roof Type and Layout
  - (d) Articulation of the Front Façade
- (3) Permitted encroachment (*i.e. porches*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

*Illustration 1: Properties line up on the opposite side of the street. Where RED is the subject property.*



*Illustration 2: Properties do not line up on opposite side of the street. Where RED is the subject property.*



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Front Yard Fences.** Front yard fences shall be prohibited.



**Exhibit 'D':**  
*Density and Development Standards*

- (b) *Wood Fences.* All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters.
- (c) *Wrought Iron/Tubular Steel.* Lots located along the perimeter of roadways (*i.e. SH-205, FM-549 and Wylie Lane*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) *Corner Lots.* Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) *Solid Fences (including Wood Fences).* All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

**7. Landscape and Hardscape Standards.**

- (1) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless specifically provided below. The following tree species are approved for planting within this subdivision:
  - (a) *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Allen Elm, Chinese Pistachio, Shumard Oak, Sycamore, Live Oak and Burr Oak.
  - (b) *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
  - (a) *Landscape Buffer and Sidewalks (FM-549).* A minimum of a 50-foot landscape buffer shall be provided along FM-549 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
  - (b) *Landscape Buffer and Sidewalks (SH-205).* A minimum of a 50-foot landscape buffer shall be provided along SH-205 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or



**Exhibit 'D':**  
*Density and Development Standards*

shrubby or a combination thereof along the entire length of the frontage. Berms and/or shrubby shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.

- (c) *Landscape Buffers (All Other Roadways)*. A minimum of a 10-foot landscape buffer shall be provided along roadways (*outside of and beyond any required right-of-way dedication*), and shall incorporate one (1) canopy tree per 50-feet of linear frontage.
- (3) *Street Trees*. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (4) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (5) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
8. *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
9. *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
10. *Sidewalks*. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
11. *Buried Utilities*. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
12. *Open Space*. The development shall consist of a minimum of 30% open space (*or a minimum of 79.353-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (*including landscape buffers*) shall be maintained by the Homeowner's Association (HOA).



**Exhibit 'D':**  
*Density and Development Standards*

13. *Neighborhood Signage and Enhancements.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
14. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), irrigation, landscaping, screening fences and neighborhood signage associated with this development.
15. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.



3/22/2019

## City of Rockwall

### Project Plan Review History



<b>Project Number</b>	Z2019-006	<b>Owner</b>	ROCKWALL, 12.833 LP	<b>Applied</b>	3/15/2019	LM
<b>Project Name</b>	SUP for SPR Packaging	<b>Applicant</b>	PROSS DESIGN GROUP, INC.	<b>Approved</b>		
<b>Type</b>	ZONING			<b>Closed</b>		
<b>Subtype</b>	SUP			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	
INDUSTRIAL	ROCKWALL, TX 75087	<b>Zoning</b>

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
INDALLOY ADDITION	7		7	0020-0000-0007-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/15/2019	3/22/2019	3/19/2019	4	APPROVED	
ENGINEERING (3/22/2019 12:11 PM SH) Approved pending all Engineering Standards of Design and Construction are met.	Sarah Hager	3/15/2019	3/22/2019	3/22/2019	7	APPROVED	
FIRE	Ariana Hargrove	3/15/2019	3/22/2019				
PLANNING	David Gonzales	3/15/2019	3/22/2019	3/22/2019	7	COMMENTS	See comments

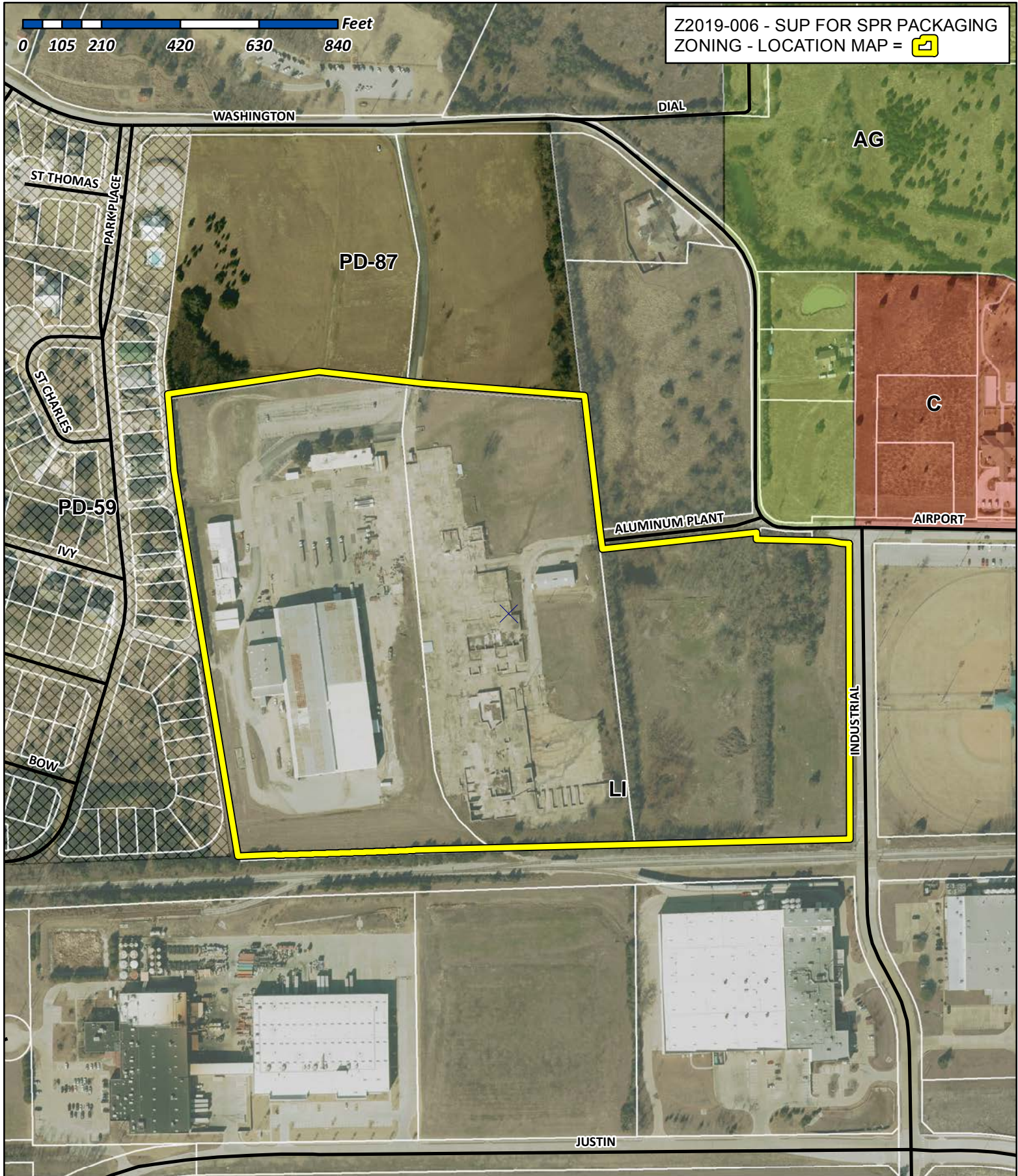


Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) for a structure that exceeds 60-feet in a Light Industrial (LI) District on a 42.61-acre tract of land identified as Tract 7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract 31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and, Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.</p> <p>PLANNING COMMENTS - DAVID GONZALES – 03.21.2019</p> <p>All staff comments are to be addressed and resubmitted by Tuesday April 2, 2019. Please provide two (2) large copies [FOLDED] and one PDF version for a subsequent review by staff:</p> <p>Planning Department General Comments to be addressed/acknowledge are as follows:</p> <ul style="list-style-type: none"> <li>• On all future submittals please include the Case Number Z2019-006 on the lower right hand corner.</li> <li>• When provided, please review the SUP Draft Ordinance prior to the Planning &amp; Zoning public hearing scheduled for April 9, 2019 and return with red lined corrections and/or additions you feel may be necessary for staff review and consideration</li> </ul> <p>** Planning Staff additional comments to be considered by the P&amp;Z and City Council as conditions of approval:</p> <ol style="list-style-type: none"> <li>1. Approval of an SUP is required to allow for the buildings/structures to exceed 60-ft in height, but not to exceed an overall maximum height of 100-ft as requested.</li> <li>2. Adherence to all Engineering and Fire Department standards shall be required</li> </ol> <p>*** Operational Conditions:</p> <ol style="list-style-type: none"> <li>1) The development of this property shall generally conform to the Concept Plan depicted in Exhibit 'B' of this ordinance; and,</li> <li>2) The maximum overall height of the buildings and/or structures shall not exceed 100-feet, as depicted in Exhibit 'C' of this ordinance; and,</li> <li>3) The building elevations depicted in Exhibit 'C' are for reference to the height of the extruder bays for all phases (i.e. phase 2, 3, 4, &amp; 5), and do not represent approved building elevations. Any building elevations associated with the project shall be subject to the requirements of the Unified Development Code (UDC), review by the Architectural Review Board, and approval by the Planning and Zoning Commission [and City Council if applicable]; and,</li> <li>4) Future expansion of the site [i.e. Phases 3, 4, and 5] should have all silos placed on the southern portion of the subject property, adjacent to the railroad tracks, as depicted in Exhibit 'B' of this ordinance; and,</li> <li>5) The subject property shall provide and maintain a landscape screening buffer along the western and northern property boundaries [i.e. Overall Landscape Plan], as depicted in Exhibit 'D' of this ordinance.</li> </ol> <p>The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the SUP request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
*** Meeting Dates to Attend***						
Planning - Work Session: March 26, 2019 (6:00 p.m.) [Applicant to present case to P&Z for discussion]						
Planning - Public Hearing: April 9, 2019 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny, etc.)]						
City Council - Public Hearing: April 15, 2019 (6:00 p.m.) [1st Reading of SUP Ordinance]						
City Council - Consent/Action Item: May 6, 2019 (6:00 p.m.) [2nd Reading of SUP Ordinance (if approved at 1st reading)]						





## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



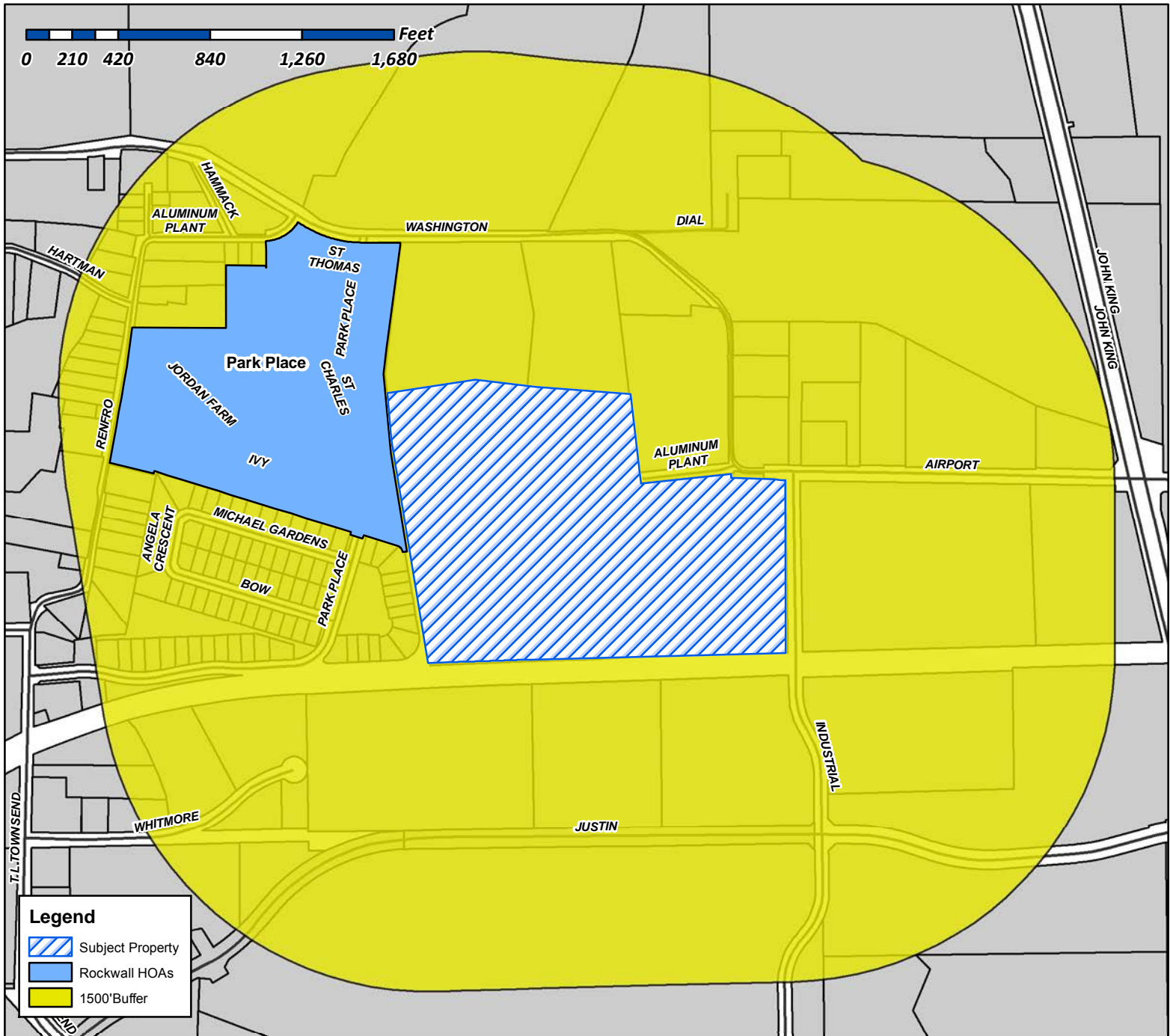




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

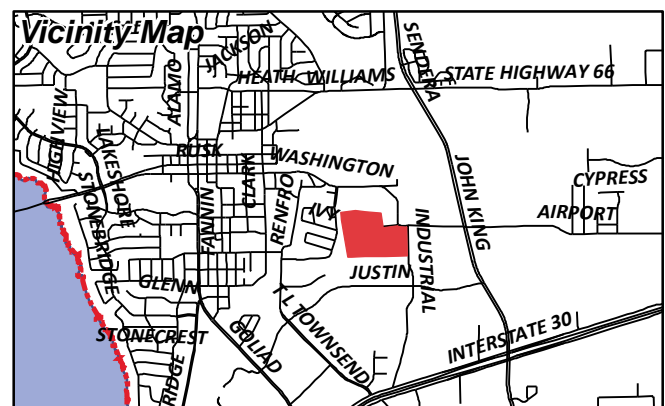
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**Case Number:** Z2019-006  
**Case Name:** SUP for SPR Packaging  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** SW Corner of Industrial Blvd. and Airport Road

**Date Created:** 3/18/2019

**For Questions on this Case Call** (972) 771-7745





## Gonzales, David

---

**From:** Morales, Laura  
**Sent:** Friday, March 22, 2019 2:20 PM  
**To:** [REDACTED]  
**Cc:** Miller, Ryan; Gonzales, David; Brooks, Korey  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Attachments:** PUBLIC NOTICE.PDF; HOA Map.pdf

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **March 22, 2019**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 4/9/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday 4/15/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

**Z2019-006- Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) for a structure that exceeds 60-feet in a Light Industrial (LI) District on a 42.61-acre tract of land identified as Tract 7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract 31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and, Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com/planning/>

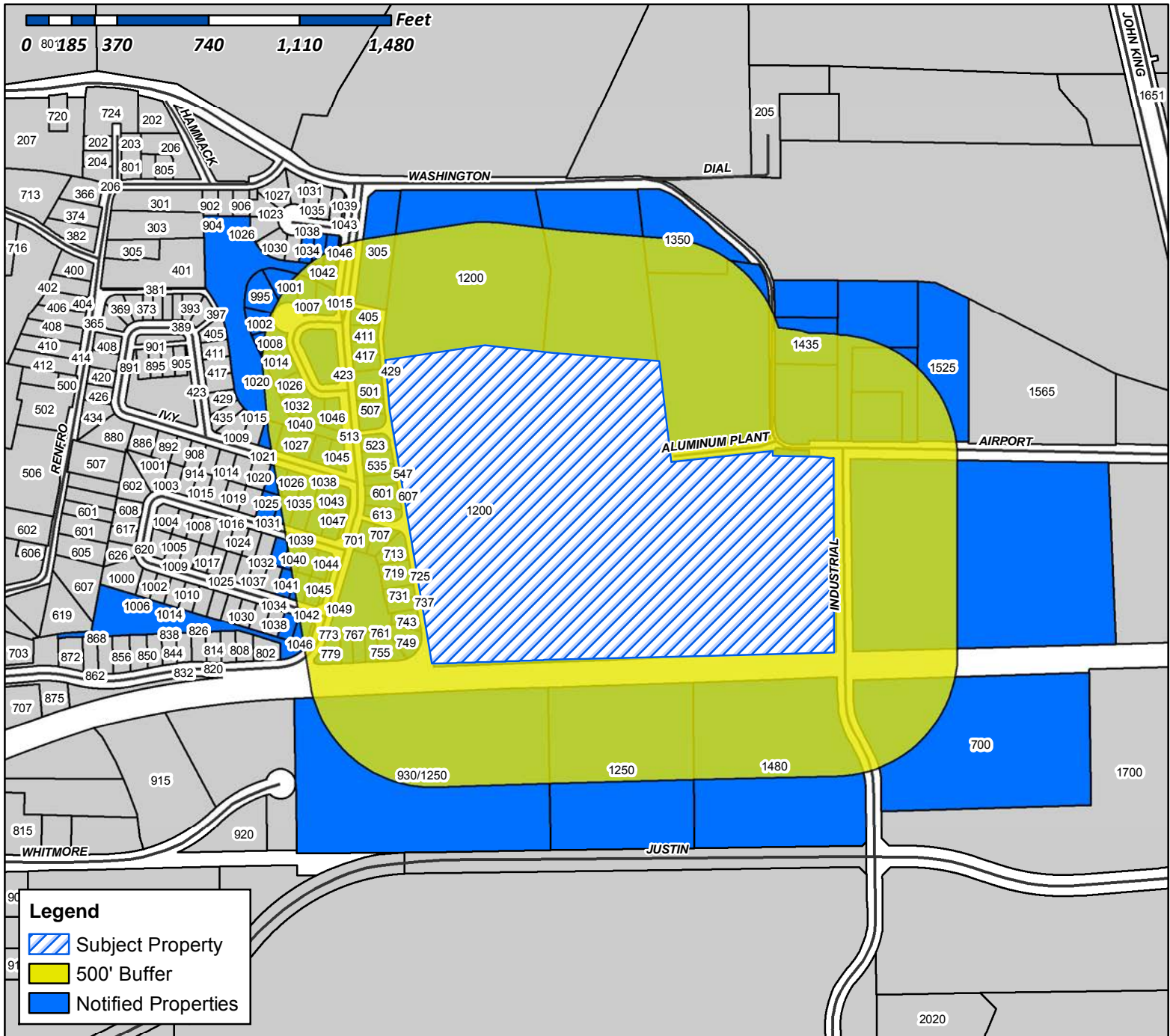




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

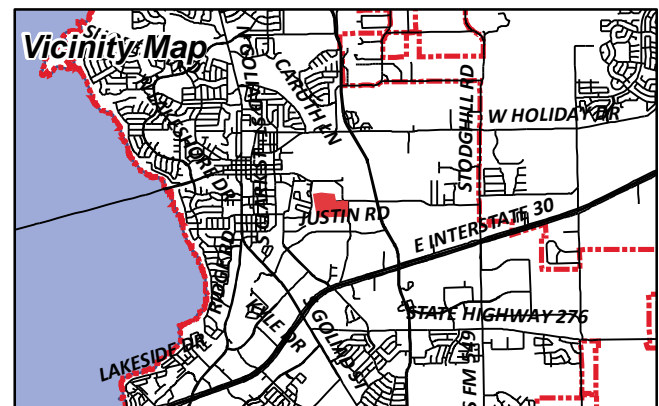
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2019-006  
**Case Name:** SUP for SPR Packaging  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** SW Corner of Industrial Blvd. and Airport Road

**Date Created:** 3/18/2019

**For Questions on this Case Call** (972) 771-7745







# NOTICE OF PUBLIC HEARING

## CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2019-006: SUP for SPR Packaging**

*Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) for a structure that exceeds 60-feet in a Light Industrial (LI) District on a 42.61-acre tract of land identified as Tract 7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract 31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and, Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 4/9/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 4/15/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales**  
**Rockwall Planning and Zoning Dept.**  
**385 S. Goliad Street**  
**Rockwall, TX 75087**

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **4/15/2019** to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:  
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

— . . . PLEASE RETURN THE BELOW FORM — . . .

**Case No. Z2019-006: SUP for SPR Packaging**

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.


Name:

Address:

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



CURRENT RESIDENT  
1001 ST CHARLES CT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1002 ST CHARLES CT  
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA  
1007 ST. CHARLES CT  
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA  
1007 ST. CHARLES CT  
ROCKWALL, TX 75087

ROLLINS DANNY & JONNA  
1008 SAINT CHARLES CT  
ROCKWALL, TX 75087

PODINA HERB AND LAURA  
1014 SAINT CHARLES CT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1015 ST CHARLES CT  
ROCKWALL, TX 75087

DAVID DAVID A AND CHRISTINE A  
1020 SAINT CHARLES CT  
ROCKWALL, TX 75087

DAVIS SHAUNTE AND JACOB  
1021 IVY LN  
ROCKWALL, TX 75087

FECHT JARED W & JULIE  
1026 IVY LN  
ROCKWALL, TX 75087

YOUNG PHIL & KATHY  
1026 SAINT CHARLES COURT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1027 IVY LN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1031 MICHAEL GARDENS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1032 IVY LN  
ROCKWALL, TX 75087

FIELDS SHAY AND JONI  
1032 ST CHARLES COURT  
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST  
1034 ST THOMAS CT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1035 MICHAEL GARDENS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1036 MICHAEL GARDENS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1038 ST THOMAS CT  
ROCKWALL, TX 75087

ALMQUIST DANA  
1038 IVY LANE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1039 MICHAEL GARDENS  
ROCKWALL, TX 75087

KRAEMER TERESA A  
1039 IVY LN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1040 MICHAEL GARDENS  
ROCKWALL, TX 75087

HOULE GARY AND AYURNI NAKAMURA  
1040 SAINT CHARLES CT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1041 BOW ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1042 BOW ST  
ROCKWALL, TX 75087

SOMMER RICHELLE AND RICHARD  
1042 SAINT THOMAS CT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1043 MICHAEL GARDENS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1044 MICHAEL GARDENS  
ROCKWALL, TX 75087

SMITH TAMMY WILLIAMS AND RICHARD  
1044 IVY LN  
ROCKWALL, TX 75087



SMITH RICHARD AND TAMMY  
1044 IVY LN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1045 BOW ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1045 IVY LN  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1046 BOW ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1046 ST THOMAS CT  
ROCKWALL, TX 75087

VRANA MARK AND  
1046 SAINT CHARLES CT  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1047 MICHAEL GARDENS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1048 MICHAEL GARDENS  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1049 BOW ST  
ROCKWALL, TX 75087

CONFIDENTIAL  
1050 IVY LANE  
ROCKWALL, TX 75087

ZAPH & ATH PROPERTIES LLC  
1125 WATERSIDE CIR  
ROCKWALL, TX 75087

ZAPH & ATH PROPERTIES LLC  
1125 WATERSIDE CIR  
ROCKWALL, TX 75087

ZAPH & ATH PROPERTIES LLC  
1125 WATERSIDE CIR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1200 E WASHINGTON  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1200 E WASHINGTON  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1250 JUSTIN RD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1350 E WASHINGTON  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1435 E WASHINGTON ST  
ROCKWALL, TX 75087

ALVAPLAST US INC  
1480 JUSTIN RD  
ROCKWALL, TX 75087

ALVAPLAST US DEVELOPMENT LLC  
1480 JUSTIN ROAD  
ROCKWALL, TX 75087

ALVAPLAST US DEVELOPMENT LLC  
1480 JUSTIN ROAD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1525 AIRPORT RD  
ROCKWALL, TX 75087

JACKSON JOEY W AND ANITA L  
1725 SHEFFIELD DR  
GARLAND, TX 75040

LAKEVIEW SUMMIT PROPERTIES LLC  
1870 HILLCROFT DR  
ROCKWALL, TX 75087

P & P ENTERPRISES  
230 MYERS RD  
HEATH, TX 75032

SHERMAN JOCELYN D  
233 WILLINGHAM DR  
COPPELL, TX 75019

COLUMBIA EXTRUSION CORP  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

LAKES REGIONAL MHMR CENTER  
400 AIRPORT RD  
TERRELL, TX 75160

BARRON GARY S AND DELL S  
405 PARK PLACE BLVD  
ROCKWALL, TX 75087



JONES KENNETH AND CINDY  
411 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLBERT PHILIP AND MARGIE  
417 PARK PLACE BLVD  
ROCKWALL, TX 75087

HARGROVE ADRIANA  
423 PARK PLACE BOULEVARD  
ROCKWALL, TX 75087

MORGAN WILBUR J AND NANCY F  
429 PARK PLACE BLVD  
ROCKWALL, TX 75087

LOVOI JOSEPH J SR AND VELMA J  
501 PARK PLACE BLVD  
ROCKWALL, TX 75087

CONFIDENTIAL  
507 PARK PLACE BLVD  
ROCKWALL, TX 75087

GARCIA MELISSA P AND  
513 PARK PLACE BLVD  
ROCKWALL, TX 75087

BLACKWOOD SCOTT W & GLENITA G  
5205 S FM 549  
ROCKWALL, TX 75032

MOORE CONNIE JO  
523 PARK PLACE BLVD  
ROCKWALL, TX 75087

EMERT BLAKE AND HANNAH  
535 PARK PLACE BLVD  
ROCKWALL, TX 75087

HENRY PATRICIA A  
541 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
547 PARK PLACE BLVD  
ROCKWALL, TX 75087

BAYS JACOB M  
5602 YACHT CLUB DR.  
ROCKWALL, TX 75032

DUKE JERI L  
5911 PINEY BIRCH COURT  
KINGWOOD, TX 77345

CURRENT RESIDENT  
601 PARK PLACE BLVD  
ROCKWALL, TX 75087

SCHRADE JAMES E AND MITZY H  
607 PARK PLACE BLVD  
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
613 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
700 INDUSTRIAL  
ROCKWALL, TX 75087

CONTINENTAL PET TECHNOLOGY  
700 INDIAN SPRINGS DR STE 100  
LANCASTER, PA 17601

CURRENT RESIDENT  
701 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
707 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
713 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
719 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
725 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
731 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
737 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
743 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
749 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
755 PARK PLACE BLVD  
ROCKWALL, TX 75087



CURRENT RESIDENT  
761 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
767 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
773 PARK PLACE BLVD  
ROCKWALL, TX 75087

CURRENT RESIDENT  
779 PARK PLACE BLVD  
ROCKWALL, TX 75087

BENEDETTO MATT  
907 W HOLIDAY RD  
ROCKWALL, TX 75087

WHITMORE MANUFACTURING CO  
930 WHITMORE DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
930/1250 JUSTIN RD  
ROCKWALL, TX 75087

MARTIN CHARLES TED & RHONDA K  
995 ST CHARLES CT  
ROCKWALL, TX 75087

SOROPTIMIST INT'L OF ROCKWALL  
PO BOX 372  
ROCKWALL, TX 75087



**SPECIAL USE PERMIT DESIGN REQUEST NARRATIVE  
SPR NORTH PHASE 2**

On behalf of SPR Packaging, we are representing the Owner in the design of the new facility, SPR Packaging North, which will be north of their current facility at 1480 Justin Road. As you are aware, SPR's business involves the production of flexible packaging products through a process called extrusion. The extrusion of plastic requires height to process the film and depending on the width of the film, technology improvements and number of layers, that height may vary. In order to be able to accommodate new equipment that will allow SPR Packaging to compete in new markets and expand their business, a maximum height of 100 feet above finish floor in a specific area of the property is required. This exceeds the current allowable height for buildings by 40', therefore the Owner requests a variance to allow the 100' maximum. This variance would apply to the Phase 2 portion of the building, as well as future expansion phases within the extrusion area defined in the site drawings. SPR Packaging had previously received a Special Use Permit for the 75' high extruder section for their existing building on Justin Road. See Elevations and Site Plan.

Based on initial Zoning Commission concerns, I have provided additional Exhibits for consideration.

1. As part of the Phase 1 Building project, the Owner is willing to provide screening from the far west property line abutting the adjacent residential use and the commercial zone to the north. We propose to add fast growing, tall, screening trees to close the open gap between the southeast corner of the residential property and well past the existing aluminum Warehouse, which is to be renovated in the future, and extend it to cover the north fence line.
2. A visual impact study was conducted to evaluate estimated building visibility from the most significant points of view. See 'Line of Site' Exhibits.
3. Elevation drawings showing the requested height of the extruder roof to 100' maximum.
4. Architectural Site Plan.
5. Site drawing showing Extrusion area limited to 500 feet away from Park Place Neighborhood and future development, 132 feet away from Industrial Road and 500 feet from south property line.
6. Building Entry Rendering.

Sincerely,

  
Mark Pross  
President

Attachment: Line of Site Exhibits  
Revised Site and Elevation Drawings





March 22, 2019

City of Rockwall  
Chairman Jonathan Lyons and the Planning and Zoning Commission  
385 South Goliad  
Rockwall, Texas 75087

Re: SPR Packaging

Planning and Zoning Commission members,

I am writing on behalf of the Rockwall Economic Development Corporation to enlist your support for the request by SPR Packaging to allow the company to build up to 100-foot tall production structures near their current Justin Road facility. As you may be aware, SPR requires the ability to build to this height in order to vertically extrude plastic necessary for certain products the company plans to manufacture in Rockwall. While SPR's current and future development site is zoned for such use, a Specific Use Permit (SUP) will be required for the company to exceed 60 feet in building height. This SUP is currently planned for discussion and consideration by the Planning and Zoning Commission on March 26 and April 9 and with the City Council on April 15 and May 6.

SPR has conducted business in Rockwall since 2008. While they have always been a strong employer and contributor to the local tax base, the opportunity for an unparalleled economic impact began taking shape after the company was acquired by the Spanish company, Armando Alvarez Group (AAG), in 2014. AAG leaders quickly saw SPR as a company primed for growth in industrial and agricultural plastics, and bought in to Rockwall as a community that could facilitate that growth. In early 2018, SPR entered into an agreement with the REDC on an expansion project that could add up to \$48.4 million in additional taxable value to their current facility. Now, the company's proposed initial development on 42 acres acquired to the north will result in an additional \$48.7 million in estimated tax value. AAG leaders have stated that they hope to make SPR and Rockwall the North and South American headquarters for their company. At full buildout on the entire 52-acre campus, SPR could conservatively build over 700,000 square feet with a taxable value of \$200 million.

It is important to put the \$200 million figure in context, as it is three times greater than any existing taxpayer within Rockwall. A \$200 million taxable value, using 2018 tax rates, would generate \$800,000 annually for the City of Rockwall, as well as \$650,000 for Rockwall County and \$2,800,000 for Rockwall ISD. If \$200 million in taxable value was removed from the tax rolls in 2018, a collective tax increase of 5 cents (\$0.05 per \$100 of taxable value) would have to be implemented for all taxing jurisdictions to account for the loss of revenue. With Rockwall's median housing value estimated at \$225,000, a \$0.05 tax increase would cost an average Rockwall family an additional \$112 annually in taxes. As such, it is not hyperbole to say that Rockwall residents have a significant financial stake in this decision.



Fortunately, SPR does not want to leave Rockwall. The company has a strong desire to continue their growth plans in our community. However, that will change if the SUP is not approved.

SPR officials recently met with residents of the adjacent Park Place subdivision, some who have expressed concern regarding the visual impact of the tallest production facilities. The company assured residents that any of the tall structures will be placed at least 500 feet from the Park Place property line. They also demonstrated their line of sight drawings – completed by a licensed architect – showing the lack of visual impact in Park Place, and the minimal impact at other area locations. SPR also discussed their willingness to excavate if more than 100 feet of height clearance is needed, as well as how they will plant additional trees for screening and limit west-side operations to regular business hours to avoid being a nuisance for the nearby residents.

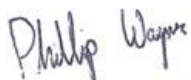
Fundamentally, the REDC understands the importance of beautiful neighborhoods and values the relative peace and quiet that contributes to a high quality of life in Rockwall. As residents ourselves, we enjoy the same characteristics that have made Rockwall a wonderful bedroom community for thousands. We also understand the importance of a balanced community that allows for a mix of both residential and business development. We believe that without that broad and diversified tax base, residential taxes will increase and/or the quality of vital public services will decline. This is the key reason why the REDC was approved by the Rockwall voters in 1995. The public understood that without a strong commercial presence, Rockwall suffers. This fact remains true today.

The value of SPR Packaging to Rockwall, and the future value of the company as the North and South American headquarters for the Armando Alvarez Group, cannot be overstated. Still, even with the tremendous economic impact, the REDC would struggle to support a company that posed negative environmental implications on the community we know and love. That is not the case with SPR.

SPR's expansion represents the type of mindful and responsible industrial growth that the REDC envisioned when it was created more than 23 years ago. For that reason, the REDC unequivocally supports the SPR Packaging expansion and the corresponding SUP application that is essential for their business. We respectfully ask that both the City Council and Planning and Zoning approve the SUP.

If you have any questions, please do not hesitate to contact me at 972.772.0025 or 785.423.5842.

Sincerely,

A handwritten signature in blue ink that reads "Phil Wagner". The signature is written in a cursive, slightly slanted style.

Phil Wagner  
President  
Rockwall Economic Development Corporation



STINES  
BOATES  
STILES

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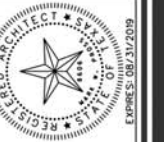


# 1 AERIAL PERSPECTIVE SITE PLAN

SCALE: N.T.S.

**SPR**  
PACKAGING  
SPR NORTH  
ROCKWALL, TEXAS

job no  
1850  
sheet  
SITE PLAN

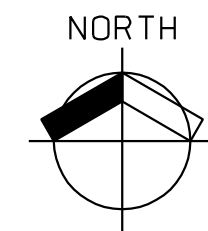
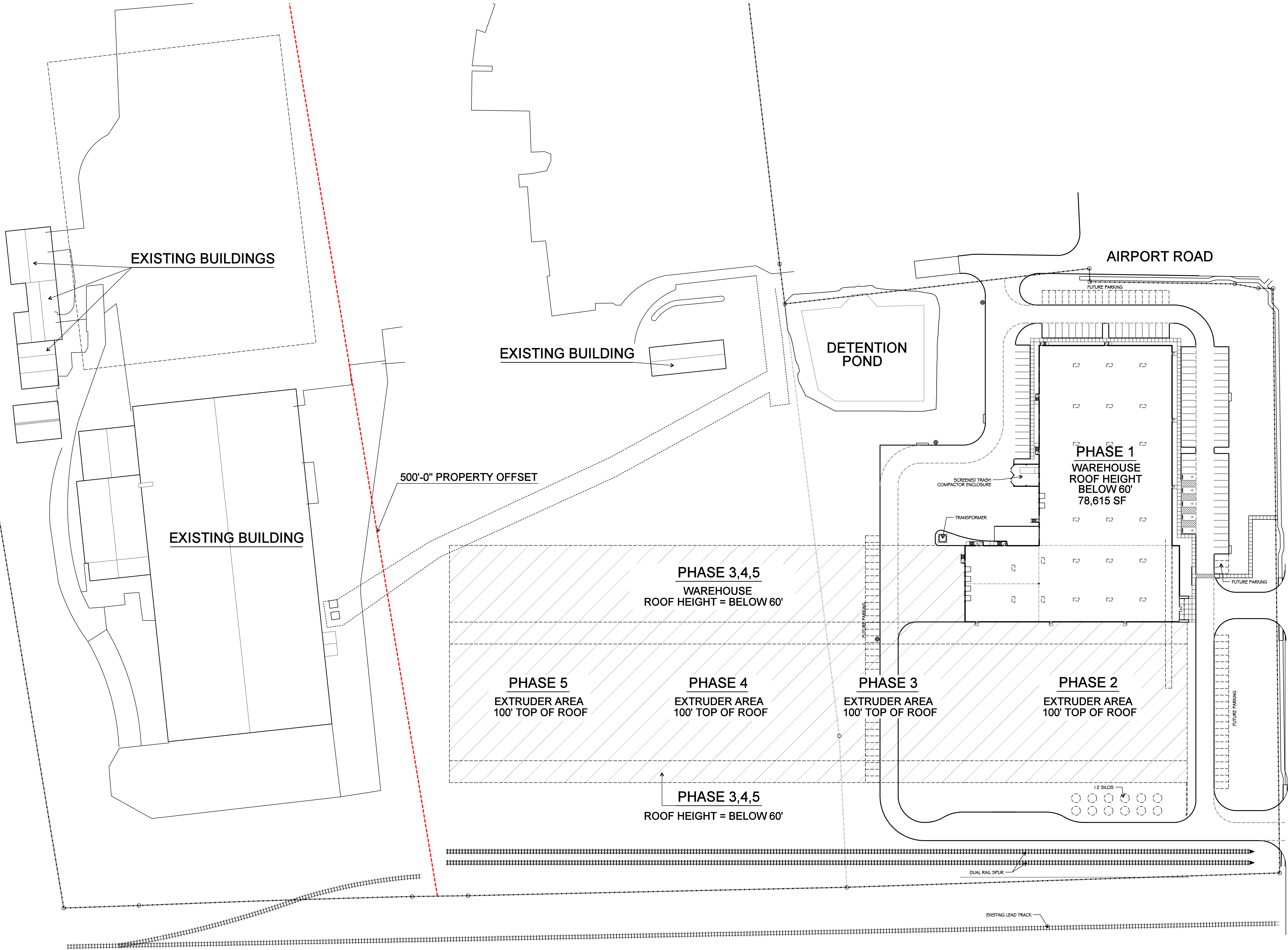


**pross design group, incorporated**  
6310 Harvest Hill Road, Suite 100, Dallas, Texas 75220, 972/759-1400

#	DATE	DESCRIPTION

drawn:  
SF  
checked  
MARK W. PROSS  
date:

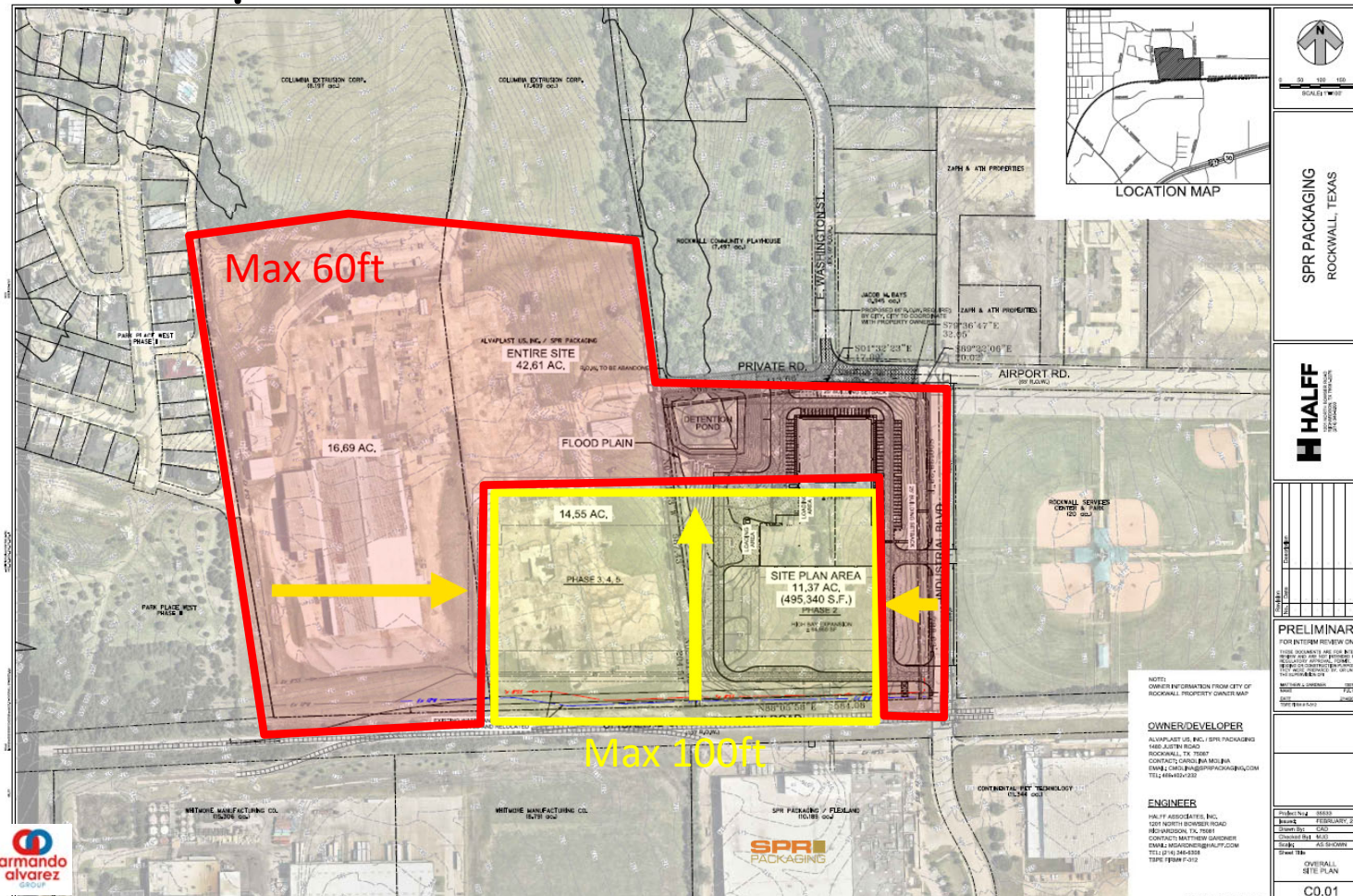




1 SITE PLAN  
SCALE: 1"=60'-0"



# Development Plan

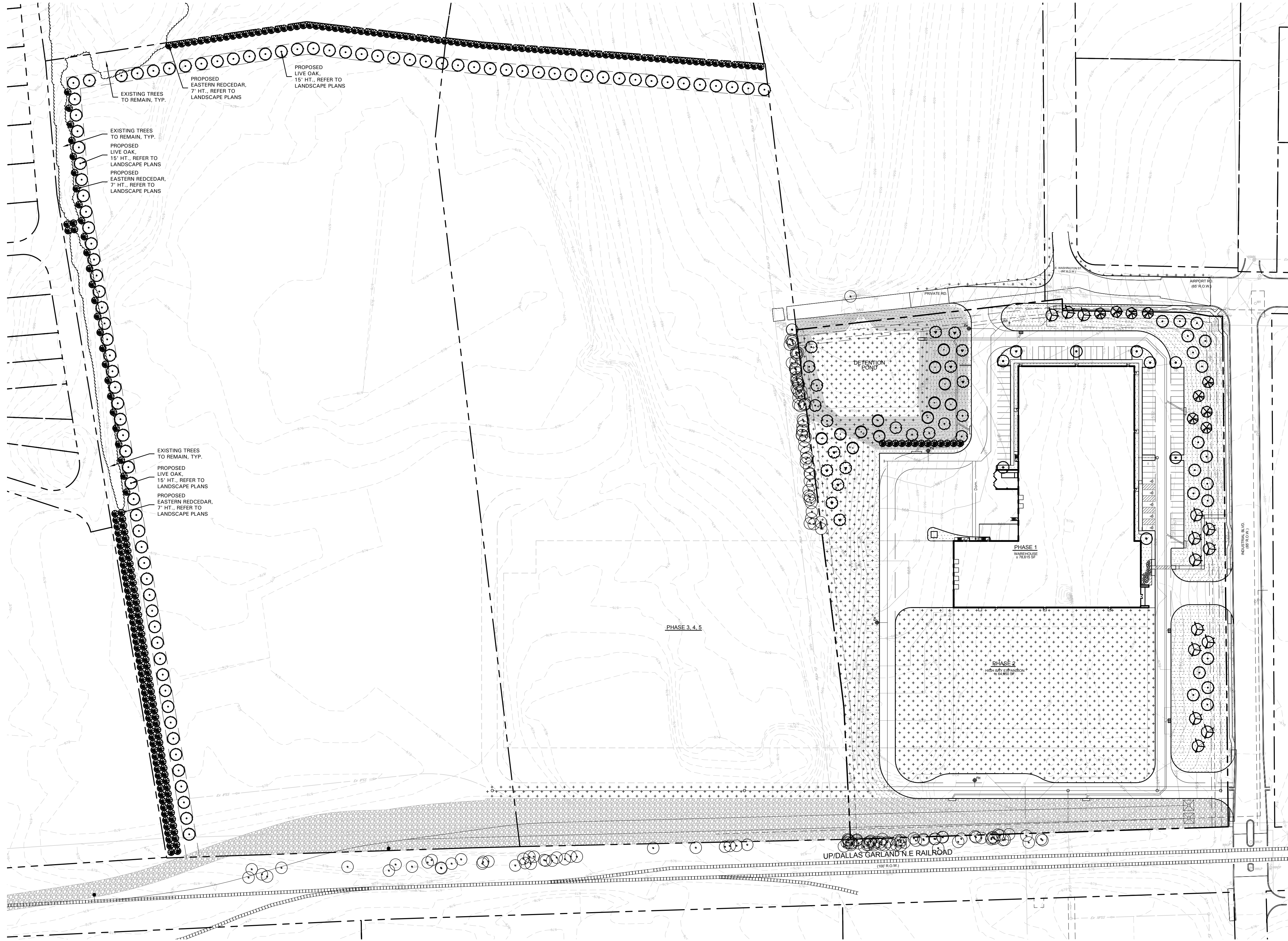


Area where we will apply the SUP (documented in application)

- 500 ft off west property line
- 132 feet off east property line
- Within 500 ft of south property line towards the north



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OVERALL LANDSCAPE PLAN



SCALE: 1" = 80'-0"  
0 40 80 160



4245 North Central Expy  
Suite 501  
Dallas, Texas 75205  
214.865.7192 office



pross design group, incorporated  
2610 Harvest Hill Road, Suite 100, Dallas, Texas 75228 972/726-1400

PROGRESS SET - FOR REVIEW ONLY  
03.04.19  
These documents are NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. They were prepared by, or under the supervision of: Kari Ann Haug, TX Registered Landscape Architect #2246

# DATE 02/14/19

DESCRIPTION CITY COMMENTS

drawn: KAH  
checked: KAH  
date: 01/15/19

job no

sheet

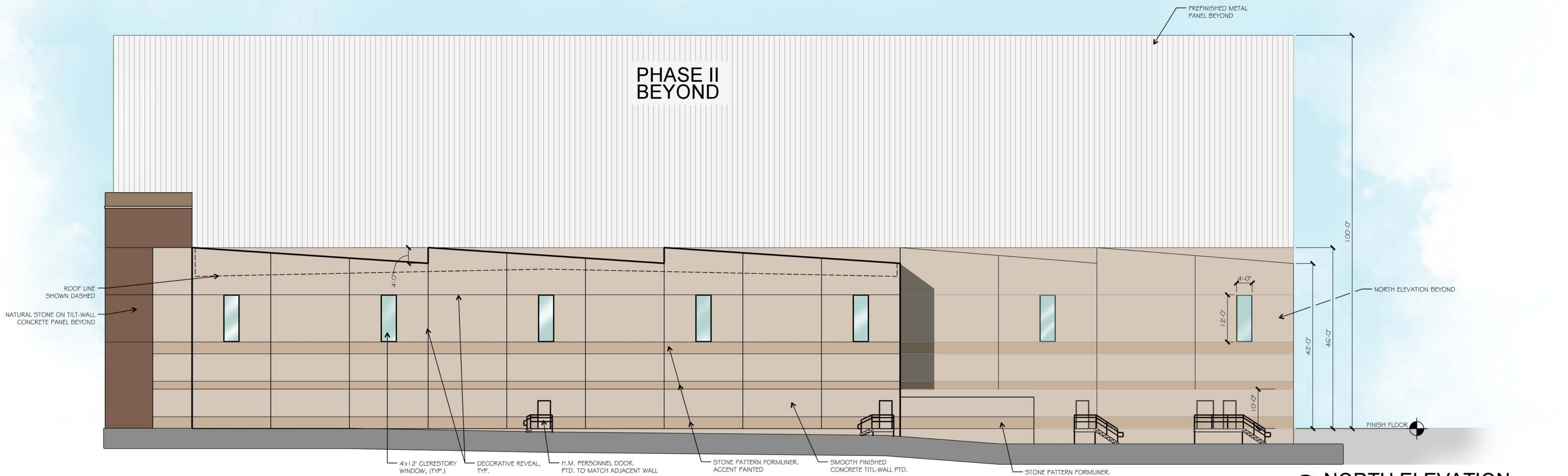
L1.00



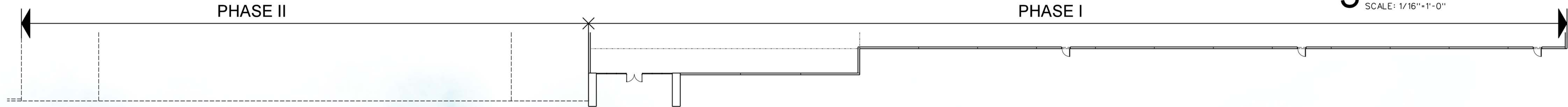




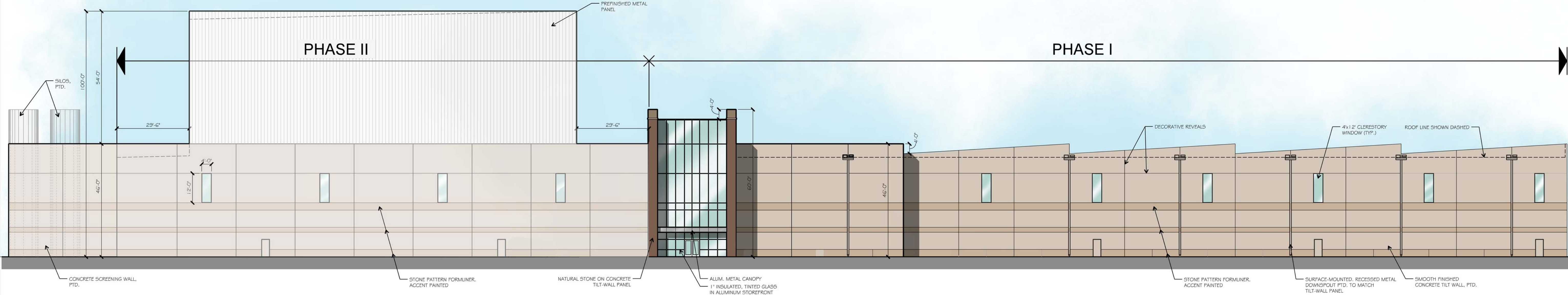
PAINT SCHEME LEGEND				
A - BASE COLOR				
SHERWIN WILLIAMS - SW9085 TOUCH OF SAND				
B - ACCENT COLOR 01				
SHERWIN WILLIAMS - SW 7518 BEACH HOUSE				
C - ACCENT COLOR 02				
SHERWIN WILLIAMS - SW 7550 RESORT TAN				
FACADE MATERIAL CALCULATIONS				
	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE SQ. FT.	13,651 FT²	29,029 FT²	37,516 FT²	36,610 FT²
2. FACADE SQ. FT. EXCLUDING DOORS AND WINDOWS	13,186 FT²	28,669 FT²	35,301 FT²	34,912 FT²
3. DOORS AND WINDOWS	463 FT²	360 FT²	2,217 FT²	1,698 FT²
4. METAL	0 FT²	16,872 FT²	6,561 FT²	6,506 FT²
5. PRIMARY MASONRY TOTALS	13,186 FT²	11,797 FT²	26,740 FT²	26,406 FT²
	100% OF (2.)	41% OF (2.)	76% OF (2.)	76% OF (2.)



3 NORTH ELEVATION  
SCALE: 1/16"=1'-0"



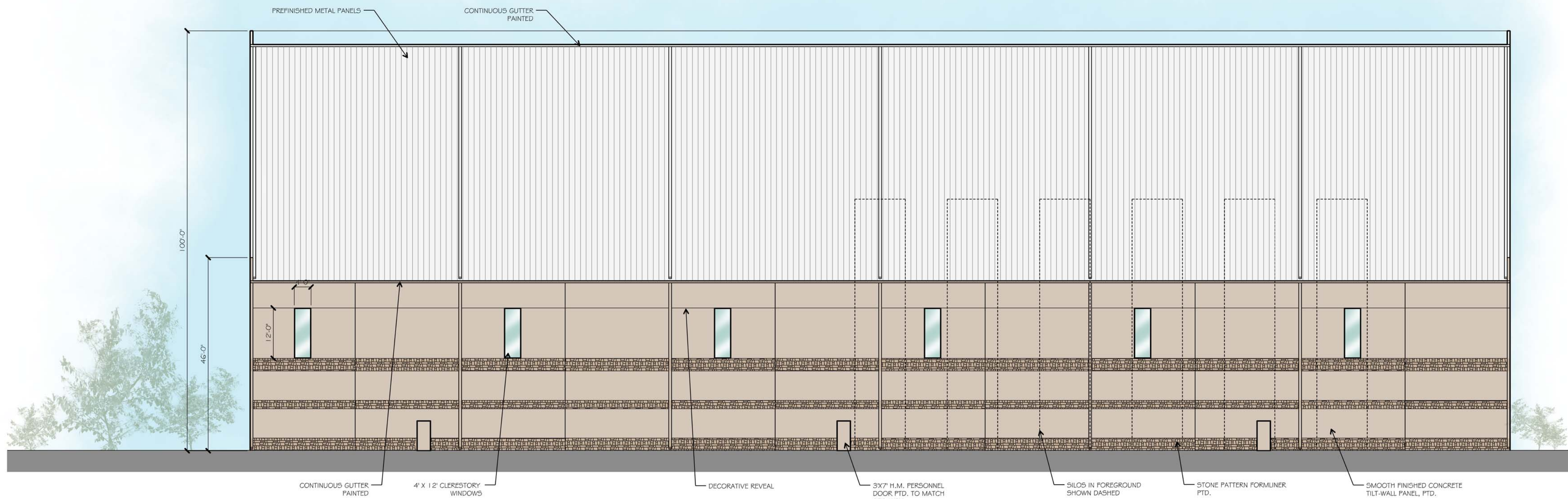
2 PARTIAL FLOOR PLAN  
SCALE: 1/20"=1'-0"



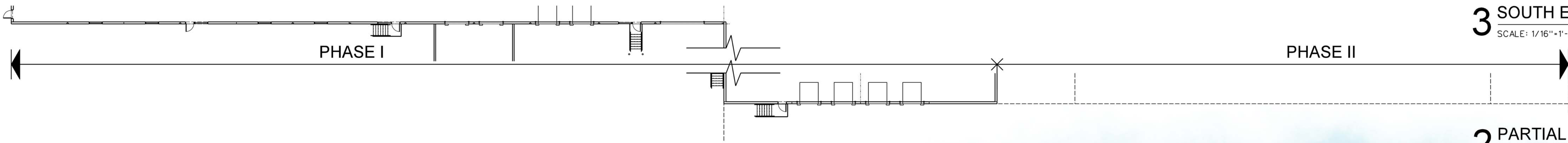
1 EAST ELEVATION  
SCALE: 1/20"=1'-0"



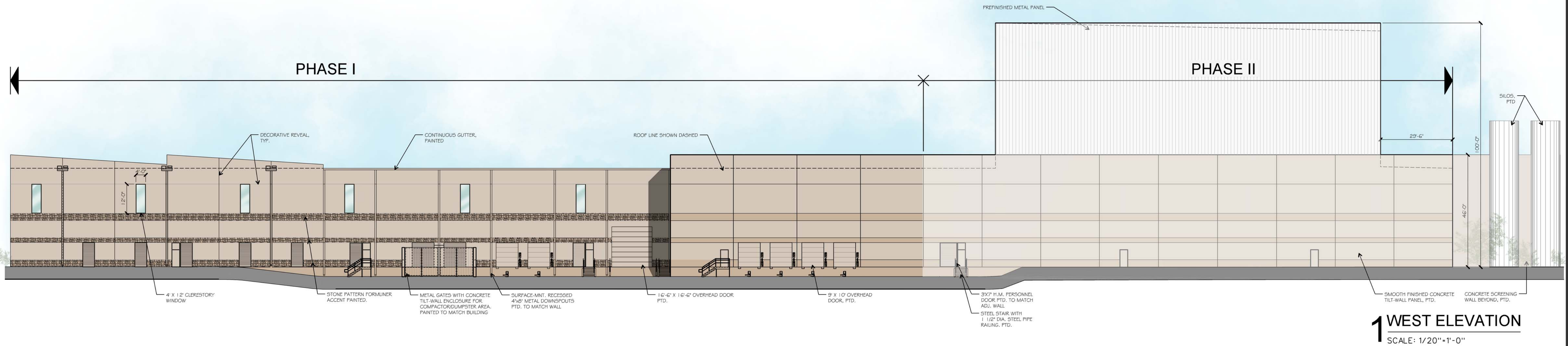
PAINT SCHEME LEGEND				
A - BASE COLOR				
SHERWIN WILLIAMS - SW9085 TOUCH OF SAND				
B - ACCENT COLOR 01				
SHERWIN WILLIAMS - SW 7518 BEACH HOUSE				
C - ACCENT COLOR 02				
SHERWIN WILLIAMS - SW 7550 RESORT TAN				
FACADE MATERIAL CALCULATIONS				
	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE SQ. FT.	13,651 FT²	29,029 FT²	37,516 FT²	36,610 FT²
2. FACADE SQ. FT. EXCLUDING DOORS AND WINDOWS	13,188 FT²	28,669 FT²	35,301 FT²	34,912 FT²
3. DOORS AND WINDOWS	463 FT²	360 FT²	2,217 FT²	1,698 FT²
4. METAL	0 FT²	16,872 FT²	8,561 FT²	8,506 FT²
5. PRIMARY MASONRY TOTALS	13,188 FT²	11,797 FT²	26,740 FT²	26,406 FT²
	100% OF (2.)	41% OF (2.)	76% OF (2.)	76% OF (2.)



**3 SOUTH ELEVATION**  
SCALE: 1/16"=1'-0"

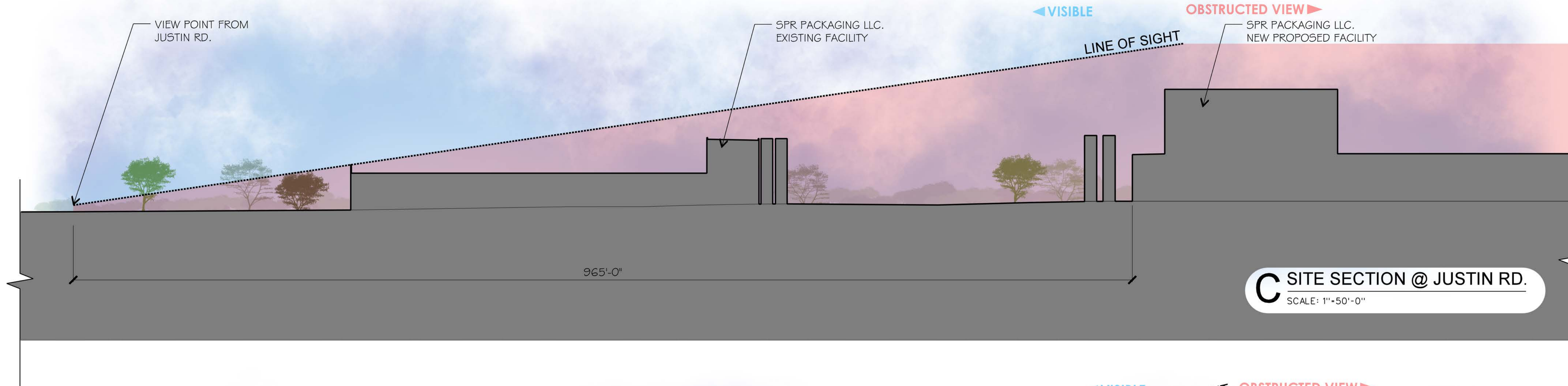
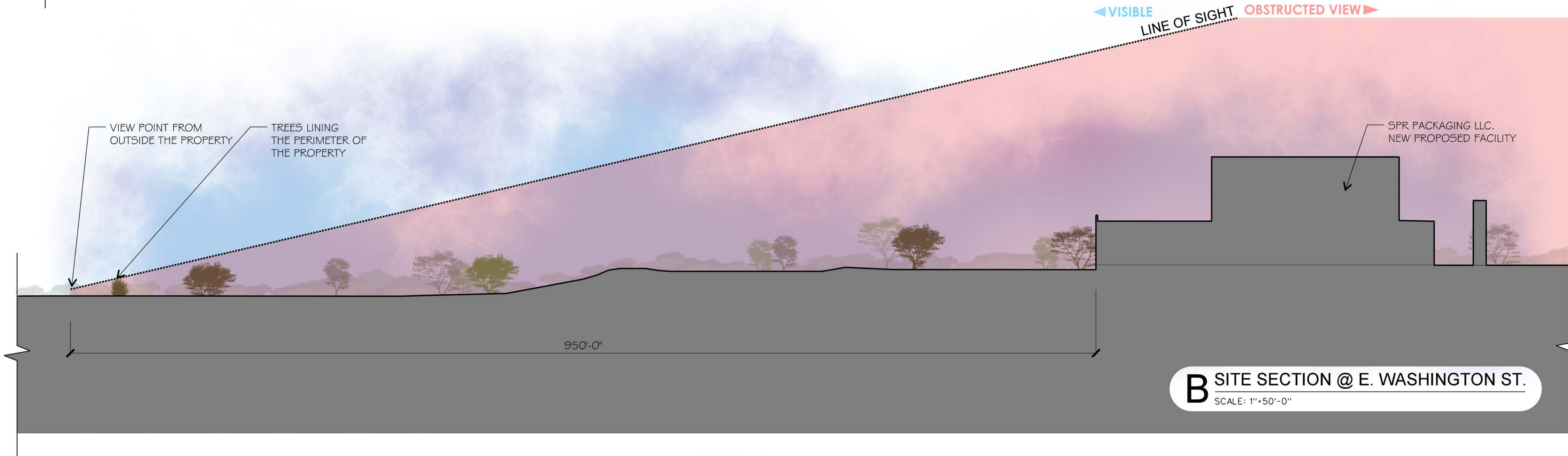
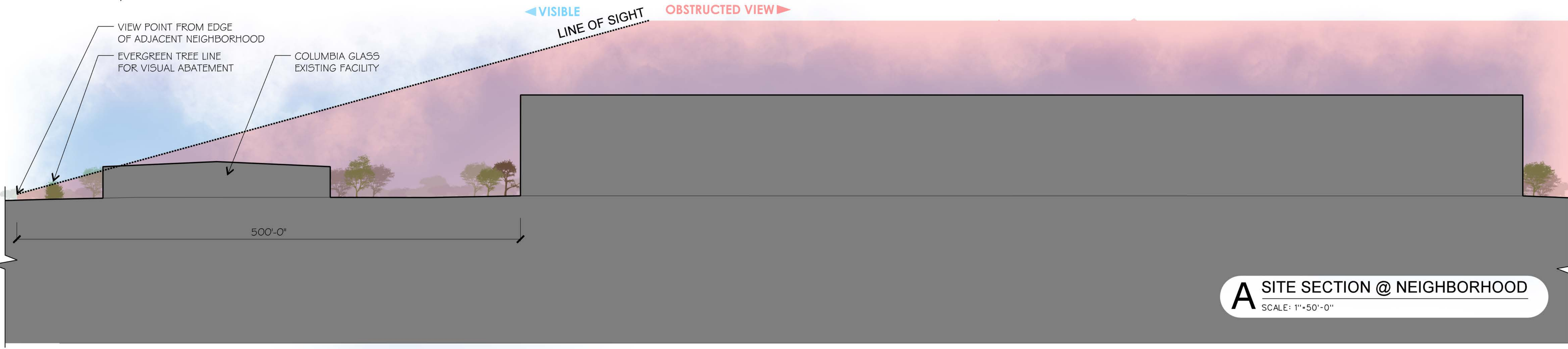


**2 PARTIAL FLOOR PLAN**  
SCALE: 1/20"=1'-0"



**1 WEST ELEVATION**  
SCALE: 1/20"=1'-0"









**VIEW 01**  
PHASES 1,2





**VIEW 01**  
**PHASES 3,4,5**





**VIEW 02**  
**PHASES (ALL)**





**VIEW 03**  
PHASES 3,4,5





**VIEW 04**  
PHASES 1,2





**VIEW 04**  
**PHASES 3,4,5**





**VIEW 05**  
**PHASES (ALL)**



CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A SPECIFIC USE PERMIT (SUP) ALLOWING STRUCTURES THAT EXCEED 60-FEET IN HEIGHT WITHIN A LIGHT INDUSTRIAL (LI) DISTRICT, ON A 42.61-ACRE TRACT OF LAND BEING IDENTIFIED AS TRACT 7 OF THE N. BUTLER SURVEY, ABSTRACT NO. 20 (11.3736-ACRES); TRACT 31 OF THE R. BALLARD SURVEY, ABSTRACT NO. 29 (8.197-ACRES); AND LOT 1-01, BLOCK 1, INDALLOY ADDITION (14.53-ACRES), CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) to allow for structures that will exceed 60-feet in height within the *Light Industrial (LI) District* on an 42.61-acre tract of land, identified as Tract 7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract 31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned *Light Industrial (LI) District*, generally located at the terminus of Aluminum Plant Road, and more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE**, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**Section 1.** That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing structures that will exceed 60-feet in height within the *Light Industrial (LI) District* as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code [Ordinance No. 04-38] on the *Subject Property*, and

**Section 2.** That the Specific Use Permit (SUP) shall be subject to the conditions set forth in *Section 5.01, Light Industrial (LI) District*, and *Section 7.03, Non-Residential District Development*



*Standards, of Article V, District Development Standards, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended and as may be amended in the future, and shall be subject to the additional following conditions:*

## **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the operation of an office/ warehouse/manufacturing facility that exceeds 60-feet in height on the *Subject Property*, and conformance to these operational conditions is required for continued operations:

- 1) The development of this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance; and,
- 2) The maximum overall height of the buildings and/or structures shall not exceed 100-feet, as depicted in *Exhibit 'C'* of this ordinance; and,
- 3) The building elevations depicted in *Exhibit 'C'* are for reference to the height of the extruder bays for all phases (*i.e. phase 2, 3, 4, & 5*), and do not represent approved building elevations. Any building elevations associated with the project shall be subject to the requirements of the Unified Development Code (UDC), review by the Architectural Review Board, and approval by the Planning and Zoning Commission [*and City Council if applicable*]; and,
- 4) Future expansion of the site [*i.e. Phases 3, 4, and 5*] should have all silos placed on the southern portion of the subject property, adjacent to the railroad tracks, as depicted in *Exhibit 'B'* of this ordinance; and,
- 5) The subject property shall provide and maintain a landscape screening buffer along the western and northern property boundaries [*i.e. Overall Landscape Plan*], as depicted in *Exhibit 'D'* of this ordinance.

## **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

**Section 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict

**Section 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not



to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**Section 8.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF MAY, 2019.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2019

2<sup>nd</sup> Reading: May 6, 2019



**Exhibit 'A':**  
**Legal Description**

**BEING** A 42.6035 ACRE PARCEL OF LAND SITUATED IN THE N. BUTLER SURVEY ABSTRACT NO. 20 AND THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; SAID 42.6035 ACRE TRACT BEING ALL OF 11.3736 ACRE OF TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEED TO ALVAPLAST U.S., INC., A DELAWARE CORPORATION RECORDED IN INSTRUMENT NUMBER 20150000002739 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING PART OF 98.319 ACRE TRACT OF LAND DESCRIBED IN A WARRANTY DEED TO COLUMBIA EXTRUSION CORPORATION, DATED DECEMBER 22, 1988 AND RECORDED IN VOLUME 444, PAGE 102 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING A PART OF LOT 1 IN BLOCK 1 OF INDALLOY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "D", SLIDE 273 OF THE PLAT RECORDS OF ROCKWALL COUNTY TEXAS; SAID 42.6035 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** AT A POINT FOR CORNER AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (A 65-FOOT WIDE RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF AIRPORT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

**THENCE** SOUTH 00° 07' 36" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND THE EAST LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT FOR A DISTANCE OF 788.63 FEET TO A POINT FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF UP/DALLAS GARLAND N.E. RAILROAD (A 100-FOOT WIDE RIGHT-OF-WAY); SAID POINT BEING THE SOUTHEAST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

**THENCE** SOUTH 88° 36' 50" WEST DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND ALONG THE SAID NORTH LINE OF UP/DALLAS GARLAND N.E. RAILROAD AND THE SOUTH LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT, FOR A DISTANCE OF 584.08 FEET TO THE SOUTHWEST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT AND THE SOUTHEAST CORNER OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF AFORESAID 98.319 ACRE TRACT DESCRIBED IN DEED TO COLUMBIA EXTRUSION CORPORATION;

**THENCE** SOUTH 88° 32' 20" WEST CONTINUING ALONG THE SAID NORTH LINE OF UP/DALLAS GARLAND N.E. RAILROAD AND THE SOUTH LINE OF SAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND PASSING APPROXIMATELY AT A DISTANCE OF 332.77 FEET THE SOUTHWEST CORNER OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND CONTINUING ALONG THE SAID NORTH LINE OF UP/DALLAS GARLAND N.E. RAILROAD FOR A TOTAL DISTANCE OF 578.23 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 21774.77 FEET WITH A CENTRAL ANGLE OF 00° 58' 11" AND A CHORD BEARING SOUTH 88° 05' 13" WEST AT A DISTANCE OF 368.51 FEET;

**THENCE** SOUTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT AND CONTINUING ALONG THE SAID NORTH LINE OF UP/DALLAS GARLAND N.E. RAILROAD FOR AN ARC DISTANCE OF 368.52 FEET TO A POINT FOR CORNER;

**THENCE** SOUTH 88° 04' 12" WEST CONTINUING ALONG THE SAID NORTH LINE OF UP/DALLAS GARLAND N.E. RAILROAD FOR A DISTANCE OF 101.65 FEET TO A POINT FOR CORNER;

**THENCE** NORTH 09° 24' 49" WEST DEPARTING THE SAID NORTH LINE OF UP/DALLAS GARLAND N.E. RAILROAD FOR A DISTANCE OF 1039.14 FEET TO A POINT FOR CORNER IN THE EAST BOUNDARY LINE OF PARK PLACE WEST II, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE AMENDED PLAT THEREOF RECORDED IN CABINET "G", SLIDE 100 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

**THENCE** NORTH 04° 52' 54" WEST ALONG THE EAST LINE OF SAID PARK PLACE WEST ADDITION FOR A DISTANCE OF 207.14 FEET TO A POINT FOR CORNER;

**THENCE** NORTH 81° 27' 00" EAST LEAVING THE EAST LINE OF SAID PARK PLACE WEST ADDITION FOR A DISTANCE OF 408.12 FEET TO A POINT FOR CORNER;

**THENCE** SOUTH 83° 23' 14" EAST AND PASSING AT A DISTANCE OF 216.91 FEET THE WEST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND CONTINUING ON FOR A TOTAL DISTANCE OF 274.94 FEET TO A POINT FOR CORNER;

**THENCE** SOUTH 85° 37' 16" EAST FOR A DISTANCE OF 435.64 FEET TO A POINT FOR CORNER IN THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND THE WEST LINE OF 7.497 ACRE TRACT OF LAND DESCRIBED IN DEED TO ROCKWALL COMMUNITY PLAYHOUSE AND RECORDED IN VOLUME 4239, PAGE 203 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS;

**THENCE** SOUTH 06° 42' 50" EAST ALONG THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND THE WEST LINE OF SAID 7.497 ACRE TRACT OF LAND DESCRIBED IN DEED TO ROCKWALL COMMUNITY PLAYHOUSE, FOR A DISTANCE OF 360.89 FEET TO A POINT FOR CORNER AT THE END OF A 50' WIDE STREET DEDICATION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS BY DEED RECORDED IN VOLUME 67, PAGE 116 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS

**THENCE** SOUTH 06° 22' 45" EAST CONTINUING ALONG THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION FOR A DISTANCE OF 50.93 FEET TO A POINT FOR CORNER IN THE SOUTH RIGHT-OF-WAY LINE OF AFORESAID



**Exhibit 'A':**  
*Legal Description*

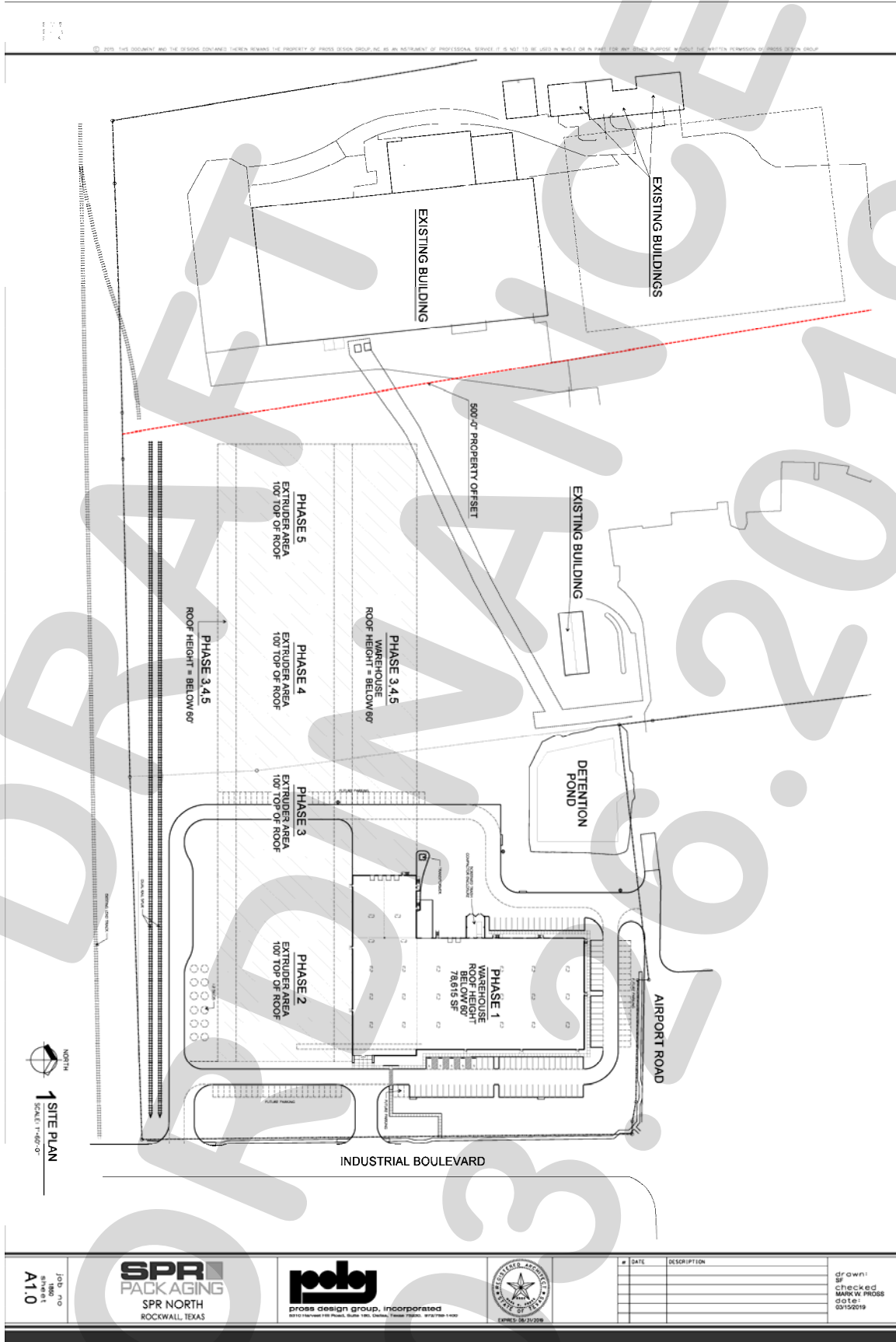
AIRPORT ROAD; SAID POINT ALSO BEING THE NORTHWEST CORNER OF AFORESAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

***THENCE*** DEPARTING THE WEST LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT AND THE EAST LINE OF SAID LOT 1 IN BLOCK 1 AND ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID AIRPORT ROAD, THE FOLLOWING COURSES AND DISTANCES NUMBERED (1) THROUGH (5);

1. NORTH 83° 53' 38" EAST FOR A DISTANCE OF 413.66 FEET TO A POINT FOR CORNER;
2. SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 17.89 FEET TO A POINT FOR CORNER;
3. SOUTH 88° 37' 46" EAST FOR A DISTANCE OF 195.72 FEET TO A POINT FOR CORNER;
4. SOUTH 79° 05' 55" EAST FOR A DISTANCE OF 32.05 FEET TO A POINT FOR CORNER;
5. SOUTH 88° 51' 14" EAST FOR A DISTANCE OF 20.01 FEET TO THE POINT OF BEGINNING AND CONTAINING 42.6035 ACRES OF LAND, MORE OR LESS.



# Exhibit 'B': Conceptual Site Plan





**Exhibit 'C':**  
**Concept Building Elevation Phasing Plan**

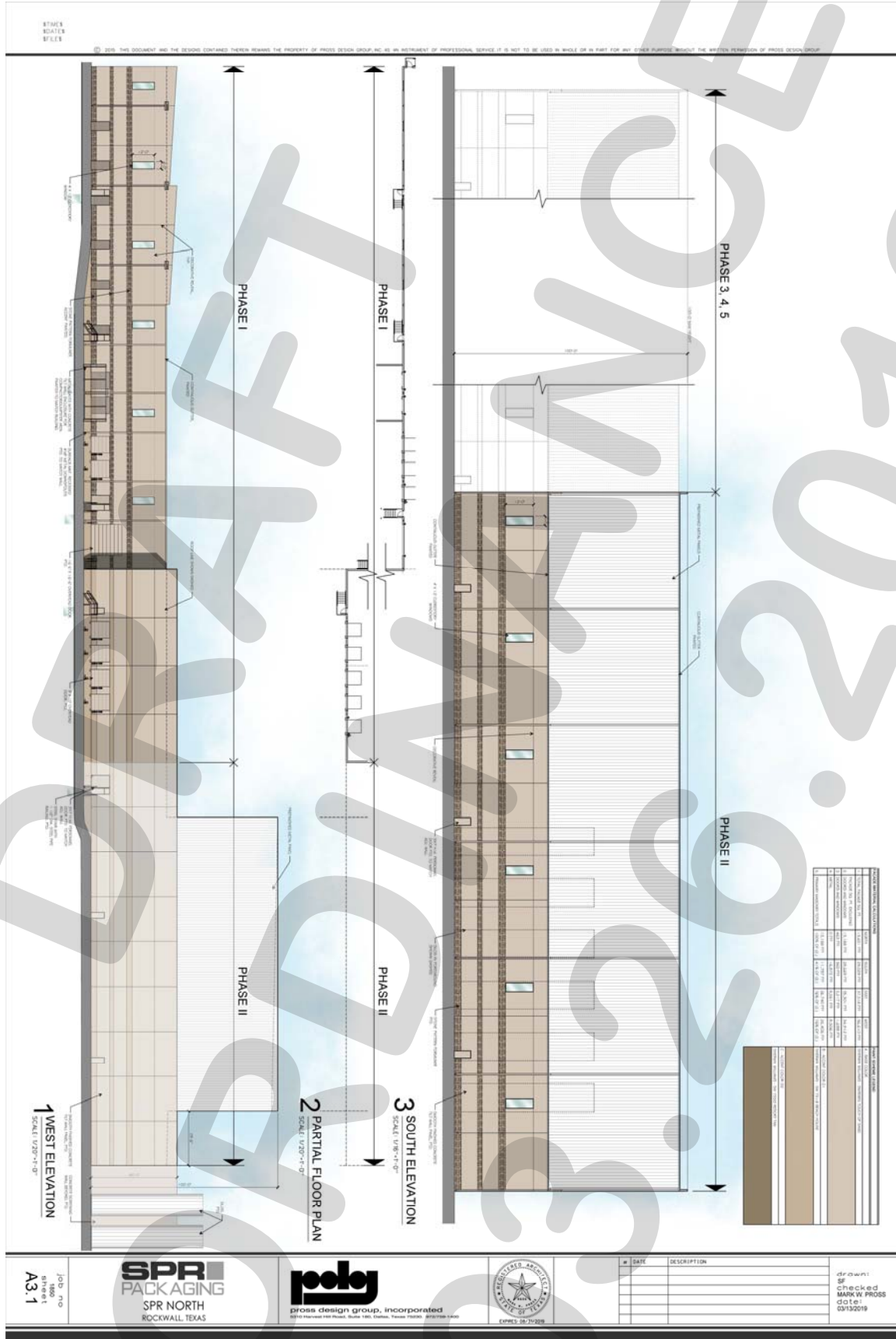
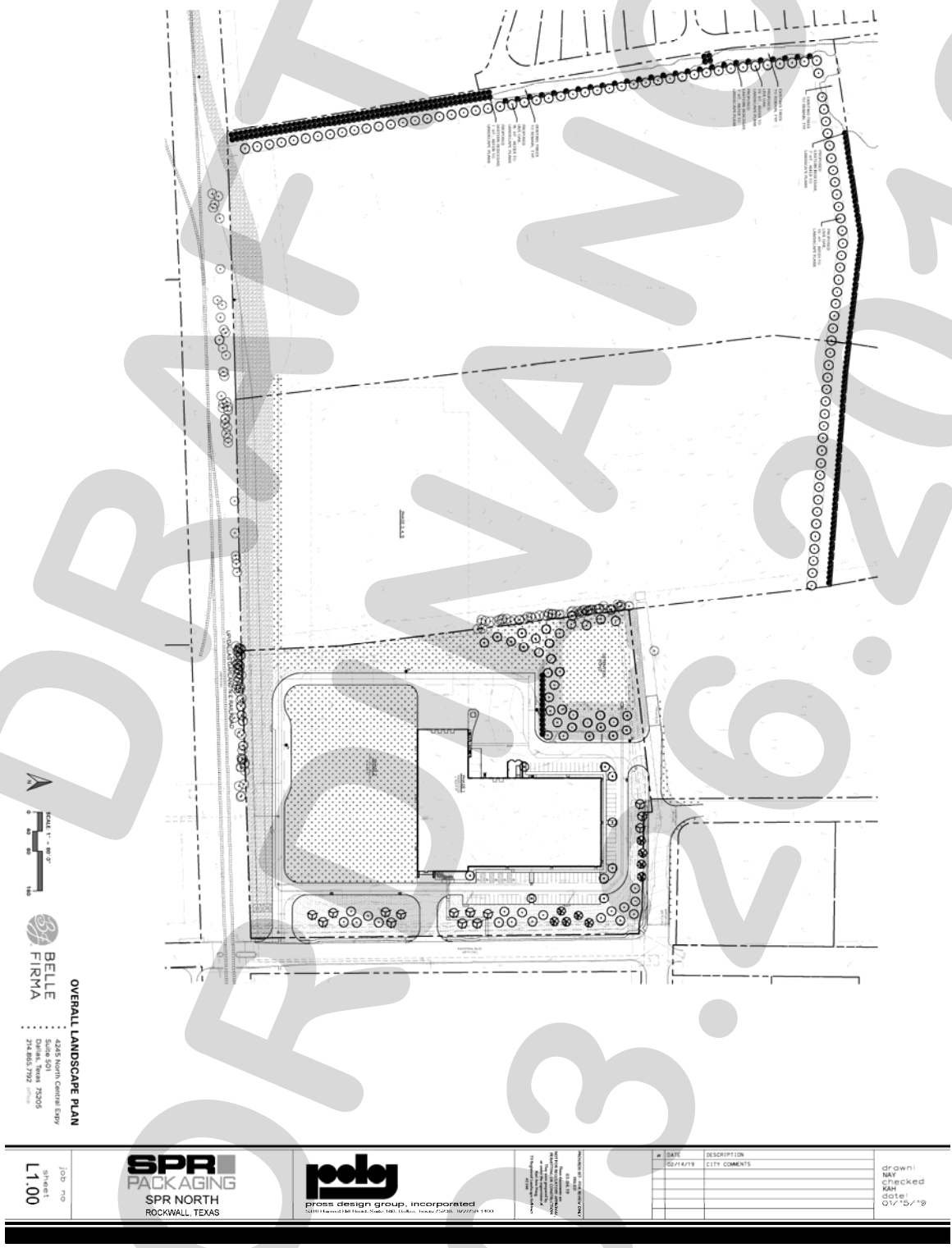




Exhibit 'D':  
Landscape Screening Plan

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3/22/2019

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	Z2019-007	<b>Owner</b>	DAVIS, FORREST B	<b>Applied</b>	3/15/2019	LM
<b>Project Name</b>	SUP for an Outdoor Commercial	<b>Applicant</b>	RUBEN GARCIA	<b>Approved</b>		
<b>Type</b>	ZONING			<b>Closed</b>		
<b>Subtype</b>	SUP			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		
<b>Site Address</b>	2015 KRISTY LN	<b>City, State Zip</b>	ROCKWALL, TX 75032	<b>Zoning</b>		
<b>Subdivision</b>	BODIN INDUSTRIAL	<b>Tract</b>	1-F0	<b>Block</b>		
				<b>Lot No</b>	1-F0	
				<b>Parcel No</b>	3130-0000-0001-F0-OR	
				<b>General Plan</b>		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/15/2019	3/22/2019	3/19/2019	4	APPROVED	
ENGINEERING (3/22/2019 11:55 AM SH) Detention is required for stage area.	Sarah Hager	3/15/2019	3/22/2019	3/22/2019	7	APPROVED	
FIRE	Ariana Hargrove	3/15/2019	3/22/2019				
PLANNING	David Gonzales	3/15/2019	3/22/2019	3/22/2019	7	COMMENTS	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Hold a public hearing to discuss and consider a request by Ruben Garcia and Brandon Mullins on behalf of Forrest B Davis Jr. for the approval of a Specific Use Permit (SUP) for outdoor commercial amusement/recreation in conjunction with an existing Craft/Micro Brewery on a 1.215-acre parcel of land identified as Lot 1-F, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2015 Kristy Lane, and take any action necessary.</p> <p>PLANNING COMMENTS - DAVID GONZALES-- 03.21.2019</p> <p>All staff comments are to be addressed and resubmitted by Tuesday April 2, 2019. Please provide two (2) large copies [FOLDED] and one PDF version for a subsequent review by staff:</p> <p>Planning Department General Comments to be addressed/acknowledge are as follows:</p> <ul style="list-style-type: none"> <li>• On all future submittals please include the Case Number Z2019-007 on the lower right hand corner.</li> <li>• When provided, please review the SUP Draft Ordinance prior to the Planning&amp; Zoning public hearing scheduled for April 9, 2019 and return with red lined corrections and/or additions you feel may be necessary for staff review and consideration</li> </ul> <p>** Planning Staff additional comments to be considered by the P&amp;Z and City Council as conditions of approval:</p> <ol style="list-style-type: none"> <li>1. Approval of an SUP is required to allow for the outdoor commercial amusement/ recreation land use (i.e. stage venue - outdoors).</li> <li>2. Adherence to all Engineering and Fire Department standards shall be required</li> <li>3. Is the stage a permanent structure affixed to the ground or is this portable?</li> </ol> <p>*** Operational Conditions:</p> <ol style="list-style-type: none"> <li>1) The development and operation of a Commercial Amusement/Recreation (Outdoor) land use shall generally conform to the Concept Plan depicted in Exhibit 'B' of this ordinance;</li> <li>2) The Subject Property may be used for all permitted accessory uses, as well as, the use of an outdoor stage and venue that may include live music/entertainment, a Biergarten, and catered food vendors within the outdoor area as depicted in Exhibit 'B' of this ordinance; and,</li> <li>3) This Specific Use Permit (SUP) shall only be valid as an accessory use to the existing craft brewery. Should the subject property's land use designation change (i.e. other than a craft brewery) this SUP shall automatically expire.</li> </ol> <p>The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the SUP request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>*** Meeting Dates to Attend***</p> <p>Planning - Work Session: March 26, 2019 (6:00 p.m.) [Applicant to present case to P&amp;Z for discussion]</p>						



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Planning - Public Hearing: April 9, 2019 (6:00 p.m.) [P&Z to take action (i.e. approve, approve with conditions, or deny, etc.)						
City Council - Public Hearing: April 15, 2019 (6:00 p.m.) [1st Reading of SUP Ordinance]						
City Council - Consent/Action Item: May 6, 2019 (6:00 p.m.) [2nd Reading of SUP Ordinance (if approved at 1st reading)]						





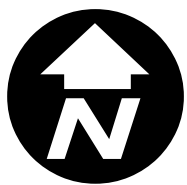
Z2019-007 - SUP FOR OUTDOOR COMMERCIAL AMUSEMENT  
ZONING - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



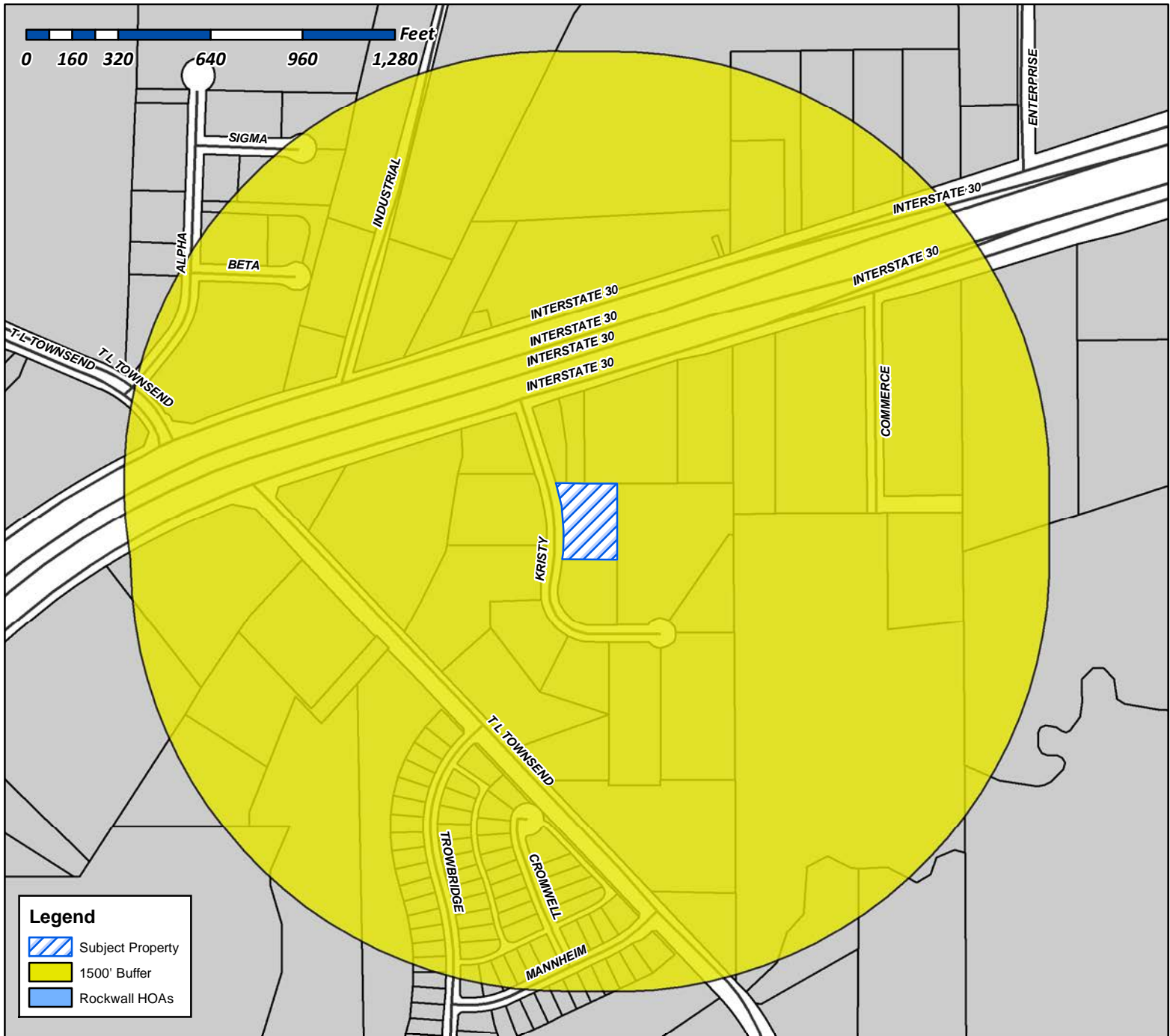




# City of Rockwall

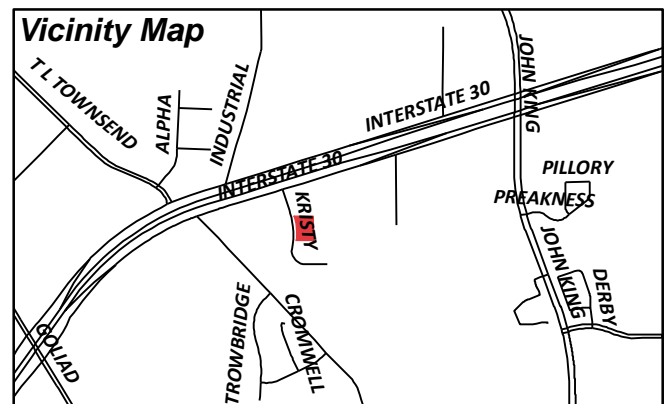
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2019-007  
**Case Name:** SUP for Commercial Amusement  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 2015 Kristy Lane

**Date Created:** 3/18/2019  
**For Questions on this Case Call** (972) 771-7745

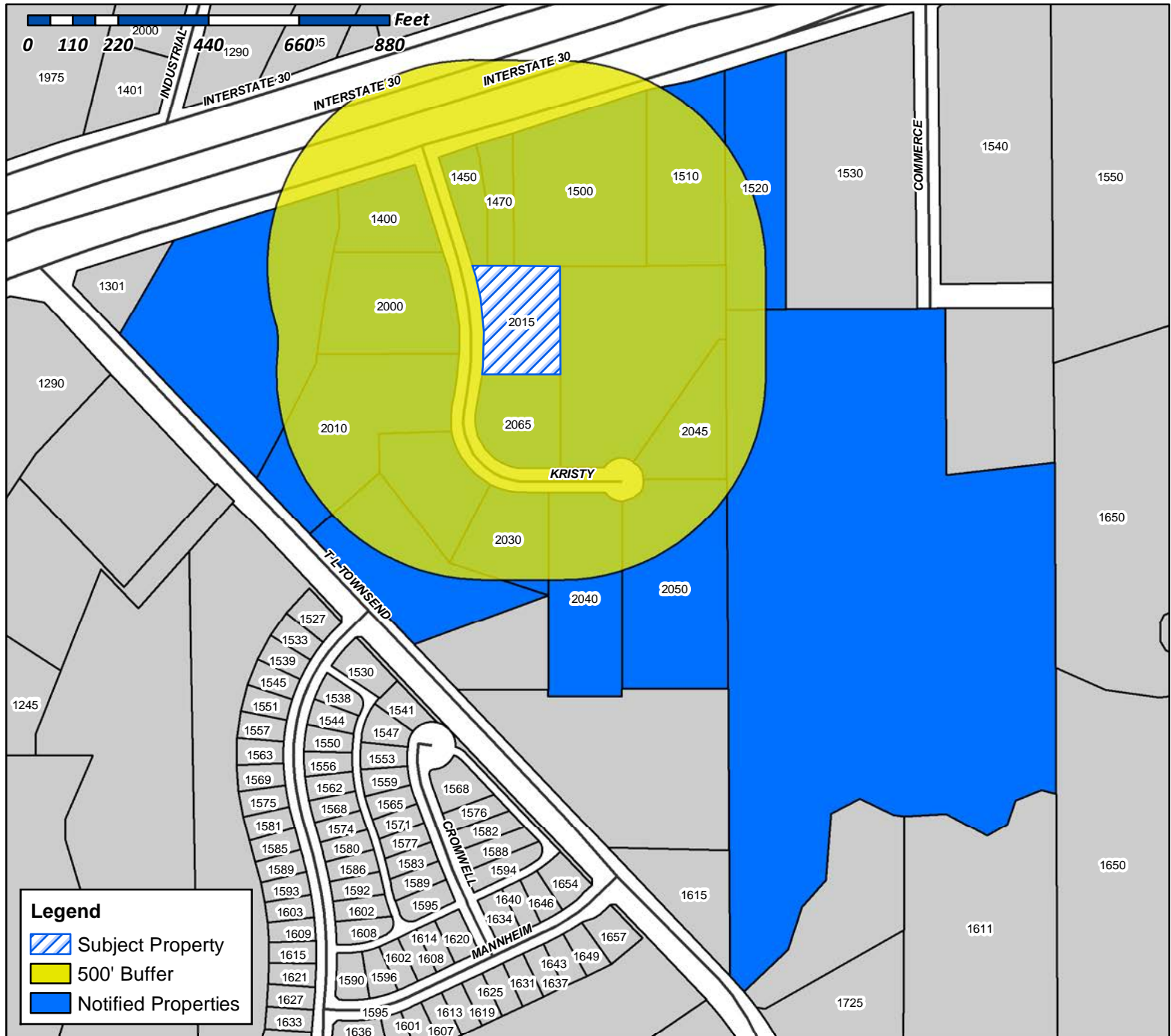
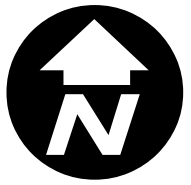




# City of Rockwall

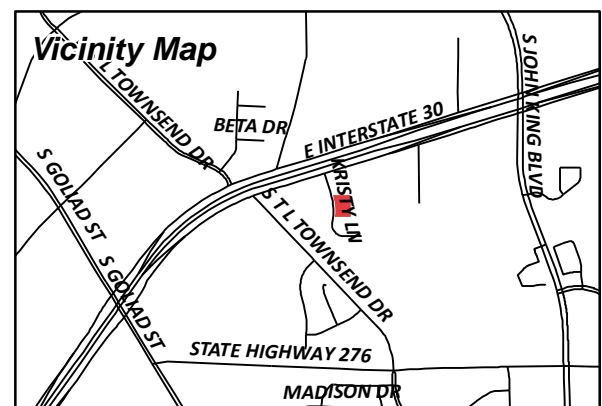
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2019-007  
**Case Name:** SUP for Outdoor Commercial Amusement  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 2015 Kristy Lane

**Date Created: 3/21/2019**  
**For Questions on this Case Call (972) 771-7745**





SELF CECIL E & ALICE E  
REVOCABLE LIVING TRUST  
1105 SWALLOWTAIL DR  
MADISON, WI 53717

CURRENT RESIDENT  
1400 I30  
ROCKWALL, TX 75032

RICK BENTLEY PROPERTIES LLC  
1450 E I-30  
ROCKWALL, TX 75087

SARO PARTNERS LLC  
1450 T L TOWNSEND  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1470 I30  
ROCKWALL, TX 75032

MULTI-METAL & MFG CO, INC  
1500 E INTERSTATE 30  
ROCKWALL, TX 75087

CURRENT RESIDENT  
1510 E I30  
ROCKWALL, TX 75032

CURRENT RESIDENT  
1520 E I30  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2000 KRISTY LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2010 KRISTY LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2015 KRISTY LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2030 KRISTY LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2040 KRISTY LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2045 KRISTY LN  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2050 KRISTY LN  
ROCKWALL, TX 75032

MOORE MICHAEL E & MARIJANE  
2065 KRISTY LANE  
ROCKWALL, TX 75032

MOORE MICHAEL E & MARIJANE  
2065 KRISTY LN  
ROCKWALL, TX 75032

REDI MIX LLC  
331 N MAIN STREET  
EULESS, TX 76039

CSIHAR JAMES J  
592 S.E. VOKERT'S TERRACE  
PORT SAINT LUCIE, FL 34983

OWENS REAL ESTATE INVESTMENTS LLC  
7156 HUNT LN  
ROCKWALL, TX 75087

BODIN CONCRETE LP  
PO BOX 109  
ROWLETT, TX 75030

HAWN HOLDINGS LC  
PO BOX 1688  
ROCKWALL, TX 75087

COPPER CANYON HOMES LLC  
PO BOX 1870  
ROCKWALL, TX 75087

ROCKWALL CREDIT SERVICES L C  
PO BOX 1870  
ROCKWALL, TX 75087

DAVIS FORREST B  
PO BOX 826  
FATE, TX 75132

COLLIN G PROPERTIES LTD  
PO BOX 847  
ROCKWALL, TX 75087

THACKER DENNIS ALAN TESTAMENTARY TRUST  
AND  
LINDA THACKER LAHOOD AND JOSHUA ALAN  
THACKER  
PO BOX 8693  
GREENVILLE, TX 75404





# NOTICE OF PUBLIC HEARING

## CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2019-007: SUP for an Outdoor Commercial Amusement**

*Hold a public hearing to discuss and consider a request by Ruben Garcia and Brandon Mullins on behalf of Forrest B. Davis Jr. for the approval of a Specific Use Permit (SUP) for outdoor commercial amusement/recreation in conjunction with an existing Craft/Micro Brewery on a 1.215-acre parcel of land identified as Lot 1-F, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2015 Kristy Lane, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 4/9/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 4/15/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087**

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **4/15/2019** to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



**MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:**  
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2019-007: SUP for an Outdoor Commercial Amusement**

**Please place a check mark on the appropriate line below:**

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.


**Name:**

**Address:**

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

**PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE**





March 14, 2019

Re: S.U.P (Special Use Permit) @ Hemisphere Brewing Company  
2015 Kristy Lane  
Rockwall, Texas 75032

To Whom It May Concern:

We are requesting for a Special Use Permit @ Hemisphere Brewing Company for an outdoor stage and Biergarten for the following purpose.

- Live Outdoor Entertainment
- Rockwall Community & Charity Events
- Special Engagements such as; weddings, birthday parties, corporate events and private parties.
- Social gatherings during normal business hours.

We are honored and proud to be part of the Rockwall community. Our goal is to continue to provide a “destination” location for visitors from all over the US.

Sincerely,

Two handwritten signatures in blue ink. The first signature is for Brandon Mullins and the second is for Ruben Garcia.

Brandon Mullins & Ruben Garcia  
Owners

Hemisphere Brewing Company

Tel: (972) 722-4535




Email: [brandon@hemispherebrewing.com](mailto:brandon@hemispherebrewing.com)

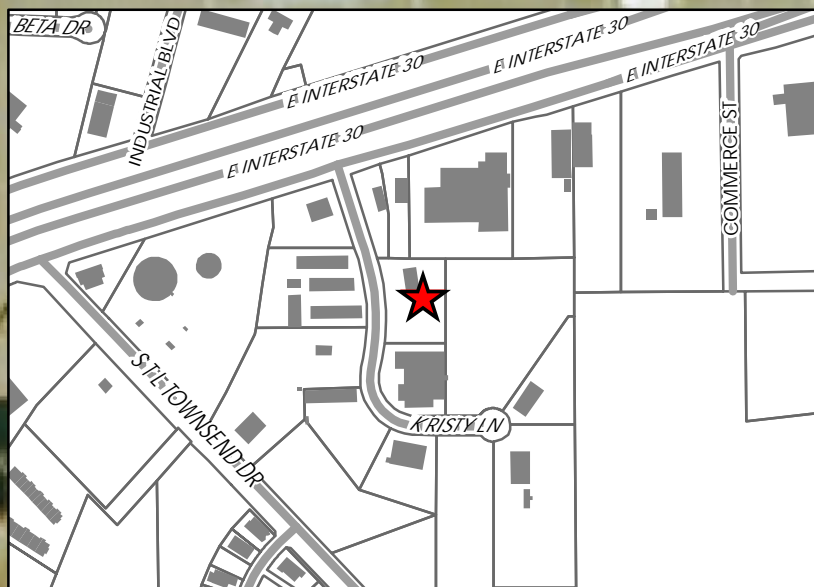
Email: [ruben@hemispherebrewing.com](mailto:ruben@hemispherebrewing.com)

[www.hemispherebrewing.com](http://www.hemispherebrewing.com)



# Legend

-  Seating Area
-  Music
-  Overall Site



City of  
Rockwall



Date: 3/21/2019  
0 40 Feet  
GEOGRAPHIC INFORMATION SYSTEMS

Z2019-007



CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A COMERCIAL AMUSEMENT/RECREATION (OUTDOOR) LAND USE IN CONJUNCTION WITH AN EXISTING CRAFT BREWERY ON A 1.215-ACRE PARCEL OF LAND, ADDRESSED AS 2015 KRISTY LANE AND BEING IDENTIFIED AS LOT 1-F, BODIN INDUSTRIAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Ruben Garcia and Brandon Mullins for the approval of a Specific Use Permit (SUP) for a *Commercial Amusement/Recreation (Outdoor)* land use for the purpose of establishing an outdoor stage and venue in conjunction with an existing craft brewery on a 1.215-acre parcel of land, zoned Light Industrial (LI) District, identified as Lot 1-F, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, addressed as 2015 Kristy Lane, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Commercial Amusement/Recreation (Outdoor)* land use as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code [Ordinance No. 04-38] on the *Subject Property*, and

**SECTION 2.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 1.1, Land Use Schedule*, of Article IV, *Permissible Uses*, and *Section 5.02, Light Industrial (LI) District*, of Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein



by the granting of this zoning change, and as may be amended in the future, and shall be subject to the following additional conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Commercial Amusement/Recreation (Outdoor)* land use on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The development and operation of a *Commercial Amusement/Recreation (Outdoor)* land use shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance;
- 2) The *Subject Property* may be used for all permitted accessory uses, as well as, the use of an *outdoor stage and venue* that may include live music/entertainment, a Biergarten, and catered food vendors within the outdoor area as depicted in *Exhibit 'B'* of this ordinance; and,
- 3) This Specific Use Permit (SUP) shall only be valid as an accessory use to the existing craft brewery. Should the subject property's land use designation change (*i.e. other than a craft brewery*) this SUP shall automatically expire.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this



ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>TH</sup> DAY OF MAY, 2019.**

**ATTEST:**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: March 15, 2019

2<sup>nd</sup> Reading: May 6, 2019



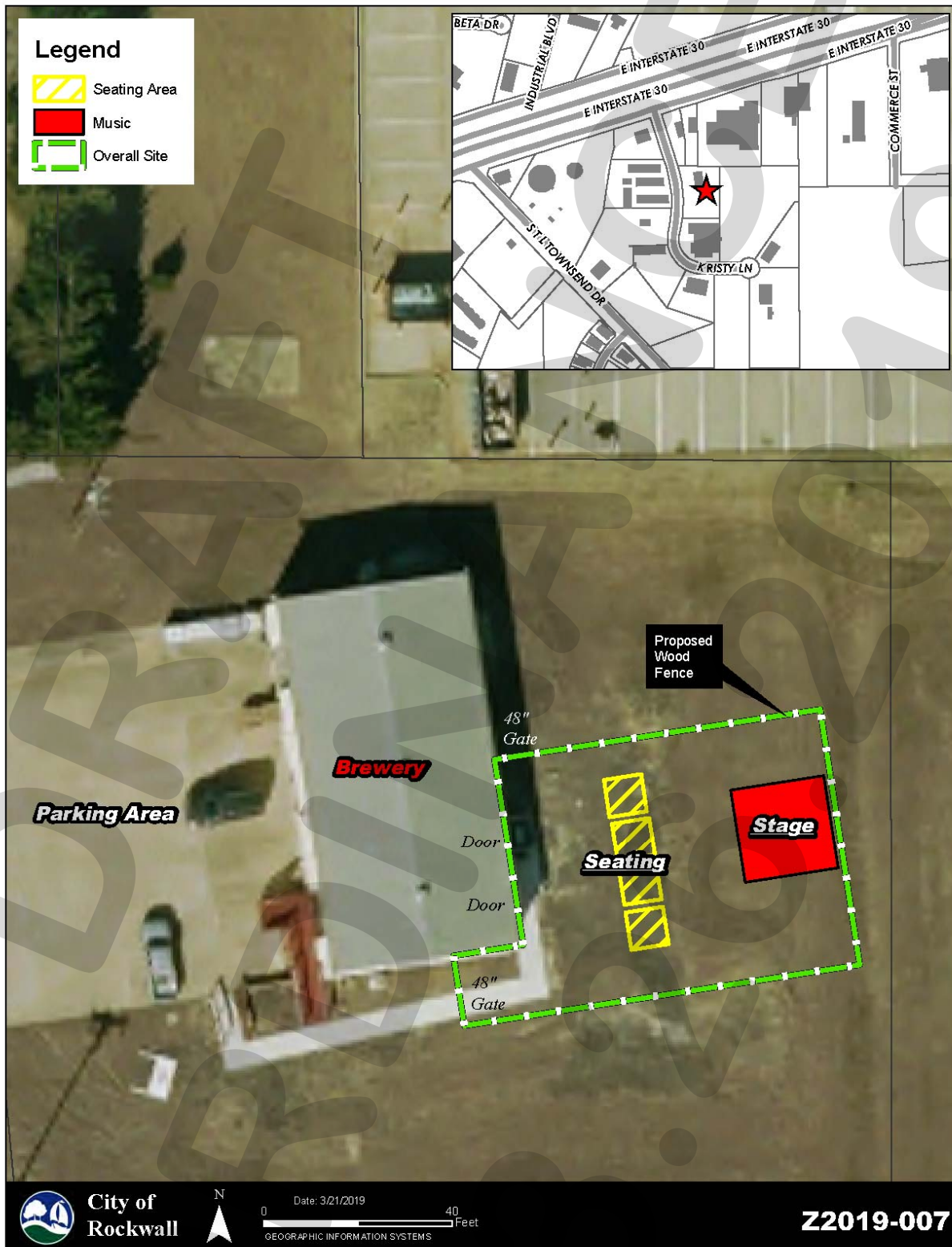
**Exhibit 'A':**  
**Legal Description:**

*Lot 1-F, Bodin Industrial Addition*





**Exhibit 'B':**  
**Concept Plan**





3/22/2019

## City of Rockwall

### Project Plan Review History



<b>Project Number</b> Z2019-008	<b>Owner</b> ROCKWALL RENTAL PROPERTIES LP	<b>Applied</b> 3/18/2019 LM
<b>Project Name</b> Amendment Development Plan	<b>Applicant</b> PEGASUS ABLON	<b>Approved</b>
<b>Type</b> ZONING		<b>Closed</b>
<b>Subtype</b> PD		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

<b>Site Address</b>	<b>City, State Zip</b>	
LAKE RAY HUBBARD	ROCKWALL, TX 75032	<b>Zoning</b>

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
HARBOR - ROCKWALL, THE	9	A	9	3809-000A-0009-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/19/2019	3/26/2019	3/19/2019		APPROVED	
ENGINEERING (3/22/2019 12:15 PM SH) The 20' Water and Fire Access Easement should read, "20' Water, Public Access, and fire Access Easement"	Sarah Hager	3/18/2019	3/25/2019	3/22/2019	4	COMMENTS	
FIRE	Ariana Hargrove	3/18/2019	3/25/2019	3/22/2019	4	APPROVED	
PLANNING	Ryan Miller	3/18/2019	3/25/2019	3/21/2019	3	COMMENTS	See Comments

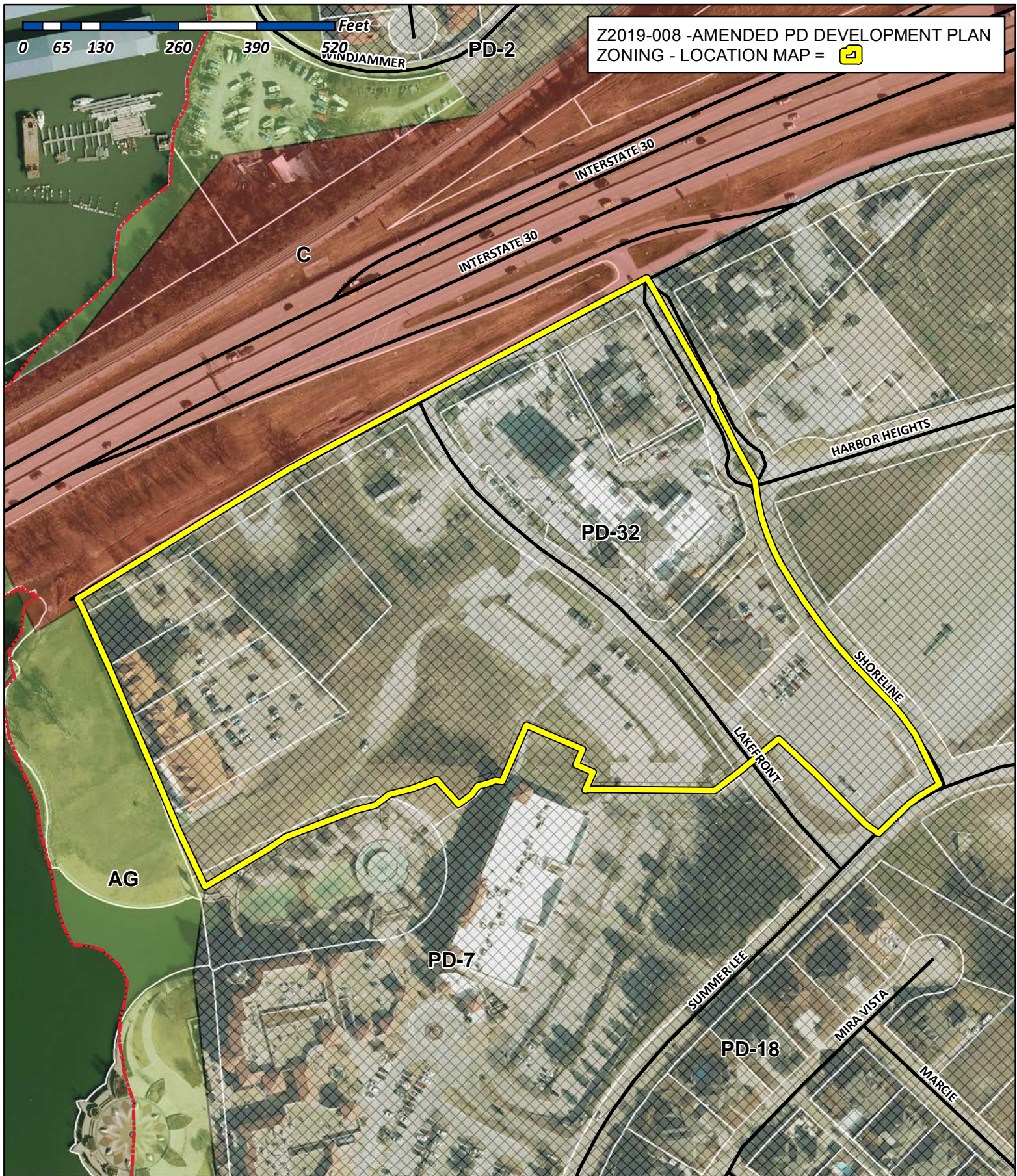


Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2019-008; Amended Development Plan for PD-32						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a PD Development Plan amending Ordinance 17-64 and in accordance with Ordinance No. 17-22, for a 7.344-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 (IH-30) Overlay District, located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail, and take any action necessary.						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.						
M.3 For reference, include the case number (Z2019-008) in the lower right hand corner of all pages on future submittals.						
M.4 Please provide a street cross section exhibit for the proposed private access drive and pedestrian access easement similar to the street cross sections currently contained in Planned Development District 32 (PD-32) [Ordinance No. 17-22].						
I.5 The proposed changes are not in conformance with the Design Guidelines [Resolution No. 10-40]. Please see the attached excerpt.						
M.6 Please change both the pedestrian access and proposed private drive to conform to the design guidelines for a "Mew" and "Pedestrian Way". This could include elements like putting the decorative paving back into the plan or utilizing bollards in lieu of a curbed street.						
M.7 Please provide a planting plan showing the provision of street trees and pedestrian way plantings and street furniture required by Ordinance No. 17-22.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 2, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 9, 2019 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on March 26, 2019.						
I.9 The projected City Council meeting dates for this case will be April 15, 2019 [1st Reading] & May 6, 2019 [2nd Reading].						





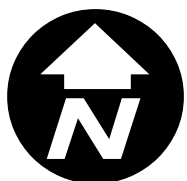




## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

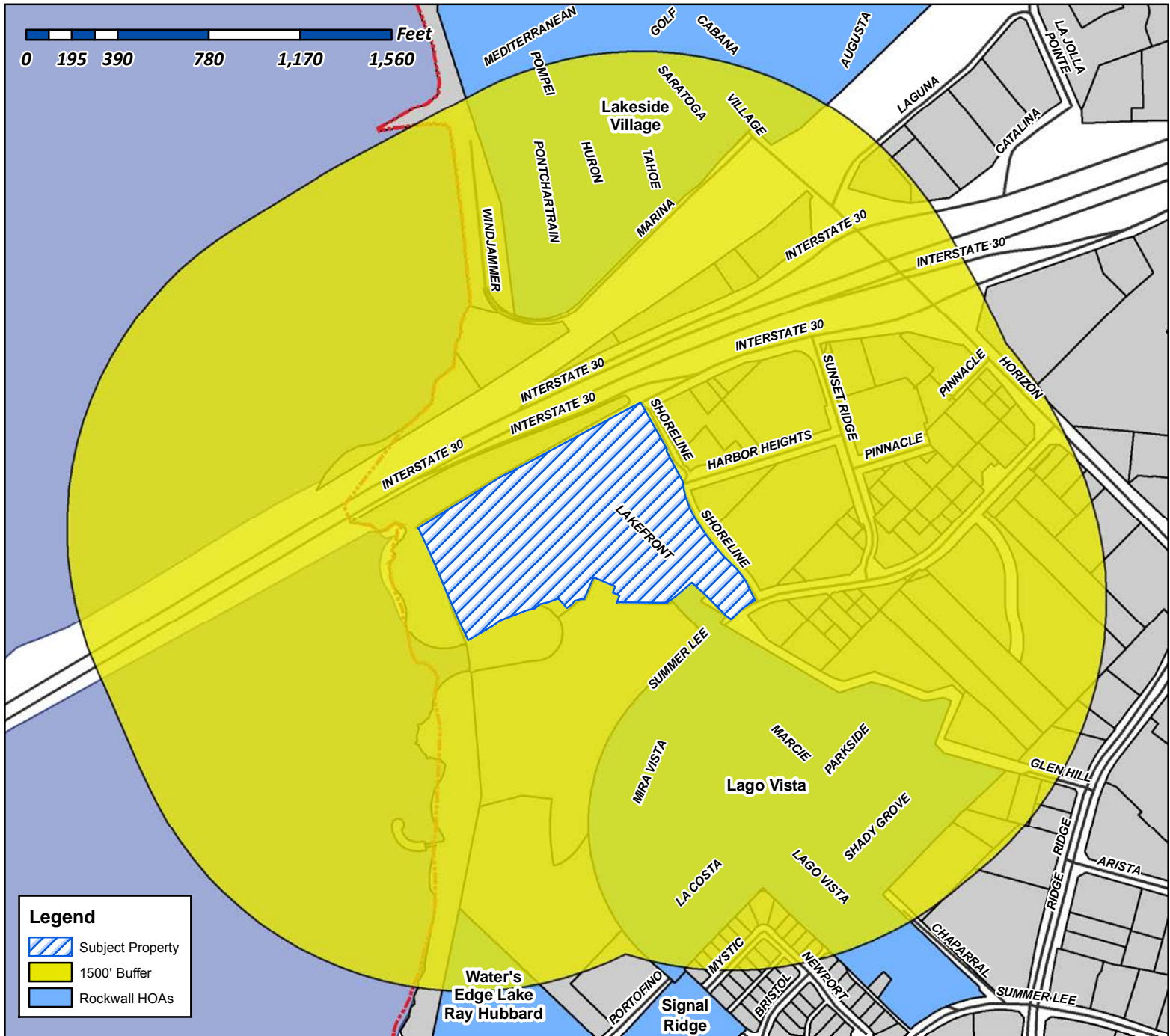
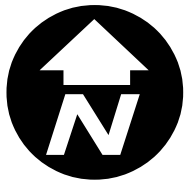




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

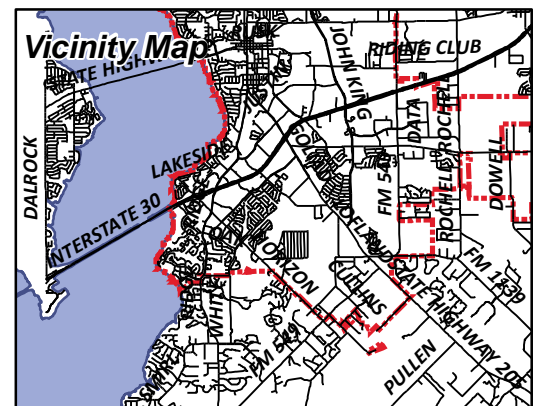
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**Case Number:** Z2019-008  
**Case Name:** Amended PD Development Plan  
**Case Type:** Zoning  
**Zoning:** Planned Development 32 (PD-32)  
**Case Address:** SWC of the Intersection of the IH-30 Frontage Road and Lakefront Trail

**Date Created:** 3/19/2019

**For Questions on this Case Call (972) 771-7745**





**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Friday, March 22, 2019 2:41:03 PM  
**Attachments:** [Public Notice \(03.21.2019\).pdf](#)  
[HOA Map.pdf](#)

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To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **March 22, 2019**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 4/9/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday 4/15/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

**Z2019-008- Hold a public hearing and consider a request by James Ziegler of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a PD Development Plan amending Ordinance 17-64 and in accordance with Ordinance No. 17-22, for a 7.344-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 (IH-30) Overlay District, located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[Lmorales@rockwall.com](mailto:Lmorales@rockwall.com) | <http://www.rockwall.com/planning/>

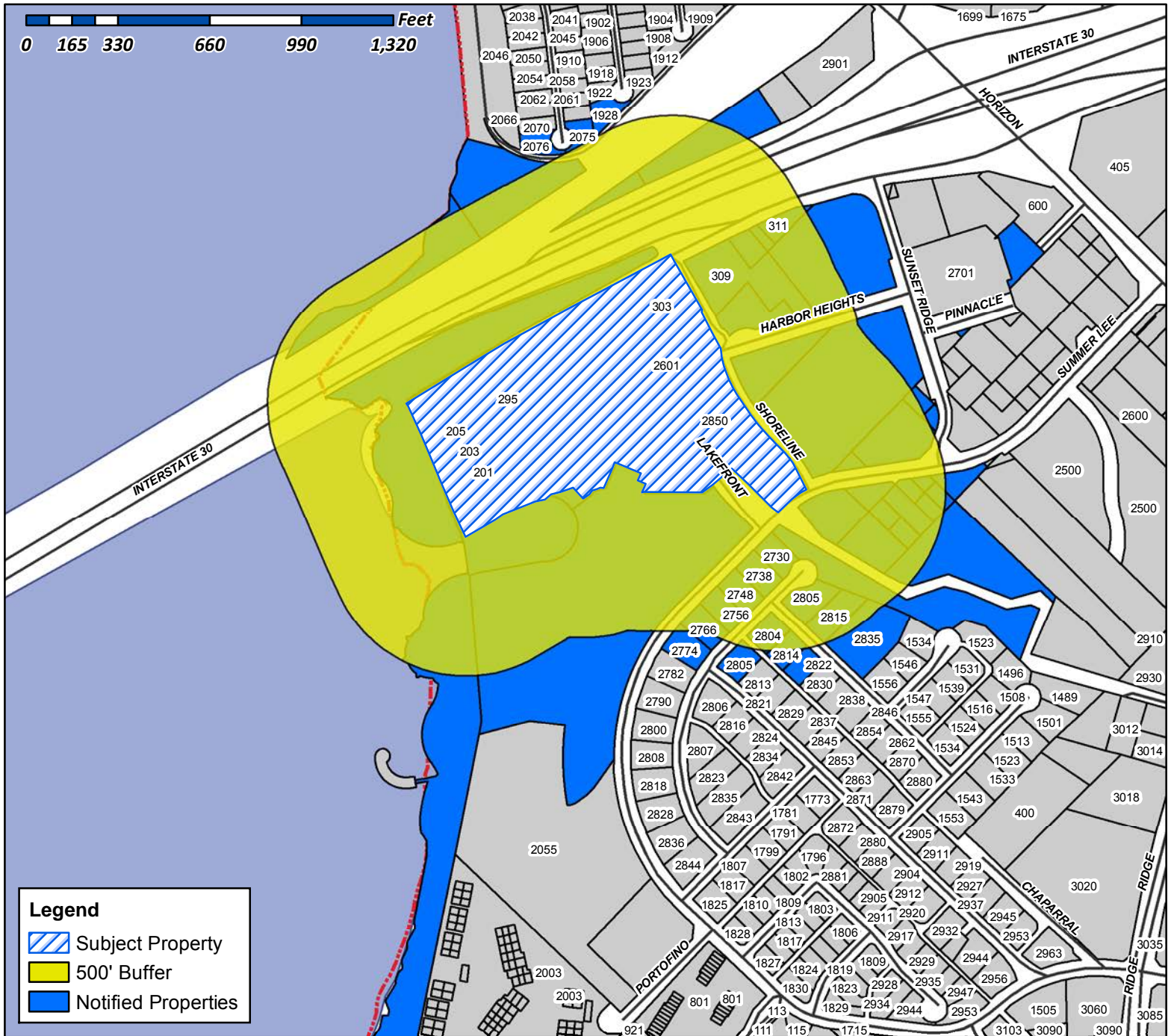




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

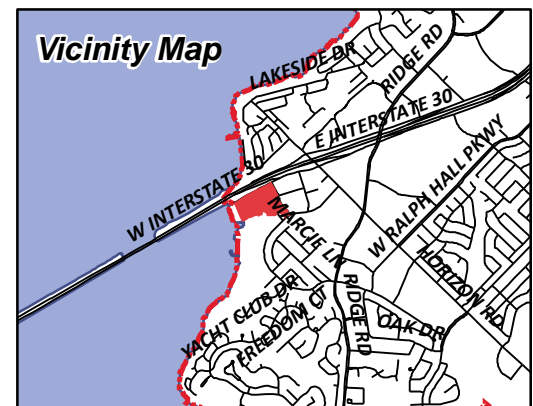
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**Case Number:** Z2019-008  
**Case Name:** Amended PD Development Plan  
**Case Type:** Zoning  
**Zoning:** Planned Development 32 (PD-32)  
**Case Address:** SWC of the Intersection of the IH-30 Frontage Road and Lakefront Trail

**Date Created:** 3/19/2019

**For Questions on this Case Call** (972) 771-7745





CAIN DOYLE  
1375 COUNTY ROAD 2290  
MINEOLA, TX 75773

TRITON I-30 ROCKWALL LLC  
1845 WOODALL ROGERS FREEWAY, SUITE 1100  
DALLAS, TX 75201

WARMACK BOB & LINDA  
1928 HURON DR  
ROCKWALL, TX 75087

CURRENT RESIDENT  
201 E I30  
ROCKWALL, TX 75032

CURRENT RESIDENT  
203 E I30  
ROCKWALL, TX 75032

ARKOMA REALTY LTD  
A TEXAS LTD PARTNERSHIP  
203 E INTERSTATE 30  
ROCKWALL, TX 75087

CURRENT RESIDENT  
205 I30  
ROCKWALL, TX 75032

CITY OF ROCKWALL  
205 W RUSK ST  
ROCKWALL, TX 75087

MANDARI JEMA  
2075 PONTCHARTRAIN DR  
ROCKWALL, TX 75087

WILKINS HORACE JR & EVELYN F  
2076 PONTCHARTRAIN DRIVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
2601 LAKEFRONT TR  
ROCKWALL, TX 75032

HARBOR LAKE POINTE INVESTORS LLC  
2701 SUNSET RIDGE DR O  
ROCKWALL, TX 75032

101 HUBBARD DR LLC  
2701 SUNSET RIDGE DR O  
ROCKWALL, TX 75032

THOMPSON GARY  
2730 MIRA VISTA LN  
ROCKWALL, TX 75032

MCKINNEY MARVIN  
2738 MIRA VISTA LANE  
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J AND  
ROSALIE A CRACCHIOLO  
2748 MIRA VISTA LANE  
ROCKWALL, TX 75032

COOLIDGE JONATHAN S & CATHEY M  
2756 MIRA VISTA LN  
ROCKWALL, TX 75032

DOUGLAS JOETTA & ROY  
2766 MIRA VISTA LN  
ROCKWALL, TX 75032

BAILEY RICHARD A AND GENA B  
2774 MIRA VISTA LN  
ROCKWALL, TX 75032

LAKEFRONT TRAIL ROCKWALL HOTEL LP  
c/o OLDHAM GOODWIN GROUP LLC  
2800 S. TEXAS AVE. O  
BRYAN, TX 77802

YU JOHNNY & HAE SUK  
2804 MARCIE LN  
ROCKWALL, TX 75032

MILLER DARYL & CAMILLE STEARNS  
2805 LAGO VISTA LN  
ROCKWALL, TX 75032

VANHOV ENTERPRISES LLC  
2805 MARCIE LANE  
ROCKWALL, TX 75032

CASSADY CHARLES P  
2814 MARCIE LN  
ROCKWALL, TX 75032

BENNETT CLIFF AND STELLA  
2815 MARCIE LN  
ROCKWALL, TX 75032

FRY ROBIN K & JASON R  
2822 MARCIE LANE  
ROCKWALL, TX 75032

CURRENT RESIDENT  
2835 MARCIE LN  
ROCKWALL, TX 75032

LAKE FRONT TRAIL LP  
2850 SHORELINE TR O  
ROCKWALL, TX 75032

CURRENT RESIDENT  
295 I30  
ROCKWALL, TX 75032

CURRENT RESIDENT  
303 E I30  
ROCKWALL, TX 75032



CURRENT RESIDENT  
309 E I30  
ROCKWALL, TX 75032

CURRENT RESIDENT  
311 E I30  
ROCKWALL, TX 75032

FAULKNER INVESTMENT CO. LTD  
3401 MAIN ST  
ROWLETT, TX 75088

LAKESIDE VILLAGE HOMEOWNERS  
4100 VILLAGE DR  
ROCKWALL, TX 75087

DRZW HOLDINGS LTD  
4515 DORSET RD  
DALLAS, TX 75229

BRIDGE VALHALLA INC  
519 E I 30 #157  
ROCKWALL, TX 75087

PA HARBOR RETAIL LLC  
8222 DOUGLAS AVENUE O  
DALLAS, TX 75201

NOYORI MITSUE  
8301 LAKEVIEW PKWY STE 111  
ROWLETT, TX 75088

CLEMENTS BOB L  
PO BOX 1850  
MCKINNEY, TX 75070

CULPEPPER /SPATEX JV  
%GARY SHULTZ  
PO BOX 190569  
DALLAS, TX 75219

ROCKWALL RENTAL PROPERTIES LP  
PO BOX 818  
TERRELL, TX 75160





6750 HILLCREST PLAZA DR., STE. 325  
DALLAS, TX 75230 (972) 490-7090 FAX (972) 490-7099  
TEXAS ENGINEERING FIRM REGISTRATION No. 89  
TEXAS SURVEYOR FIRM REGISTRATION No. 10086600

March 15, 2019

Mr. Ryan Miller  
City of Rockwall  
385 S. Goliad Street  
Rockwall, TX 75087

RE: SP-2018-043 Harbor Village

Mr. Miller,

Please accept the enclosed revised Site Plan for the Harbor Village. We are enclosing 4 full size folded along with a PDF file.

We are also enclosing an application and fee of \$440.00. Letters of confirmation of our proposed modifications from adjacent owners will be provided upon receipt.

We are submitting this revised Site Plan to modify the southeasterly access way from solely a pedestrian path to a one way south bound driveway. This is included to provide full access to our neighbors to the west who will lose their inbound access from the east when the I-30 one way Frontage Road is constructed.

In addition, as a result of this, and several other issues, we are requesting the City make allowances for an extension of the requirement for issuance of Building Permit to a date 1 year after anticipated approval of the modified plan by City Council.

It is our intention if the modified plan is approved, to proceed immediately with our construction drawing preparation.

Should you have any questions or need additional information, please give me a call.

Sincerely,  
Winkelmann & Associates, Inc.

A handwritten signature in dark ink, appearing to read 'Michael Clark', is written over a horizontal line.

Michael Clark, P.E.  
President

Cc: James Ziegler -Pegasus Ablon







CITY OF ROCKWALL

ORDINANCE NO. 17-64

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING *ORDINANCE NO. 11-43 & ORDINANCE NO. 13-16*, PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [*ORDINANCE NO. 10-21*] AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN ON APPROXIMATELY 7.344-ACRES FOR PROPERTY IDENTIFIED AS LOT 9, BLOCK A, HARBOR-ROCKWALL ADDITION AND TRACT 16 OF THE M. J. BARKSDALE SURVEY, ABSTRACT NO. 11, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF *TWO THOUSAND DOLLARS (\$2,000.00)* FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Kevin Hickman of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a Planned Development (PD) Development Plan within Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] for a 7.344-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that *Ordinance No.'s 11-43 & 13-16*, Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That any portion of *Ordinance No.'s 11-43 & 13-16* in conflict with this ordinance shall be subject to the requirements of this ordinance;

**SECTION 2.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by amending the PD Development Plans approved with *Ordinance No.'s 11-43 & 13-16* and the official zoning map of the City of Rockwall so as to approve a PD Development Plan for the *Subject Property*; and,

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the PD Development Plan, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**SECTION 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:



## 4.1 CONSTRUCTION SCHEDULE

### *Building Adjacent to Lakefront Trail (i.e. Building ①)*

This *PD Development Plan* shall be subject to review by City Staff and/or the Planning and Zoning Commission and City Council on June 1, 2019. At the time of review, if a building permit has not been issued for the proposed multi-family development adjacent to Lakefront Trail (*indicated as ① on Exhibit 'B' of this ordinance and consisting of 375 condominium units*), City Staff shall provide a report, with the assistance of the developer, to the Planning and Zoning Commission and City Council indicating the progress of the development. Upon review of the report, the Planning and Zoning Commission shall provide a recommendation to the City Council concerning the possible revocation of the additional 26 allocated condominium units (*i.e. reducing the number of units for the multi-family development adjacent to Lakefront Trail -- indicated as ① on Exhibit 'B' of this ordinance -- to 349 condominium units*), and after review of the report and recommendation of the Planning and Zoning Commission the City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional 26 allocated condominium units.

### *Building Adjacent to the Harbor Fountain (i.e. Building ②)*

This *PD Development Plan* shall be subject to review by City Staff and/or the Planning and Zoning Commission and City Council on June 1, 2020. At the time of review, if a building permit has not been issued for the proposed multi-family development adjacent to the Harbor Fountain (*indicated as ② on Exhibit 'B' of this ordinance and consisting of 75 condominium units*), City Staff shall provide a report, with the assistance of the developer, to the Planning and Zoning Commission and City Council indicating the progress of the development. Upon review of the report, the Planning and Zoning Commission shall provide a recommendation to the City Council concerning the possible revocation of the additional 25 allocated condominium units (*i.e. reducing the number of units for the multi-family development adjacent to the Harbor Fountain -- indicated as ② on Exhibit 'B' of this ordinance -- to 50 condominium units*), and after review of the report and recommendation of the Planning and Zoning Commission the City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional 25 allocated condominium units.

### *Commencement of Construction and Continuous Construction*

Once a building permit has been issued for either property (*i.e. Building ① or Building ②*), the developer/property owner shall have six (6) months to commence construction on the site in accordance with Section 10-116 of Article III, *Building Code*, of Chapter 10, *Buildings and Building Regulations*, of the Municipal Code of Ordinances (*i.e. Section [A] 105.5, Expiration, of the International Building Code*). Once construction has commenced, construction must be continuous during the regular workweek unless construction is delayed due to delays beyond the control of the developer/property owner. Such delays shall include, but not be limited to, fires, floods, labor disputes, epidemics, abnormal weather conditions, acts of God or any preference, priority or allocation order duly issued by the Federal Government. Abnormal weather delays are those that are beyond what is normal for the climate and time of year. If construction of the site has not commenced within six (6) months of the issuance of a building permit, or construction is not continuous, City staff shall provide a report, to the Planning and Zoning Commission and City Council indicating the progress of the development and possible revocation of the permit. Upon review of the report, the Planning and Zoning Commission shall provide a recommendation to the City Council concerning the possible revocation of the permit for additional allocated condominium units (*i.e. reducing the number of units for either project back to the numbers approved under Ordinance No. 13-16*), and after review of the report and recommendation of the Planning and Zoning Commission the City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional allocated condominium units.

## 4.2 DEVELOPMENT CONDITIONS

- 1) Development of this property shall generally conform to the *PD Development Plan* depicted in



*Exhibit 'B' of this ordinance;*

- 2) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a detailed PD Site Plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [as amended] and with the requirements approved in this ordinance;
- 3) The proposed multi-family development adjacent to Lakefront Trail (*indicated as ① on Exhibit 'B' of this ordinance*) shall be permitted to consist of a maximum of 375 condominium units. The proposed multi-family development adjacent to the Harbor Fountain (*indicated as ② on Exhibit 'B' of this ordinance*) shall be permitted to consist of a maximum of 75 condominium units.
- 4) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a subdivision plat;
- 5) The architectural design of all buildings within the two (2) affected Subdistricts (*i.e. the Harbor Residential Subdistrict and the Harbor Link Mixed-Use Subdistrict*) shall conform to the Harbor District Guidelines (*i.e. Resolution 10-40*), all applicable ordinances associated with Planned Development District 32 (PD-32) [as amended], and to the Unified Development Code;
- 6) All buildings throughout the development shall be constructed with a consistent design scheme, and be approved by the Architectural Review Board (ARB);
- 7) The pedestrian access extending from Lakefront Trail to the Harbor Fountain will be required to be located within a *Pedestrian Access Easement* to be shown on the final plat; and
- 8) The proposed uses for this development shall be required to demonstrate that they have access to a sufficient number of parking spaces within the development to support their use.

**SECTION 5.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

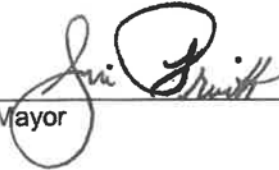
**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;




PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS  
THE 18<sup>TH</sup> DAY OF DECEMBER, 2017

  
\_\_\_\_\_  
Jim Pruitt, Mayor

ATTEST:

  
\_\_\_\_\_  
Kristy Cole, City Secretary

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Frank J. Garza, City Attorney

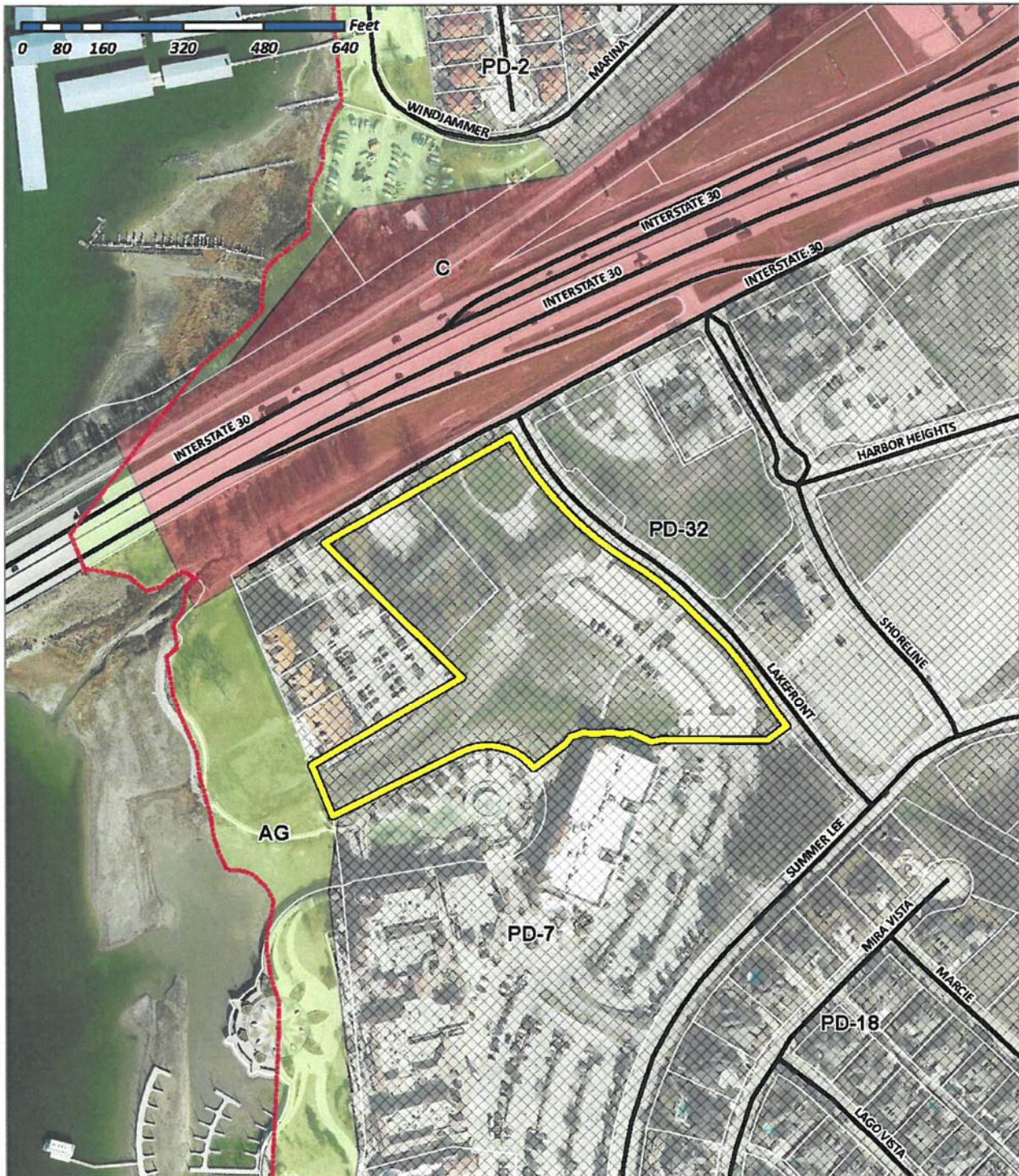


1<sup>st</sup> Reading: November 20, 2017

2<sup>nd</sup> Reading: December 18, 2017



**Exhibit 'A':**  
*Legal Description*



Legal Description: Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas



**Exhibit 'A':**  
*Legal Description*

Legal Description: *Tract 16 of the M. J. Barksdale Survey, Abstract No. 11*

Being a tract of land situated in the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, and being a 1.225-acre tract out of a 55.200-acre tract as recorded in *Volume 59, Page 383*, deed records of Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a point on the southeast line of Interstate Highway 30, said point being 286.50-feet more or less, from the north corner of said 55.20-acre tract, a 3/8" iron rod found for corner;

*THENCE*, South 38 Degrees 29 Minutes 38 Seconds East, leaving the said southeast line of Interstate Highway 30, a distance of 254.63-feet to a 5/8" iron rod found for corner;

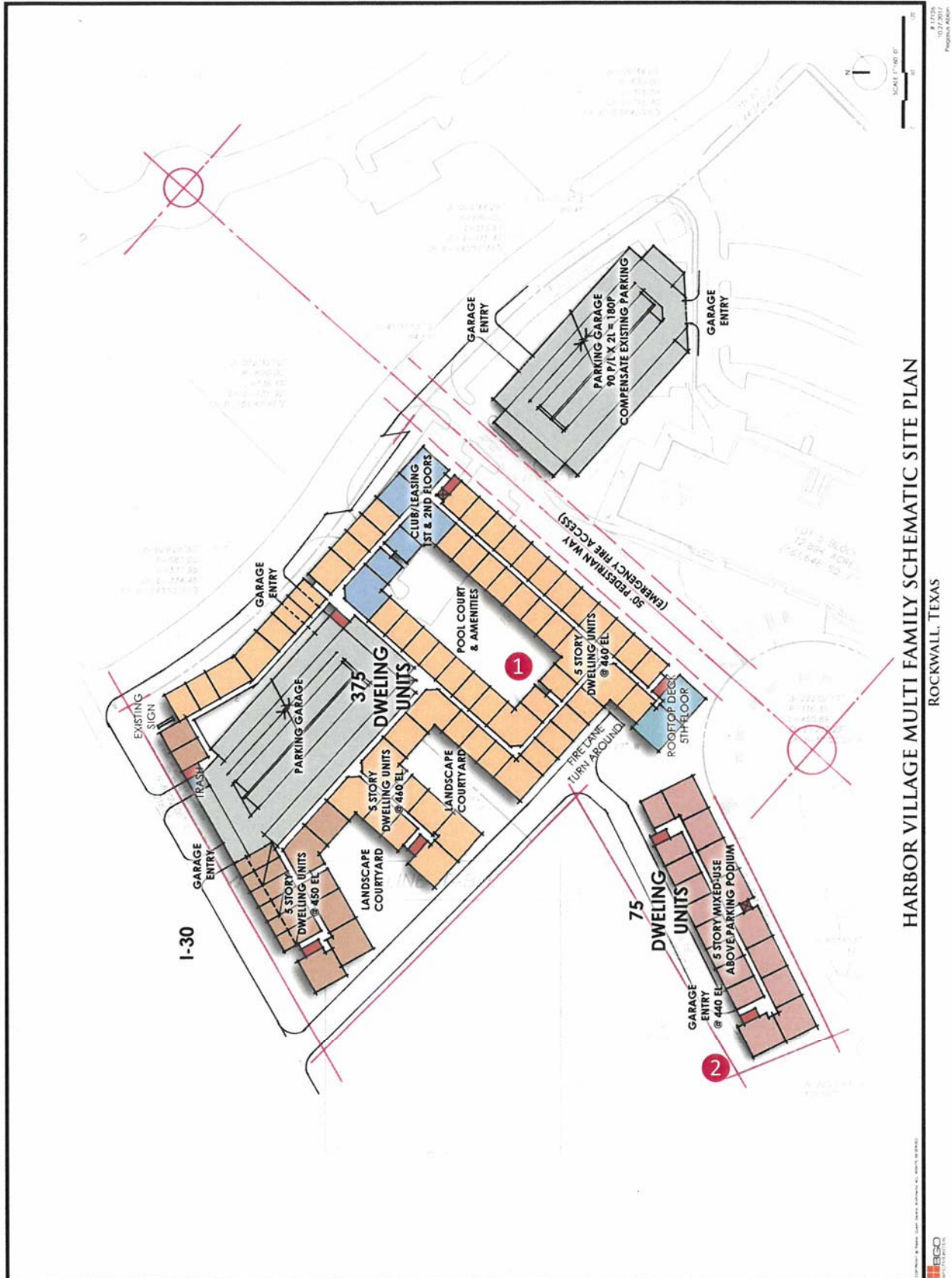
*THENCE*, South 44 Degrees 24 Minutes 14 Seconds West, a distance of 176.46-feet to a 1/2" iron rod found for corner;

*THENCE*, North 43 Degrees 48 Minutes 20 Seconds West, a distance of 311.10-feet to a point on the southeast line of the Interstate Highway 30, a 3/8" iron rod set for corner;

*THENCE*, North 50 Degrees 48 Minutes East, along the southeast line of Interstate Highway 30, a distance of 206.43-feet to the *PLACE OF BEGINNING* and containing 53,371.640 SF or 1.225-acres of land, more or less.



**Exhibit 'B':**  
**PD Development Plan**

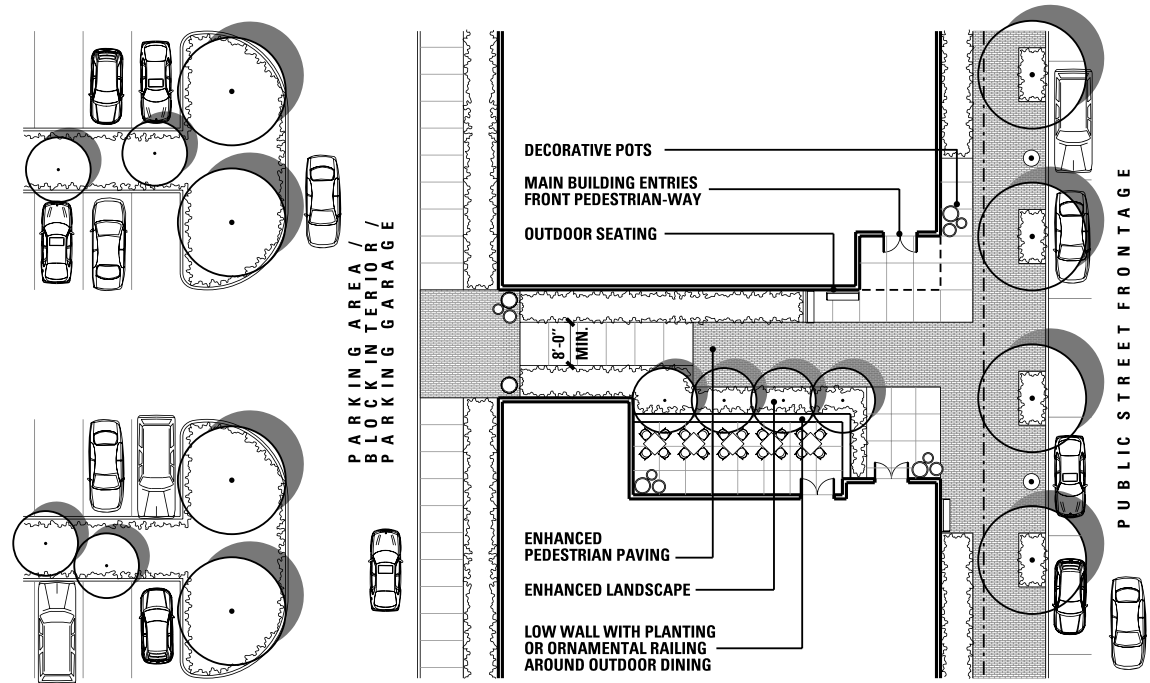




## 4 STREETS

### PEDESTRIAN WAYS

Although it is technically not a streetscape element, pedestrian-ways link freeway frontage parking areas and block interiors with the public street frontage. The pedestrian-way environment may include enhanced pedestrian paving, enhanced landscape planting, special accent lighting, and special features such as fountains or sculpture pieces. Outdoor seating and dining may occur within the pedestrian-way. Building entry access should be provided within pedestrian-ways. The maximum cross slope within a pedestrian-way is 2%.

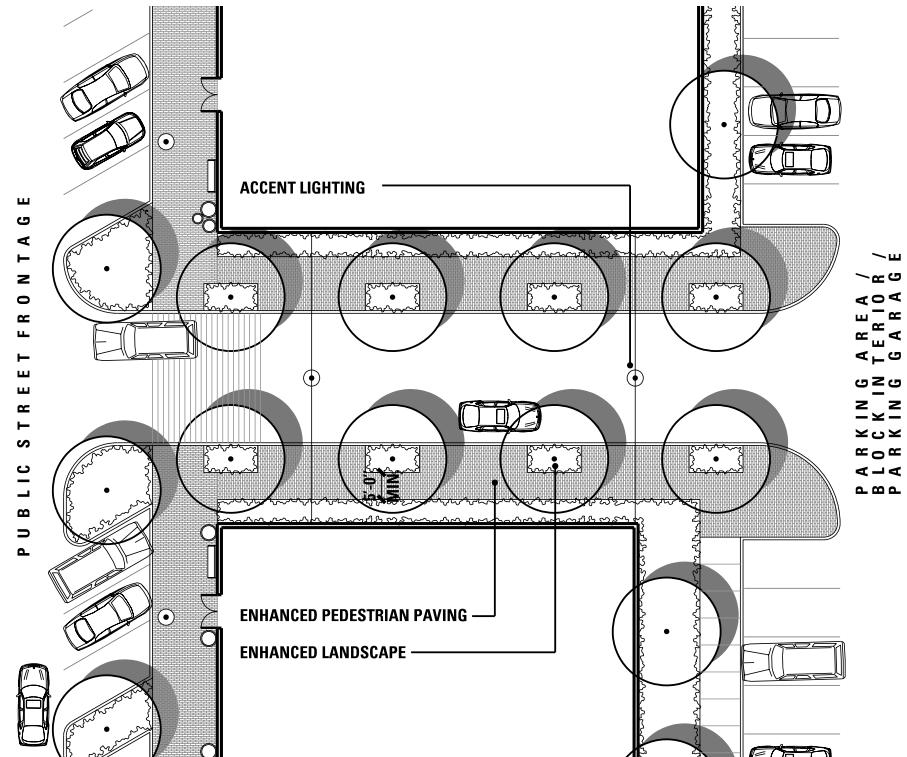




## 4 STREETS

### M E W S

Although it is technically not a streetscape element, a mews can also link freeway frontage parking areas and block interiors with the public street frontage. A mews combines a vehicular drive and pedestrian walkway within a narrow cross section. The mews environment includes enhanced pedestrian paving, enhanced landscape planting, special accent lighting, and may also include enhanced vehicular pavement. Bollards may be used in lieu of a typical street curb. Building entry access may be provided within a mews. A carriage-way may also serve the purpose of a mews. The maximum cross slope within a mews is 2%.









CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING ORDINANCE NO. 17-64 & PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN ON APPROXIMATELY 7.344-ACRES FOR PROPERTY IDENTIFIED AS LOT 9, BLOCK A, HARBOR-ROCKWALL ADDITION AND TRACT 16 OF THE M. J. BARKSDALE SURVEY, ABSTRACT NO. 11, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Jim Ziegler of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a Planned Development (PD) Development Plan within Planned Development District 32 (PD-32) [Ordinance No. 17-22] for a 7.344-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail and more fully described in Exhibit 'A' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Ordinance No. 17-64, Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in Ordinance No. 17-64;

**SECTION 2.** That any portion of Ordinance No.'s 11-43 & 13-16 in conflict with this ordinance shall be subject to the requirements of this ordinance;

**SECTION 3.** That Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 04-38], as heretofore amended, shall be further amended by amending the PD Development Plans approved with Ordinance No.'s 11-43 & 13-16 and the official zoning map of the City of Rockwall so as to approve a PD Development Plan



for the *Subject Property*; and,

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the PD Development Plan, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**SECTION 5.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

## **5.1 CONSTRUCTION SCHEDULE**

### *Building Adjacent to Lakefront Trail (i.e. Building ①)*

This *PD Development Plan* shall be subject to review by City Staff and/or the Planning and Zoning Commission and City Council on May 6, 2020. At the time of review, if a building permit has not been issued for the proposed multi-family development adjacent to Lakefront Trail (*indicated as ① on Exhibit 'B' of this ordinance and consisting of 375 condominium units*), City Staff shall provide a report, with the assistance of the developer, to the Planning and Zoning Commission and City Council indicating the progress of the development. Upon review of the report, the Planning and Zoning Commission shall provide a recommendation to the City Council concerning the possible revocation of the additional 26 allocated condominium units (*i.e. reducing the number of units for the multi-family development adjacent to Lakefront Trail -- indicated as ① on Exhibit 'B' of this ordinance -- to 349 condominium units*), and after review of the report and recommendation of the Planning and Zoning Commission the City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional 26 allocated condominium units.

### *Building Adjacent to the Harbor Fountain (i.e. Building ②)*

This *PD Development Plan* shall be subject to review by City Staff and/or the Planning and Zoning Commission and City Council on June 1, 2020. At the time of review, if a building permit has not been issued for the proposed multi-family development adjacent to the Harbor Fountain (*indicated as ② on Exhibit 'B' of this ordinance and consisting of 75 condominium units*), City Staff shall provide a report, with the assistance of the developer, to the Planning and Zoning Commission and City Council indicating the progress of the development. Upon review of the report, the Planning and Zoning Commission shall provide a recommendation to the City Council concerning the possible revocation of the additional 25 allocated condominium units (*i.e. reducing the number of units for the multi-family development adjacent to the Harbor Fountain -- indicated as ② on Exhibit 'B' of this ordinance -- to 50 condominium units*), and after review of the report and recommendation of the Planning and Zoning Commission the City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional 25 allocated condominium units.

### *Commencement of Construction and Continuous Construction*

Once a building permit has been issued for either property (*i.e. Building ① or Building ②*), the developer/property owner shall have six (6) months to commence construction on the site in accordance with Section 10-116 of Article III, *Building Code*, of Chapter 10, *Buildings and Building Regulations*, of the Municipal Code of Ordinances (*i.e. Section [A] 105.5*,



*Expiration, of the International Building Code*). Once construction has commenced, construction must be continuous during the regular workweek unless construction is delayed due to delays beyond the control of the developer/property owner. Such delays shall include, but not be limited to, fires, floods, labor disputes, epidemics, abnormal weather conditions, acts of God or any preference, priority or allocation order duly issued by the Federal Government. Abnormal weather delays are those that are beyond what is normal for the climate and time of year. If construction of the site has not commenced within six (6) months of the issuance of a building permit, or construction is not continuous, City staff shall provide a report, to the Planning and Zoning Commission and City Council indicating the progress of the development and possible revocation of the permit. Upon review of the report, the Planning and Zoning Commission shall provide a recommendation to the City Council concerning the possible revocation of the permit for additional allocated condominium units (*i.e. reducing the number of units for either project back to the numbers approved under Ordinance No. 13-16*), and after review of the report and recommendation of the Planning and Zoning Commission the City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional allocated condominium units.

## 5.2 DEVELOPMENT CONDITIONS

- 1) Development of this property shall generally conform to the *PD Development Plan* depicted in *Exhibit 'B'* of this ordinance;
- 2) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a detailed PD Site Plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance;
- 3) The proposed multi-family development adjacent to Lakefront Trail (*indicated as ① on Exhibit 'B' of this ordinance*) shall be permitted to consist of a maximum of 375 condominium units. The proposed multi-family development adjacent to the Harbor Fountain (*indicated as ② on Exhibit 'B' of this ordinance*) shall be permitted to consist of a maximum of 75 condominium units.
- 4) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a subdivision plat;
- 5) The architectural design of all buildings within the two (2) affected Subdistricts (*i.e. the Harbor Residential Subdistrict and the Harbor Link Mixed-Use Subdistrict*) shall conform to the Harbor District Guidelines (*i.e. Resolution 10-40*), all applicable ordinances associated with Planned Development District 32 (PD-32) [*as amended*], and to the Unified Development Code;
- 6) All buildings throughout the development shall be constructed with a consistent design scheme, and be approved by the Architectural Review Board (ARB);
- 7) The private street and pedestrian access easement extending from Lakefront Trail to the proposed multi-family development adjacent to the Harbor Fountain (*indicated as ② on Exhibit 'B' of this ordinance*), will be required to be located within a *Pedestrian Access Easement* on the final plat and shall be constructed in accordance with the street cross section and concept plan depicted in *Exhibit 'C'* of this ordinance; and
- 8) The proposed uses for this development shall be required to demonstrate that they



have access to a sufficient number of parking spaces within the development to support their use.

**SECTION 6.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**SECTION 7.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 8.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 9.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 10.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF MAY, 2019.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

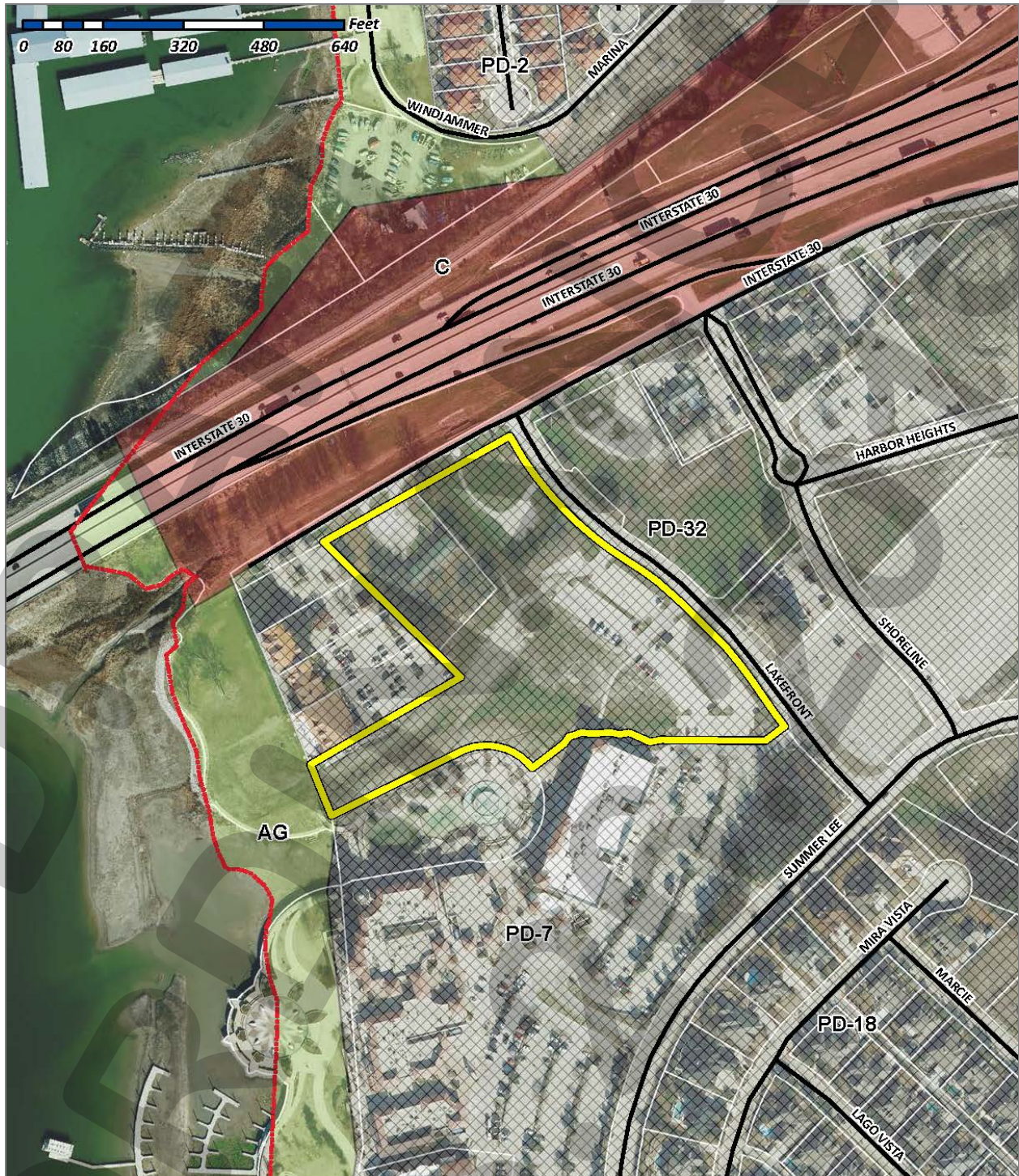
\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2019

2<sup>nd</sup> Reading: May 6, 2019



**Exhibit 'A':**  
**Legal Description**



Legal Description: Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas



**Exhibit 'A':**  
**Legal Description**

Legal Description: Tract 16 of the M. J. Barksdale Survey, Abstract No. 11

Being a tract of land situated in the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, and being a 1.225-acre tract out of a 55.200-acre tract as recorded in *Volume 59, Page 383*, deed records of Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a point on the southeast line of Interstate Highway 30, said point being 286.50-feet more or less, from the north corner of said 55.20-acre tract, a 3/8" iron rod found for corner;

*THENCE*, South 38 Degrees 29 Minutes 38 Seconds East, leaving the said southeast line of Interstate Highway 30, a distance of 254.63-feet to a 5/8" iron rod found for corner;

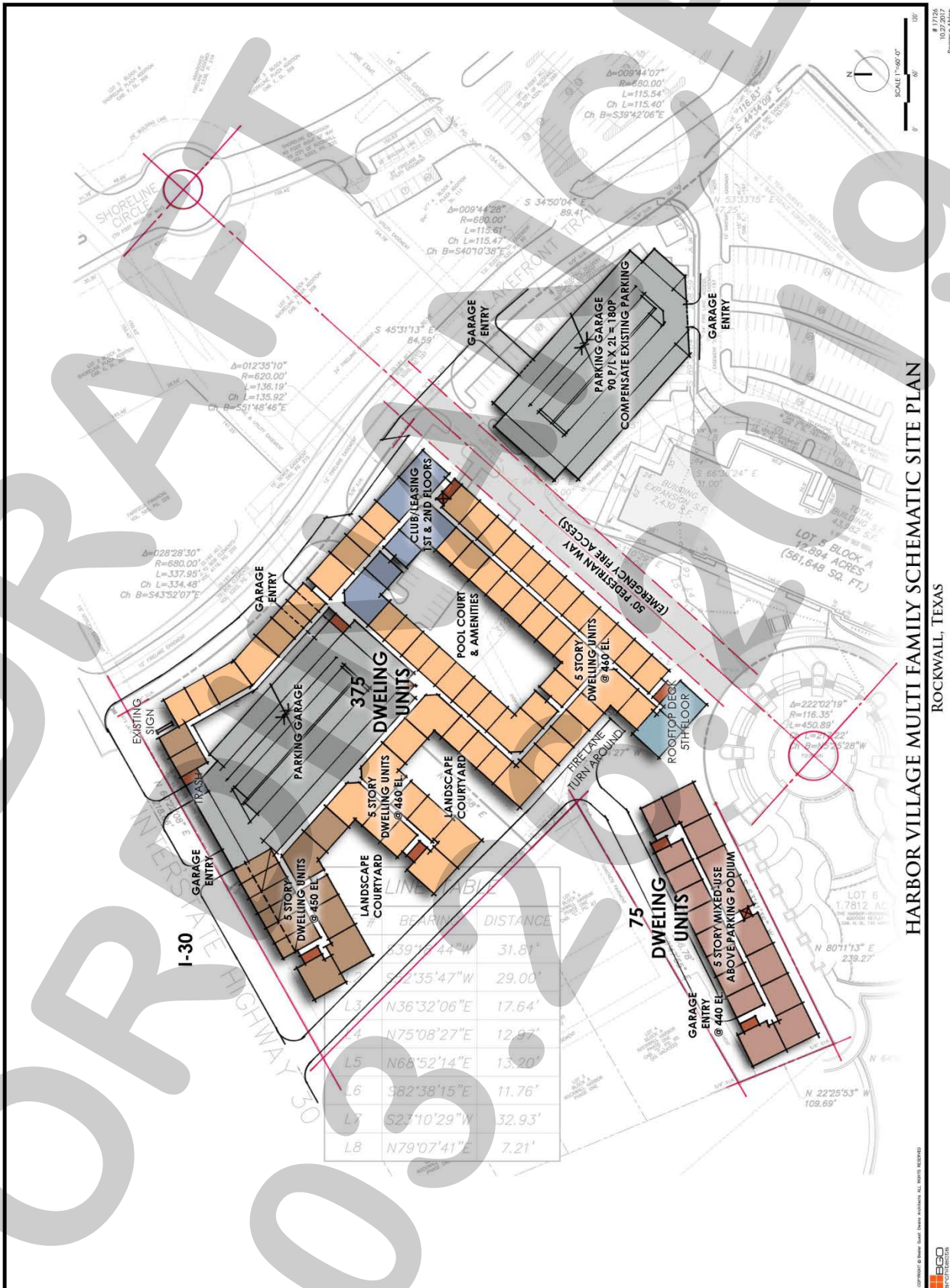
*THENCE*, South 44 Degrees 24 Minutes 14 Seconds West, a distance of 176.46-feet to a 1/2" iron rod found for corner;

*THENCE*, North 43 Degrees 48 Minutes 20 Seconds West, a distance of 311.10-feet to a point on the southeast line of the Interstate Highway 30, a 3/8" iron rod set for corner;

*THENCE*, North 50 Degrees 48 Minutes East, along the southeast line of Interstate Highway 30, a distance of 206.43-feet to the *PLACE OF BEGINNING* and containing 53,371.640 SF or 1.225-acres of land, more or less.



**Exhibit 'B':**  
**PD Development Plan**





**Exhibit 'C':**  
*Private Street and Pedestrian Access Easement*

INSERT REVISED CONCEPT PLAN OF THE PRIVATE STREET AND PEDESTRIAN ACCESS  
EASEMENT HERE



**Exhibit 'C':**  
*Private Street and Pedestrian Access Easement*

INSERT STREET CROSS SECTION EXHIBIT HERE



3/22/2019

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	P2019-010	<b>Owner</b>	RW LADERA, LLC	<b>Applied</b>	3/14/2019	LM
<b>Project Name</b>	Lot 1, Block A, & Lot 1, Block B, Ladera	<b>Applicant</b>	G&AI MCADAMS	<b>Approved</b>		
<b>Type</b>	Rockwall			<b>Closed</b>		
<b>Subtype</b>	FINAL			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
900 N JOHN KING BLVD	ROCKWALL, TX 75087	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
LADERA ROCKWALL	5		5	0122-0000-0005-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/14/2019	3/21/2019	3/19/2019	5	APPROVED	
ENGINEERING	Sarah Hager	3/14/2019	3/21/2019	3/22/2019	8	COMMENTS	
(3/22/2019 1:46 PM SH) - Remove all easements for Phase 2. Phase 2 has not been approved through engineering. - Must show and label all of the cross sections delineated by the approved flood study. - Need document numbers now. Stating easements are by separate easements is not sufficient. - Make the EHS easier to see along the entire property border. - Must include the trees that will be removed with the offsite utility work.							
FIRE	Ariana Hargrove	3/14/2019	3/21/2019				
GIS	Lance Singleton	3/14/2019	3/21/2019	3/21/2019	7	COMMENTS	See comments
(3/21/2019 4:49 PM LS) Needs the short street segments off of Madrid Way (Lugo Ct and Merida Ct) names called out. We cannot address homes without street frontage.							
PLANNING	David Gonzales	3/14/2019	3/21/2019	3/22/2019	8	COMMENTS	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Discuss and consider a request by Michael Duval of G&A/McAdams on behalf of John Delin of RW Ladera, LLC for the approval of a final plat for Lot 1, Block A and Lot 1, Block B, Ladera Rockwall Addition being a 47.694-acre tract of land identified as a portion of Tract 4-01 and all of Tract 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85) for General Retail (GR) and Single-Family 7 (SF-7) District land uses, situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast and northwest corners of the intersection of SH-66 and John King Boulevard, and take any action necessary.						

#### PLANNING COMMENTS - DAVID GONZALES - 03.21.2019

The following staff comments are to be addressed and resubmitted no later than Tuesday April 2, 2019. Please provide two large copies [FOLDED 18" X 24"] and one PDF version for a subsequent/final review by staff:

1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC), the staff comments provided by the Planning Engineering, Building Inspection, and Fire Departments as indicated on the Project Plan Review document
2. Provide a label indicating "Case No. P2019-010" on the lower right corner on all pages of the revised final plat submittal
3. Delineate and label all open space area's. Also, provide a label indicating "Open Space to be Maintained by COA" for each area.
4. The final plat shall conform to Park District 8 requirements and recommendations made by the Parks and Recreations Board See meeting date & time below.
5. Where are the streets Lugo Ct. and Meridia Ct.? These do not appear on page 2 of the plat.
6. Provide a label and information for SH-66 on page 2 of plat.
7. Page 3 Issues that need to be resolved:
  - a. Provide Owners Certificate (see standard plat language included in application packet)
  - b. Use Standard City Signature Block (also included in application packet)
  - c. Adjust signature block for Ladera (John Delin - signator) so that this is not on two (2) separate columns.
  - d. Adjust Notary Certificate -- blended in with tables
  - e. Move Line and Curve Tables for legibility

#### Unit Exhibit:

1. Provide street name labels for Lugo Ct. & Meridia Ct.

#### Landscape/Treescape Plan:

1. To be approved by the Planning and Zoning Commission
2. Mitigation is considered to be satisfied per the plans submitted

#### Hardscape Plan:

1. No additional comments provided.

**\*\*As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes \*\***

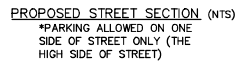
Although this case is scheduled for consent, staff recommends that a representative be present for the meetings as listed below. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

#### Scheduled Meeting Dates to Attend



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Planning - Work session: March 26, 2019 (Applicant to present case before P&Z -- Tuesday at 6:00 p.m.)						
Parks Board - Meeting: April 2, 2019 (Park Board recommendations & fees to be established)						
Planning - Regular meeting: April 9, 219 (Tuesday at 6:00 p.m.)						
City Council - Consent Agenda: April 15, 2019 (Monday at 6:00 p.m.)						

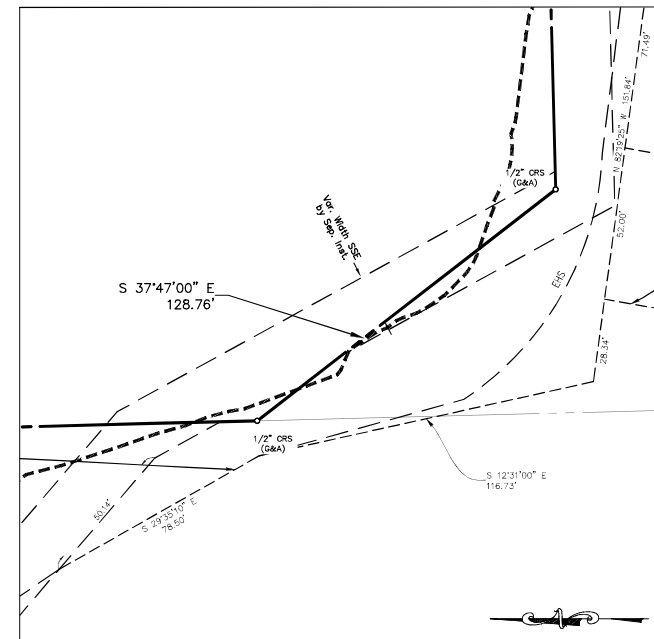




## Make EHS easier to see.

Need Doc. # now.

Remove all of the easements for Phase 2.



**DETAIL "A"**  
Scale: 1"=30'

**FINAL PLAT**  
**Lot 1, Block A &**  
**Lot 1, Block B**  
**LADERA ROCKWALL**  
**47.694 Acres**  
**Zoned: PD-85**

in the  
M. JONES SURVEY, ABSTRACT NO. 122  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

(2/4)



The John R. McAdams  
Company, Inc.  
(DBA, G&A | McAdams)  
111 Hillside Drive  
Lewisville, Texas 75057  
972. 436. 9712

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201 Country View Drive  
Roanoke, Texas 76262  
940. 240. 1012

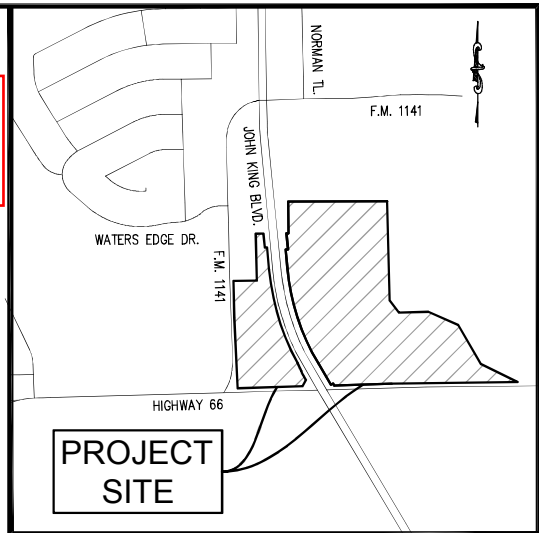
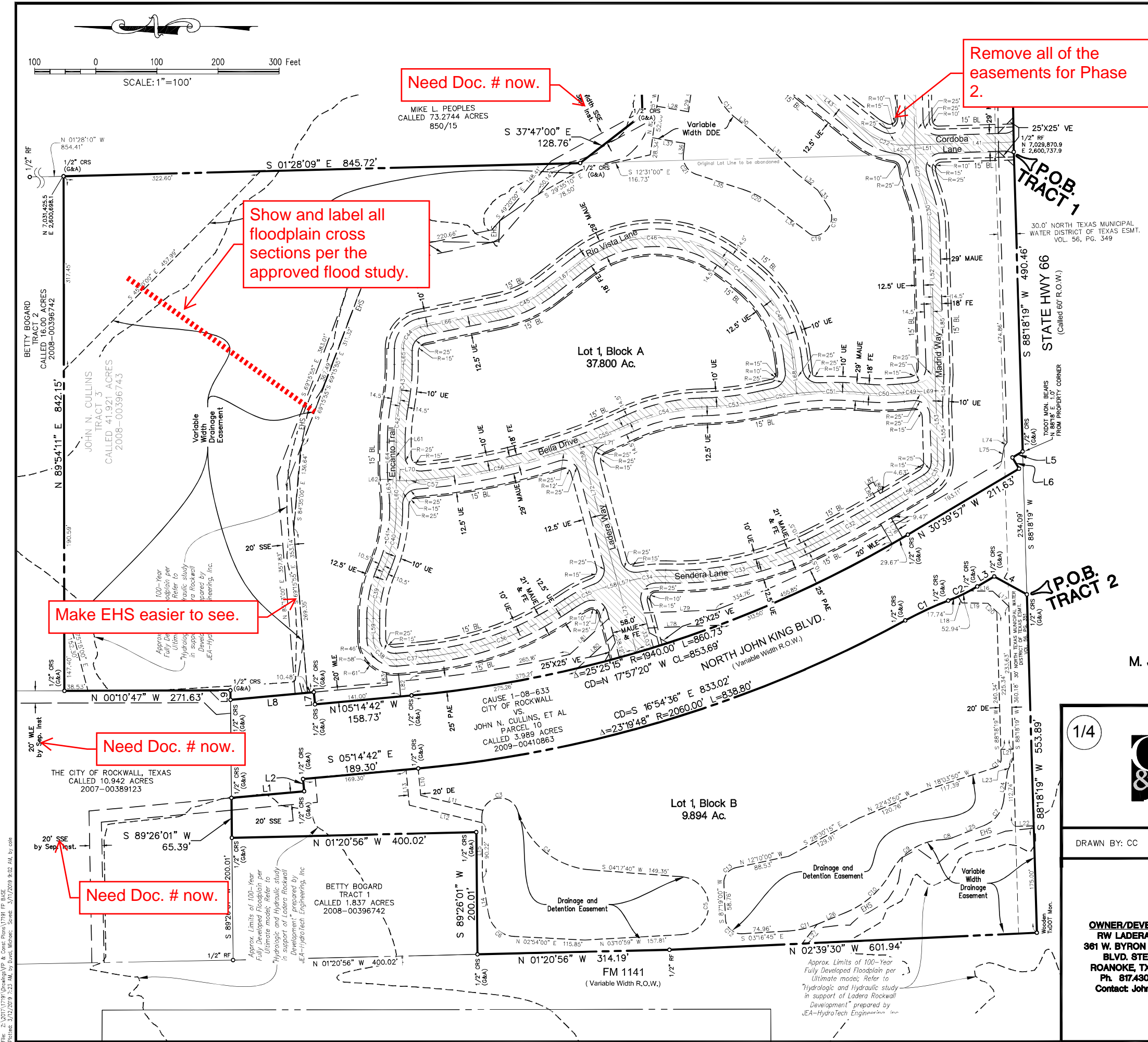
TBPE: 19762 TBPLS: 10194440  
[www.gacon.com](http://www.gacon.com)  
[www.mcadamsco.com](http://www.mcadamsco.com)

DRAWN BY: CC DATE: 3/6/2019 SCALE: 1"=100' JOB. No. 17191

**OWNER/DEVELOPER**  
RW LADERA, LLC.  
361 W. BYRON NELSON  
BLVD. STE. 104  
ROANOKE, TX 76262  
Ph. 817.430.3318  
Contact: John Dellin

**Case No. P2017-068**







LEGEND	
RF	= REBAR FOUND
CRS	= CAPPED REBAR SET
CRF	= CAPPED REBAR FOUND
BL	= BUILDING LINE
UE	= UTILITY EASEMENT
P.O.B.	= POINT OF BEGINNING
MAE	= MUTUAL ACCESS EASEMENT
MAUE	= MUTUAL ACCESS & UTILITY EASEMENT
SSE	= SANITARY SEWER EASEMENT
LS	= LANDSCAPE
DDE	= DRAINAGE & DETENTION EASEMENT
EHS	= EROSION HAZARDOUS SETBACK
VE	= VISIBILITY EASEMENT
FE	= FIRELANE EASEMENT
PAE	= PEDESTRIAN ACCESS EASEMENT

**FINAL PLAT**  
**Lot 1, Block A &**  
**Lot 1, Block B**  
**LADERA ROCKWALL**  
**47.694 Acres**  
**Zoned: PD-85**  
in the  
**M. JONES SURVEY, ABSTRACT NO. 122**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS**

1/4



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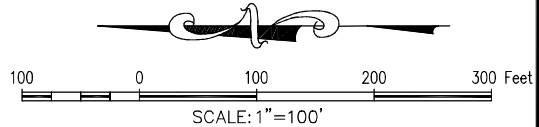
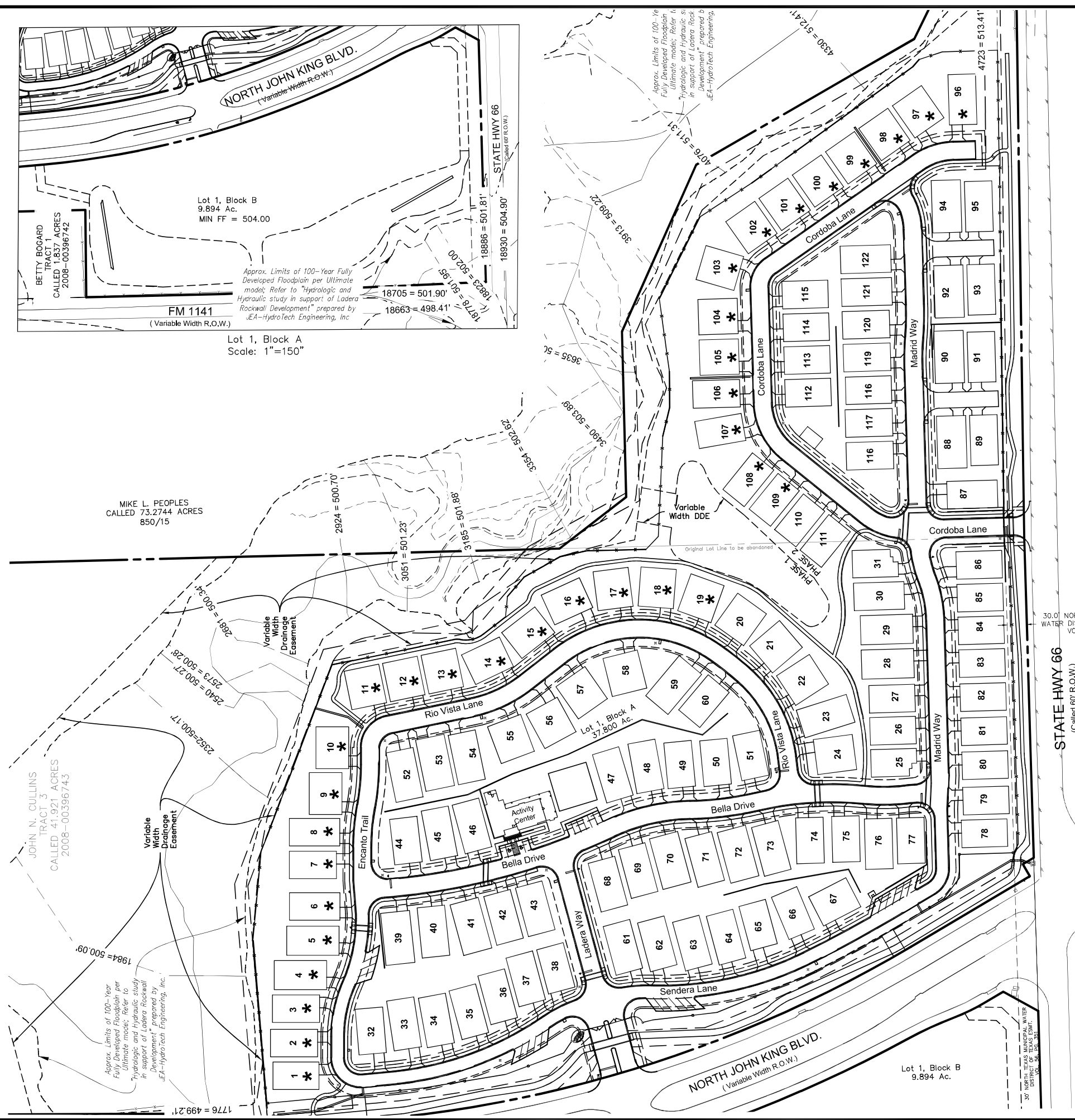
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**Case No. P2017-068**

File: Z:\2017\17191\Drawings\VP & Cert Plans\17191 FP BASE  
Plotfile: 3/12/2019 12:23 AM by David, Michael; Saved: 3/11/2019 9:02 AM by cde



File: Z:\2017\17191\Drawings\VP & Const Plans\Sheet\17191 UNIT  
Plot Date: 3/12/2019 3:24 AM by David Michael; Saved: 2/20/2019 8:43 AM by mdavid



- GENERAL NOTE:
1. FOR MORE INFORMATION ON THE CROSS SECTIONS FOR THE ULTIMATE 100 YR FLOODPLAIN REFER TO "HYDROLOGIC AND HYDRAULIC STUDY IN SUPPORT OF LADERA ROCKWALL DEVELOPMENT" PREPARED BY JEA-HYDROTECH ENGINEERING, INC.
- \*

**UNIT EXHIBIT**  
**Lot 1, Block A &**  
**Lot 1, Block B**  
**LADERA ROCKWALL**  
**47.694 Acres**  
**Zoned: PD-85**  
**in the**  
**M. JONES SURVEY, ABSTRACT NO. 122**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS**

4/4



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TBPE: 19762 TBPLS: 10194440  
www.gacon.com  
www.mcadamsco.com

DRAWN BY: MD    DATE: 02/20/2019    SCALE: 1"=100'    JOB. No.    17191

**OWNER/DEVELOPER**  
**RW LADERA, LLC.**  
**361 W. BYRON NELSON**  
**BLVD. STE. 104**  
**ROANOKE, TX 76262**  
**Ph. 817.430.3318**  
**Contact John Dellin**

**Case No. P2017-068**



File: Z:\2017\1719\Drawings\FP & Cert Plans\1719 FP BASE  
Printed: 3/12/2019 3:24 AM by David Michael; Saved: 3/11/2019 9:02 AM by cde

LEGAL DESCRIPTION  
LOT 1, BLOCK A  
TRACT 1

BEING all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch rebar found at the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

THENCE S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

THENCE Northwestery with the east line of said 3.989 acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

THENCE N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

THENCE N 00°10'47" W, with the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

THENCE N 89°54'11" E, with the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744 acre tract;

THENCE S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

THENCE over, across, and through said 73.2744 acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

THENCE S 89°18'14" W, with the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the POINT OF BEGINNING and containing approximately 37.800 acres of land.

LEGAL DESCRIPTION  
LOT 1, BLOCK B  
TRACT 2

BEING all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 4.55 feet;

THENCE S 88°18'19" W, a distance of 553.89 feet with the north line of U. S. Highway 66, to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

THENCE N 02°39'30" W, a distance of 601.94 feet with the east line of F. M. 1141, to a 1/2 inch rebar found;

THENCE N 01°20'56" W, a distance of 314.19 feet continuing with the east line of F. M. 1141, to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

THENCE N 89°26'01" E, a distance of 200.01 feet with the south line of said 1.837 acre tract, to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

THENCE N 01°20'56" W, a distance of 400.02 feet with the east line of said 1.837 acre tract, to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

THENCE N 89°26'01" E, a distance of 65.39 feet with the south line of said 10.942 acre tract, to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

THENCE Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 28°49'11" W, a distance of 60.93 feet to the POINT OF BEGINNING and containing approximately 9.894 acres of land.

STATE OF TEXAS :  
COUNTY OF DENTON : WHEREAS We, RW Ladera, LLC, are the owners of the hereinabove described property, and, acting by and through our duly authorized representative, do hereby adopt this Final Plat designating the same as Ladera Rockwall, an addition to the City of Rockwall, and do hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, trails, water courses, storm drainage facilities, easements, rights-of-way and public places, "and any other property necessary to serve the plat and to implement the requirements of the Subdivision Ordinance and Design Criteria thereon shown" for the purpose and consideration therein expressed.

WITNESS OUR HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

John Delin, Authorized Representative											
STATE OF TEXAS : COUNTY OF DENTON : BEFORE ME, THE UNDERSIGNED AUTHORITY personally appeared John Delin, known to me to be the person whose name is subscribed to the foregoing Instrument and acknowledged that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.											
GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2019.											
Notary Public											
My commission expires the _____ day _____, 20____.			_____ day _____, 20____.			_____ day _____, 20____.			_____ day _____, 20____.		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 05°14'42" E	119.42'	L23	S 66°45'40" E	23.94'	L45	N 35°00'00" W	226.11'	L67	S 37°59'40" E	64.63'
L2	N 84°45'18" E	20.00'	L24	S 82°22'00" E	49.46'	L46	S 35°00'00" E	48.77'	L68	S 83°05'06" W	58.72'
L3	S 30°39'57" E	32.25'	L25	S 21°12'10" E	55.37'	L47	N 01°41'40" W	33.34'	L69	S 01°41'40" E	32.68'
L4	S 28°49'11" W	60.93'	L26	S 22°26'45" E	50.94'	L48	N 55°00'00" E	24.21'	L70	S 00°00'00" E	16.98'
L5	N 30°39'57" W	19.44'	L27	N 52°16'25" W	40.00'	L49	S 88°18'20" W	114.19'	L71	N 69°46'00" E	10.99'
L6	S 59°20'03" W	21.30'	L28	N 10°00'00" E	52.75'	L50	S 88°18'20" W	243.58'	L72	N 74°55'30" E	207.70'
L7	N 84°45'18" E	20.00'	L29	N 83°02'15" W	23.90'	L51	S 88°18'20" W	10.39'	L73	N 74°55'30" E	116.59'
L8	N 05°14'42" W	136.88'	L30	N 38°50'30" E	35.47'	L52	S 88°18'20" W	262.85'	L74	S 57°15'50" E	8.84'
L9	N 89°26'01" E	15.52'	L31	N 43°17'40" E	103.29'	L53	S 88°18'20" W	114.67'	L75	N 79°45'20" W	24.17'
L10	S 84°45'30" W	44.16'	L32	N 38°46'42" E	41.90'	L54	S 87°14'00" E	51.43'	L76	N 59°37'10" E	37.50'
L11	S 13°33'50" W	104.66'	L33	N 56°35'00" E	32.01'	L55	S 88°18'20" W	89.61'	L77	N 59°37'10" E	37.50'
L12	S 13°33'50" W	122.24'	L34	S 37°33'50" W	80.00'	L56	N 30°39'55" W	72.41'	L78	N 02°20'15" W	115.92'
L13	S 84°45'30" W	58.48'	L35	S 17°53'30" W	81.24'	L57	N 15°04'30" W	20.00'	L79	N 02°20'15" W	117.56'
L14	N 80°32'08" E	59.21'	L36	N 83°02'15" W	18.50'	L58	N 15°04'30" W	20.00'	L80	S 42°49'10" E	80.16'
L15	N 89°26'01" E	100.40'	L37	S 10°00'00" W	53.40'	L59	N 90°00'00" E	32.61'	L81	S 42°49'10" E	86.72'
L16	S 00°57'10" W	37.69'	L38	S 00°49'43" E	5.95'	L60	N 90°00'00" E	45.27'	L82	S 84°45'18" W	37.58'
L17	S 43°18'20" W	36.30'	L39	N 88°18'20" E	20.00'	L61	N 90°00'00" E	62.99'	L83	N 84°45'18" E	20.70'
L18	S 59°37'10" W	12.24'	L40	S 00°49'43" E	25.65'	L62	N 81°52'00" W	50.52'	L84	N 28°43'46" W	25.65'
L19	S 00°57'10" W	42.23'	L41	N 01°41'40" W	161.58'	L63	N 85°35'40" E	50.16'	L85	S 88°18'20" W	236.64'
L20	S 43°18'20" W	20.27'	L42	S 01°41'40" E	14.97'	L64	N 90°00'00" E	49.86'	L86		
L21	S 01°41'41" E	20.00'	L43	S 38°56'48" W	153.58'	L65	N 90°00'00" E	26.24'	L87		
L22	S 01°41'41" E	30.00'	L44	S 88°18'20" W	175.59'	L66	S 11°39'10" E	129.43'	L88		

CURVE TABLE					CURVE TABLE				
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	LONG CHORD	CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	LONG CHORD
C1	586.00'	7°34'10"	77.42'	N 24°47'26" W, 77.36'	C31	35.50'	61°01'45"	37.81'	S 61°10'48" E, 36.05'
C2	314.00'	9°39'36"	52.94'	S 25°50'09" E, 52.88'	C32	1879.50'	4°26'24"	145.64'	S 28°26'43" E, 145.61'
C3	30.00'	164°03'56"	85.90'	S 08°32'01" E, 59.42'	C33	500.00'	28°07'41"	245.46'	S 12°09'41" E, 243.01'
C4	135.00'	69°12'17"	163.06'	S 38°53'48" W, 153.33'	C34	200.00'	16°58'40"	59.26'	S 06°35'10" E, 59.05'
C5	47.50'	172°31'21"	143.03'	N 89°26'40" W, 94.80'	C35	200.00'	19°31'14"	68.14'	N 24°50'07" W, 67.81'
C6	45.00'	77°38'09"	60.97'	N 41°43'04" E, 56.42'	C36	500.00'	28°20'27"	247.32'	S 20°25'30" E, 244.81'
C7	50.00'	61°09'50"	53.38'	S 51°47'05" E, 50.88'	C37	1879.50'	1°36'03"	52.51'	S 05°27'15" E, 52.51'
C8	50.00'	19°05'33"	16.66'	S 11°39'24" E, 16.58'	C38	35.00'	94°39'14"	57.82'	S 42°40'23" W, 51.47'
C9	100.00'	59°20'39"	103.58'	N 31°46'57" W, 99.01'	C39	200.00'	23°36'06"	82.38'	N 78°11'57" W, 81.80'
C10	150.00'	39°00'32"	102.12'	S 41°57'01" E, 100.16'	C40	250.00'	23°36'06"	102.98'	S 78°11'57" E, 102.25'
C11	150.00'	19°09'59"	50.18'	S 12°51'45" E, 49.94'	C41	239.50'	25°36'32"	107.05'	S 79°12'10" E, 106.16'
C12	25.00'	90°35'45"	39.53'	S 42°01'07" W, 35.54'	C42	350.00'	10°27'46"	63.91'	N 84°46'07" W, 63.82'
C13	25.00'	80°31'00"	35.13'	N 52°25'30" W, 32.31'	C43	350.00'	10°27'46"	63.91'	S 84°46'07" E, 63.82'
C14	15.00'	73°37'51"	19.28'	N 54°52'45" W, 17.98'	C44	35.50'	78°20'50"	48.54'	N 50°49'35" W, 44.85'
C15	50.00'	17°02'00"	14.86'	N 74°31'15" W, 14.81'	C45	200.00'	26°20'30"	91.95'	S 24°49'25" E, 91.14'
C16	20.00'	137°10'12"	47.88'	N 02°34'51" E, 37.24'	C46	200.00'	73°03'00"	254.99'	N 01°28'10" W, 238.07'
C17	100.00'	32°19'27"	56.42'	S 55°00'14" W, 55.67'	C47	514.50'	6°07'37"	55.02'	N 38°07'09" E, 54.99'
C18	31.00'	108°46'23"	58.85'	S 69°01'49" E, 50.40'	C48	200.00'	41°54'09"	146.27'	N 62°08'02" E, 143.03'
C19	15.00'	52°12'27"	13.67'	S 11°27'36" W, 13.20'	C49	300.00'	4°45'57"	24.95'	N 04°04'39" W, 24.95'
C20	150.00'	19°40'20"	51.50'	N 27°43'40" E, 51.25'	C50	300.00'	12°13'03"	63.97'	S 00°21'06" E, 63.85'
C21	30.00'	79°04'15"	41.40'	S 57°25'37" W, 38.19'	C51	500.00'	12°40'20"	110.59'	N 00°34'44" W, 110.36'
C22	100.00'	40°38'28"	70.93'	S 18°37'34" W, 69.45'	C52	500.00'	6°06'27"	53.30'	N 09°58'07" W, 53.27'
C23	100.00'	49°21'32"	86.15'	S 63°37'34" W, 83.51'	C53	500.00'	11°53'17"	103.74'	S 07°04'43" E, 103.56'
C24	39.50'	56°41'40"	39.09'	N 63°20'50" W, 37.51'	C54	300.00'	24°01'25"	125.79'	N 13°08'47" W, 124.87'
C25	100.00'	33°18'20"	58.13'	N 18°20'50" W, 57.31'	C55	1000.00'	4°55'30"	85.96'	S 22°41'45" E, 85.93'
C26	100.00'	33°18'20"	58.13'	N 71°39'10" E, 57.31'	C56	1000.00'	15°41'26"	273.85'	S 12°23'17" E, 273.00'
C27	500.00'	5°43'55"	50.02'	S 88°49'42" E, 50.00'	C57	200.00'	4°32'34"	15.86'	S 02°16'17" E, 15.85'
C28	500.00'	5°43'55"	50.02'	N 88°49'42" W, 50.00'	C58	200.00'	5°09'30"	18.01'	N 72°20'45" E, 18.00'
C29	200.00'	19°01'01"	66.38'	S 78°47'50" W, 66.08'					
C30	200.00'	19°01'01"	66.38'	N 78°47'50" E, 66.08'					

- NOTES:
- Bearings based on Texas Coordinate System, North Central Zone (4202), NAD '83.
  - The coordinates shown at the Northeast and Southeast corners are expressed in NAD83 North Central Tx 4202.
  - Surveyor has made no investigation or independent search for easement of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate abstract of title may disclose.
  - No flood zone area analysis has been performed on the subject property G&A Consultants.
  - All property corners are 1/2" rebar set with cap stamped "G&A I MCADAMS", unless otherwise noted.
  - Refer to Typical Street Section for fire lane information.
  - HOA is responsible for all maintenance, repair, and replacement for all systems in drainage and detention easements.
  - HOA is to maintain flood plain/ drainage easement.

Recommended for Preliminary Approval

Chairman, Planning & Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

Approved for preparation of Final Plat

Mayor, City of Rockwall, Texas \_\_\_\_\_ Date \_\_\_\_\_

SURVEYOR'S STATEMENT

I, W. Thad Murley III, a Registered Professional Land Surveyor in the State of Texas, have prepared this plat of the above property from an actual survey on the ground, and this plat represents that survey made by me or under my supervision.

W. Thad Murley III  
Texas Registration No. 5802

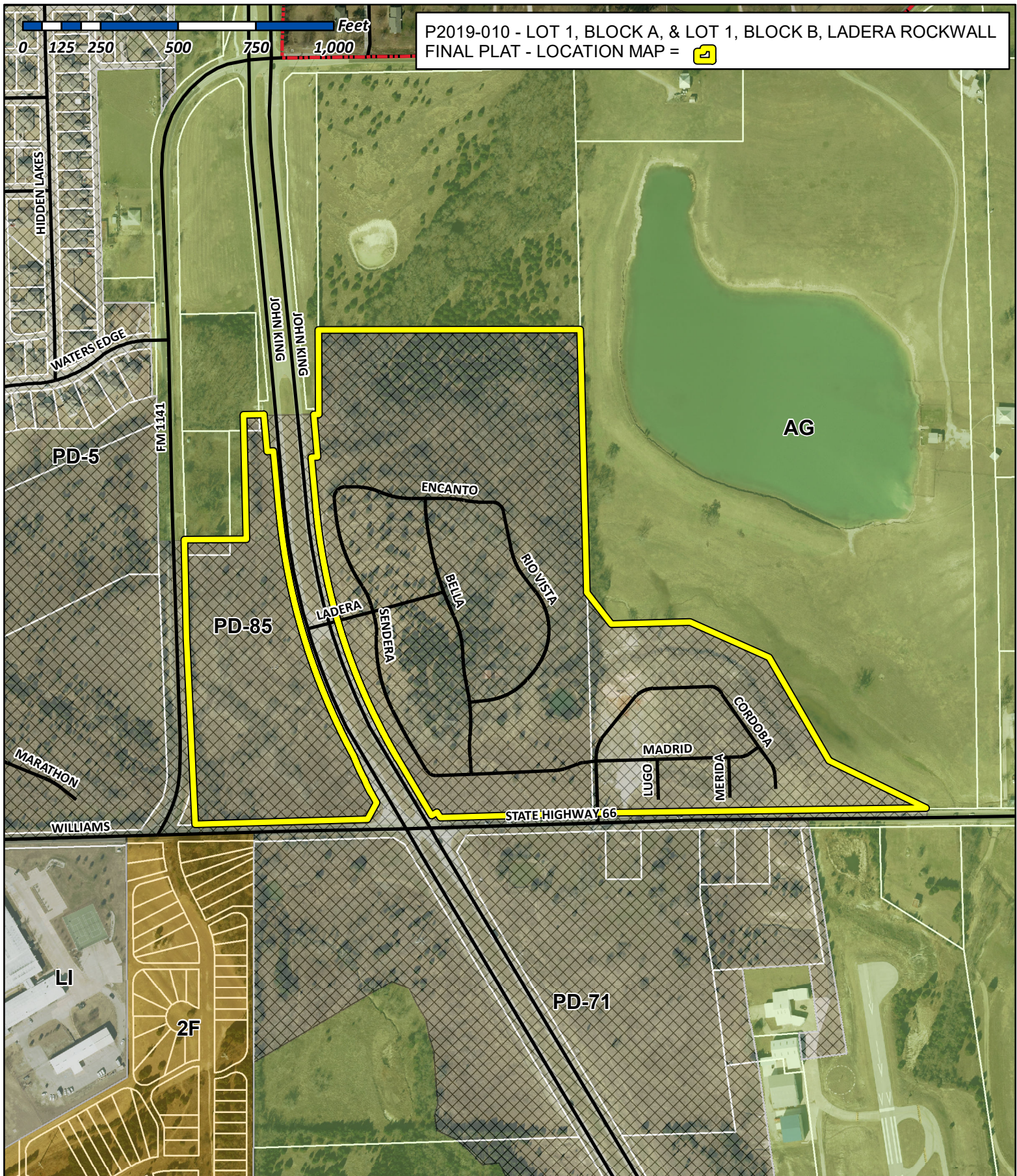
FINAL PLAT  
Lot 1, Block A &  
Lot 1, Block B  
LADERA ROCKWALL  
47.694 Acres  
Zoned: PD-85  
in the  
M. JONES SURVEY, ABSTRACT NO. 122  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

3/4



The John R. McAdams  
Company, Inc.  
(DBA, G&A | McAdams)  
111 Hillside Drive  
Lewisville, Texas 75057  
972. 436. 9712  
201 Country View Drive  
Roanoke, Texas 76262  
940. 240. 1012  
TBPE: 19762 TBPLS: 10194





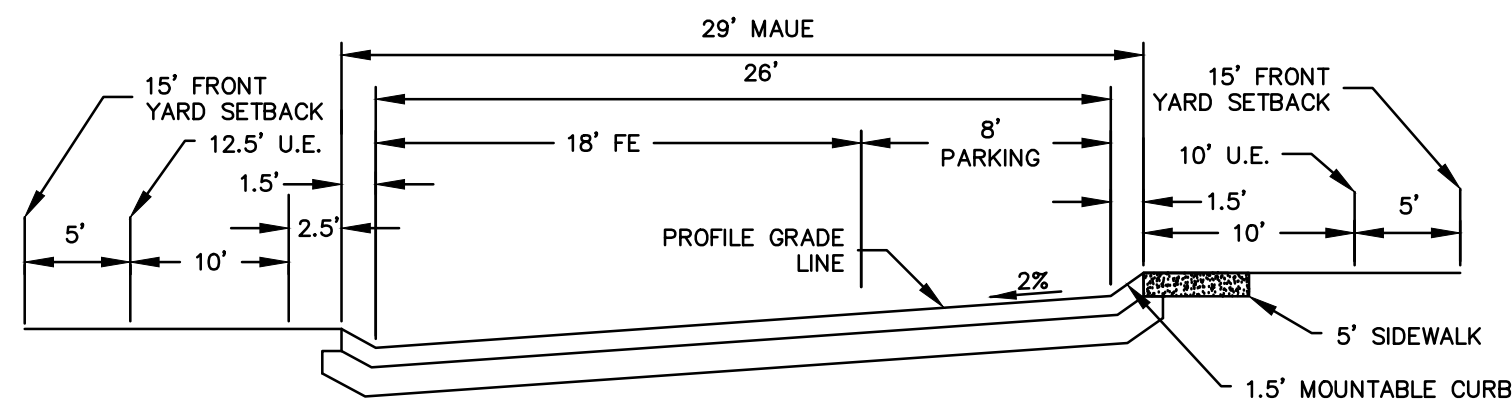
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

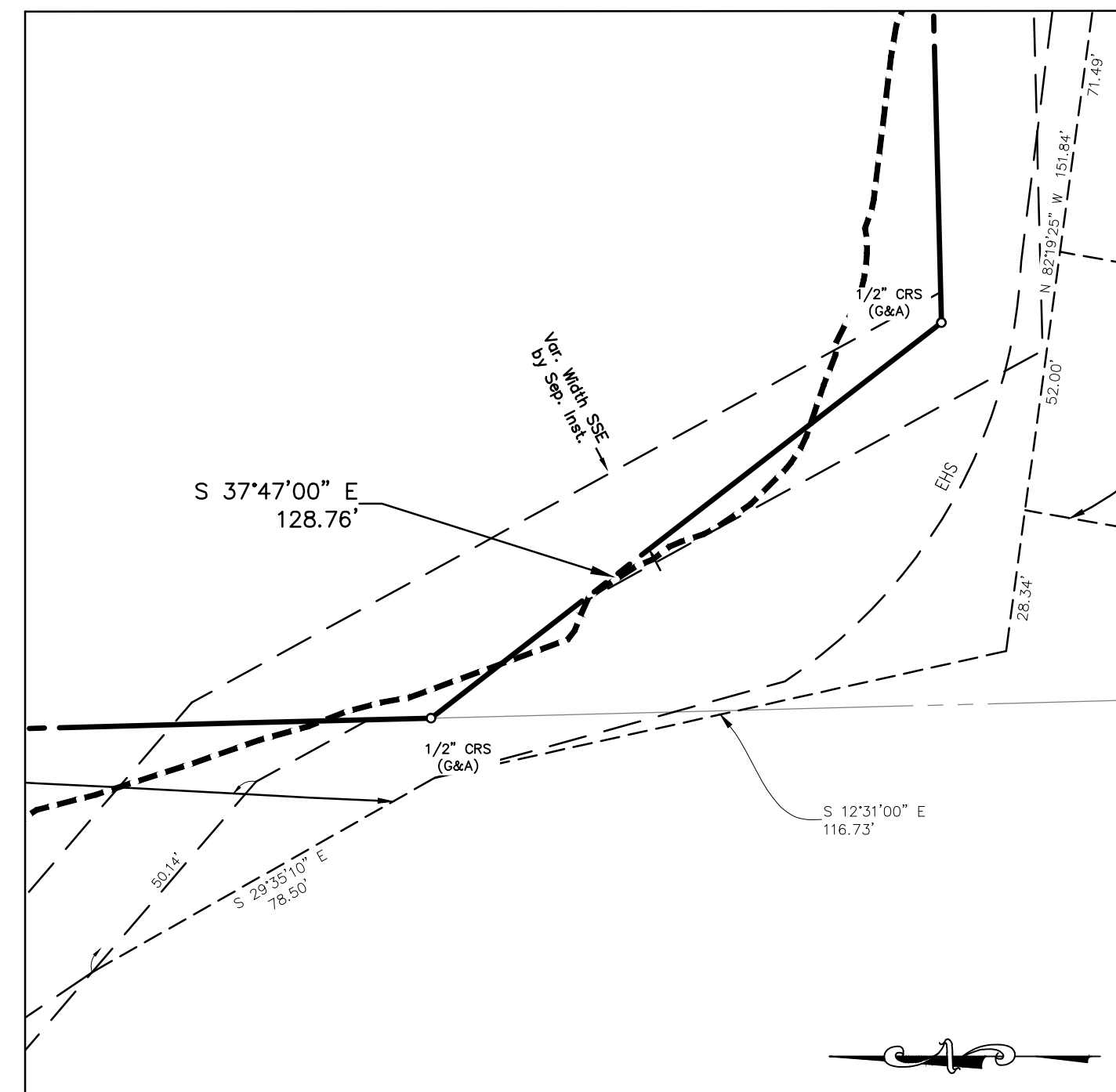
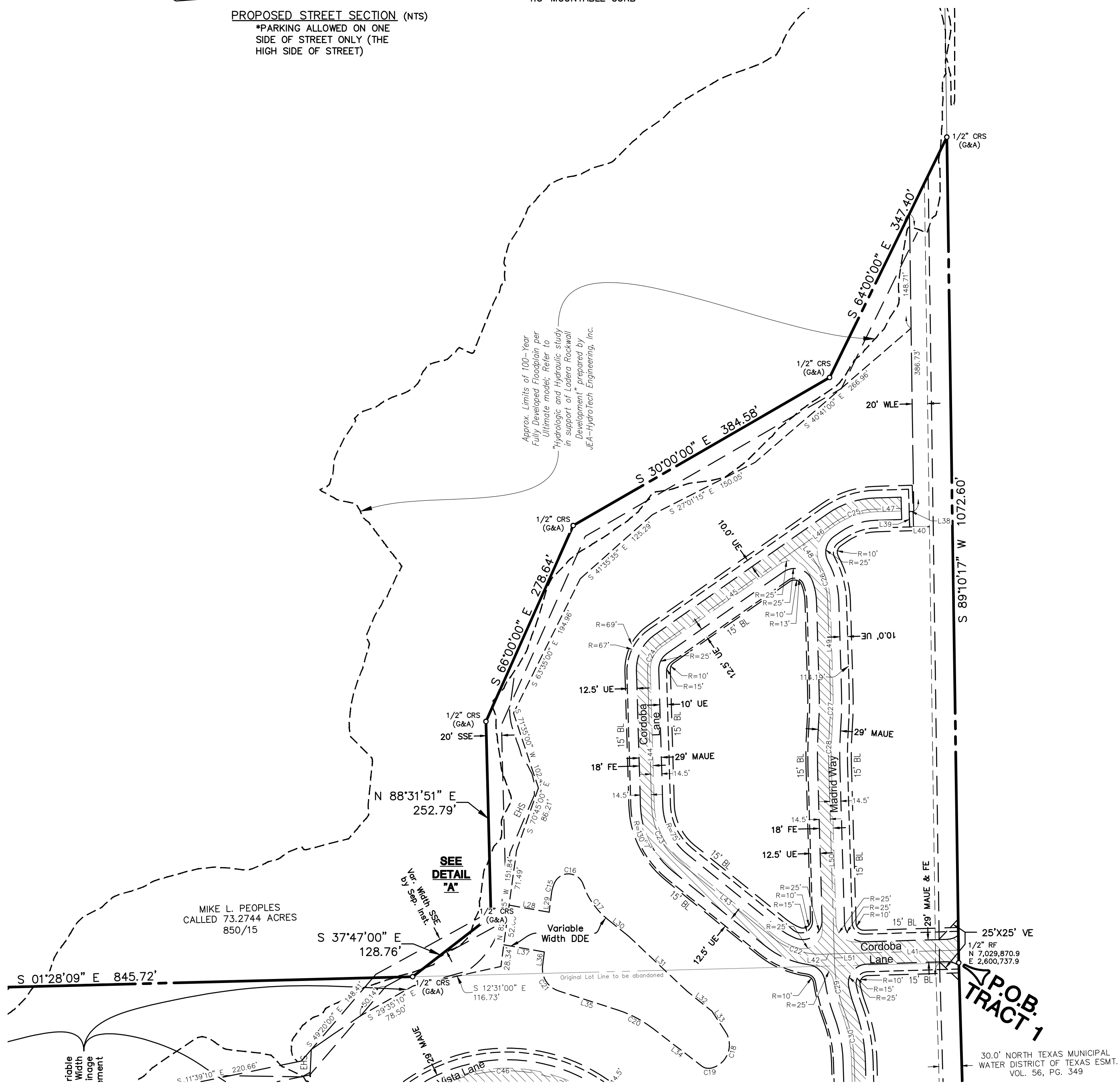






**PROPOSED STREET SECTION (NTS)**  
 \*PARKING ALLOWED ON ONE SIDE OF STREET ONLY (THE HIGH SIDE OF STREET)

Approx. Limits of 100-Year Fully Developed Floodplain per "Hydrologic and Hydraulic study in support of Ladera Rockwall Development" prepared by JEA-Hydrotech Engineering, Inc.



**DETAIL "A"**  
 Scale: 1"=30'

# **FINAL PLAT** **Lot 1, Block A &** **Lot 1, Block B** **LADERA ROCKWALL**

**47.694 Acres**  
**Zoned: PD-85**

in the  
**M. JONES SURVEY, ABSTRACT NO. 122**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS**

2/4



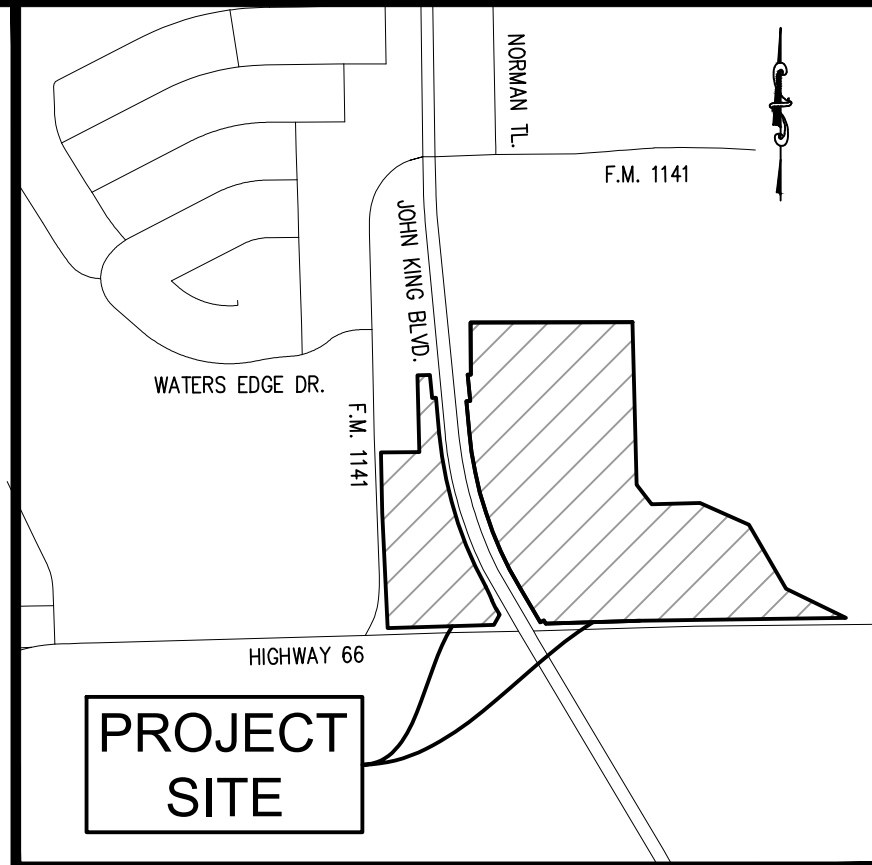
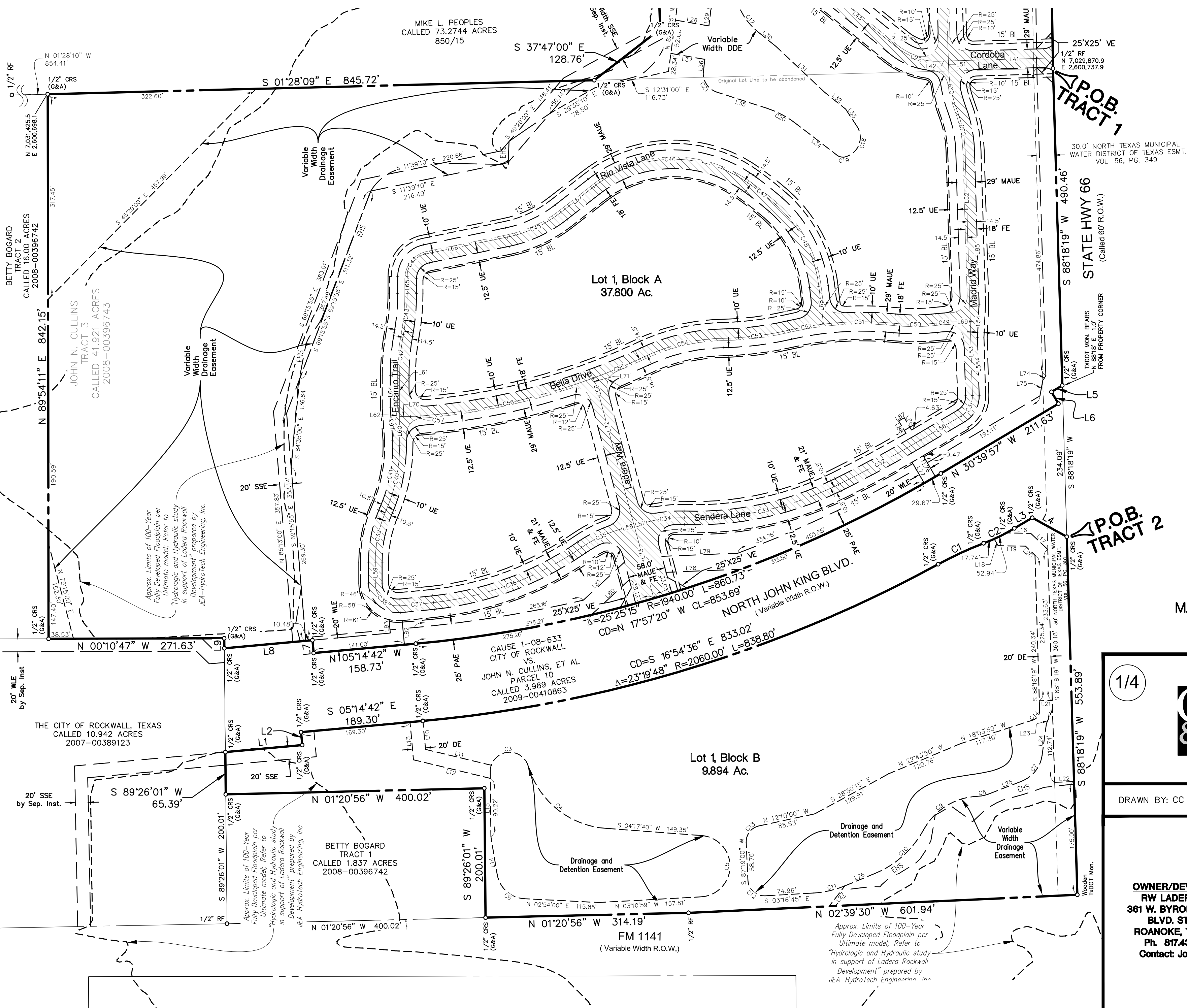
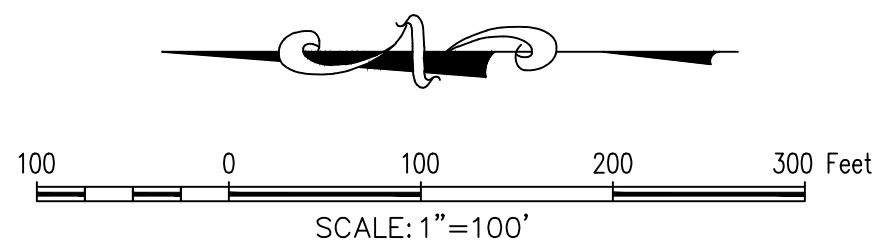
The John R. McAdams Company, Inc.  
 (DBA, G&A | McAdams)  
 111 Hillside Drive  
 Lewisville, Texas 75057  
 972. 436. 9712  
 201 Country View Drive  
 Roanoke, Texas 76262  
 940. 240. 1012  
 TBPE: 19762 TBPLS: 10194440  
 www.gacon.com  
 www.mcadamsco.com

DRAWN BY: CC DATE: 3/6/2019 SCALE: 1"=100' JOB. No. 17191

**OWNER/DEVELOPER**  
**RW LADERA, LLC.**  
**361 W. BYRON NELSON**  
**BLVD. STE. 104**  
**ROANOKE, TX 76262**  
**Ph. 817.430.3318**  
**Contact: John Delin**

**Case No. P2017-068**





LEGEND

RF	=	REBAR FOUND
CRS	=	CAPPED REBAR SET
CRF	=	CAPPED REBAR FOUND
BL	=	BUILDING LINE
UE	=	UTILITY EASEMENT
P.O.B.	=	POINT OF BEGINNING
MAE	=	MUTUAL ACCESS EASEMENT
MAUE	=	MUTUAL ACCESS & UTILITY EASEMENT
SSE	=	SANITARY SEWER EASEMENT
LS	=	LANDSCAPE
DDE	=	DRAINAGE & DETENTION EASEMENT
EHS	=	EROSION HAZARDOUS SETBACK
VE	=	VISIBILITY EASEMENT
FE	=	FIRELANE EASEMENT
PAE	=	PEDESTRIAN ACCESS EASEMENT

**FINAL PLAT**  
**Lot 1, Block A &**  
**Lot 1, Block B**  
**LADERA ROCKWALL**  
**47.694 Acres**  
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**M. JONES SURVEY, ABSTRACT NO. 122**  
**CITY OF ROCKWALL**  
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1/4



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Fig.: Z:\2017\17191\Drawings\FP & Const Plans\17191\_FP\_BA5E  
Plotlet: 3/12/2019 7:24 AM by Duval, Michael; Saved: 3/11/2019 9:02 AM by cde

LEGAL DESCRIPTION  
LOT 1, BLOCK A  
TRACT 1

BEING all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch rebar found at the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

THENCE S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

THENCE Northwesterly with the east line of said 3.989 acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

THENCE N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

THENCE N 00°10'47" W, with the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

THENCE N 89°54'11" E, with the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744 acre tract;

THENCE S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

THENCE over, across, and through said 73.2744 acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

THENCE S 89°18'14" W, with the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the POINT OF BEGINNING and containing approximately 37.800 acres of land.

LEGAL DESCRIPTION  
LOT 1, BLOCK B  
TRACT 2

BEING all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet;

THENCE S 88°18'19" W, a distance of 553.89 feet with the north line of U. S. Highway 66, to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

THENCE N 02°39'30" W, a distance of 601.94 feet with the east line of F. M. 1141, to a 1/2 inch rebar found;

THENCE N 01°20'56" W, a distance of 314.19 feet continuing with the east line of F. M. 1141, to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

THENCE N 89°26'01" E, a distance of 200.01 feet with the south line of said 1.837 acre tract, to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

THENCE N 01°20'56" W, a distance of 400.02 feet with the east line of said 1.837 acre tract, to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

THENCE N 89°26'01" E, a distance of 65.39 feet with the south line of said 10.942 acre tract, to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

THENCE Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 28°49'11" W, a distance of 60.93 feet to the POINT OF BEGINNIGN and containing approximately 9.894 acres of land.

STATE OF TEXAS :  
COUNTY OF DENTON : WHEREAS We, RW Ladera, LLC, are the owners of the hereinabove described property, and, acting by and through our duly authorized representative, do hereby adopt this Final Plat designating the same as Ladera Rockwall, an addition to the City of Rockwall, and do hereby dedicate to the public use forever by fee simple title, free and clear of all liens and encumbrances, all streets, thoroughfares, alleys, parks, trails, water courses, storm drainage facilities, easements, rights-of-way and public places, "and any other property necessary to serve the plat and to implement the requirements of the Subdivision Ordinance and Design Criteria thereon shown" for the purpose and consideration therein expressed.

WITNESS OUR HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

John Delin, Authorized Representative

STATE OF TEXAS :  
COUNTY OF DENTON : BEFORE ME, THE UNDERSIGNED AUTHORITY personally appeared John Delin, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Notary Public

My LINE TABLE expires the _____ day _____, 20____.			LINE TABLE			LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 05°14'42" E	119.42'	L23	S 66°45'40" E	23.94'	L45	N 35°00'00" W	226.11'	L67	S 37°59'40" E	64.63'
L2	N 84°45'18" E	20.00'	L24	S 82°22'00" E	49.46'	L46	S 35°00'00" E	48.77'	L68	S 83°05'06" W	58.72'
L3	S 30°39'57" E	32.25'	L25	S 21°12'10" E	55.37'	L47	N 01°41'40" W	33.34'	L69	S 01°41'40" E	32.68'
L4	S 28°49'11" W	60.93'	L26	S 22°26'45" E	50.94'	L48	N 55°00'00" E	24.21'	L70	S 00°00'00" E	16.98'
L5	N 30°39'57" W	19.44'	L27	N 52°16'25" W	40.00'	L49	S 88°18'20" W	114.19'	L71	N 69°46'00" E	10.99'
L6	S 59°20'03" W	21.30'	L28	N 10°00'00" E	52.75'	L50	S 88°18'20" W	243.58'	L72	N 74°55'30" E	207.70'
L7	N 84°45'18" E	20.00'	L29	N 83°02'15" W	23.90'	L51	S 88°18'20" W	10.39'	L73	N 74°55'30" E	116.59'
L8	N 05°14'42" W	136.88'	L30	N 38°50'30" E	35.47'	L52	S 88°18'20" W	262.85'	L74	S 57°15'50" E	8.84'
L9	N 89°26'01" E	15.52'	L31	N 43°17'40" E	103.29'	L53	S 88°18'20" W	114.67'	L75	N 79°45'20" W	24.17'
L10	S 84°45'30" W	44.16'	L32	N 38°46'42" E	41.90'	L54	S 87°14'00" E	51.43'	L76	N 59°37'10" E	37.50'
L11	S 13°33'50" W	104.66'	L33	N 56°35'00" E	32.01'	L55	S 88°18'20" W	89.61'	L77	N 59°37'10" E	37.50'
L12	S 13°33'50" W	122.24'	L34	S 37°33'50" W	80.00'	L56	N 30°39'55" W	72.41'	L78	N 02°20'15" W	115.92'
L13	S 84°45'30" W	58.48'	L35	S 17°53'30" W	81.24'	L57	N 15°04'30" W	20.00'	L79	N 02°20'15" W	117.56'
L14	N 80°32'08" E	59.21'	L36	N 83°02'15" W	18.50'	L58	N 15°04'30" W	20.00'	L80	S 42°49'10" E	80.16'
L15	N 89°26'01" E	100.40'	L37	S 10°00'00" W	53.40'	L59	N 90°00'00" E	32.61'	L81	S 42°49'10" E	86.72'
L16	S 00°57'10" W	37.69'	L38	S 00°49'43" E	5.95'	L60	N 90°00'00" E	45.27'	L82	S 84°45'18" W	37.58'
L17	S 43°18'20" W	36.30'	L39	N 88°18'20" E	20.00'	L61	N 90°00'00" E	62.99'	L83	N 84°45'18" E	20.70'
L18	S 59°37'10" W	12.24'	L40	S 00°49'43" E	25.65'	L62	N 81°52'00" W	50.52'	L84	N 28°43'46" W	25.65'
L19	S 00°57'10" W	42.23'	L41	N 01°41'40" W	161.58'	L63	N 85°35'40" E	50.16'	L85	S 88°18'20" W	236.64'
L20	S 43°18'20" W	20.27'	L42	S 01°41'40" E	14.97'	L64	N 90°00'00" E	49.86'	L8		
L21	S 01°41'41" E	20.00'	L43	S 38°56'48" W	153.58'	L65	N 90°00'00" E	26.24'	L8		
L22	S 01°41'41" E	30.00'	L44	S 88°18'20" W	175.59'	L66	S 11°39'10" E	129.43'	L8		

CURVE TABLE					CURVE TABLE				
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	LONG CHORD	CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	LONG CHORD
C1	586.00'	7°34'10"	77.42'	N 24°47'26" W, 77.36'	C31	35.50'	61°01'45"	37.81'	S 61°10'48" E, 36.05'
C2	314.00'	9°39'36"	52.94'	S 25°50'09" E, 52.88'	C32	1879.50'	4°26'24"	145.64'	S 28°26'43" E, 145.61'
C3	30.00'	164°03'56"	85.90'	S 08°32'01" E, 59.42'	C33	500.00'	28°07'41"	245.46'	S 12°09'41" E, 243.01'
C4	135.00'	69°12'17"	163.06'	S 38°53'48" W, 153.33'	C34	200.00'	16°58'40"	59.26'	S 06°35'10" E, 59.05'
C5	47.50'	172°31'21"	143.03'	N 89°26'40" W, 94.80'	C35	200.00'	19°31'14"	68.14'	N 24°50'07" W, 67.81'
C6	45.00'	77°38'09"	60.97'	N 41°43'04" E, 56.42'	C36	500.00'	28°20'27"	247.32'	S 20°25'30" E, 244.81'
C7	50.00'	61°09'50"	53.38'	S 51°47'05" E, 50.88'	C37	1879.50'	1°36'03"	52.51'	S 05°27'15" E, 52.51'
C8	50.00'	19°05'33"	16.66'	S 11°39'24" E, 16.58'	C38	35.00'	94°39'14"	57.82'	S 42°40'23" W, 51.47'
C9	100.00'	59°20'39"	103.58'	N 31°46'57" W, 99.01'	C39	200.00'	23°36'06"	82.38'	N 78°11'57" W, 81.80'
C10	150.00'	39°00'32"	102.12'	S 41°57'01" E, 100.16'	C40	250.00'	23°36'06"	102.98'	S 78°11'57" E, 102.25'
C11	150.00'	19°09'59"	50.18'	S 12°51'45" E, 49.94'	C41	239.50'	25°36'32"	170.05'	S 79°12'10" E, 106.16'
C12	25.00'	90°35'45"	39.53'	S 42°01'07" W, 35.54'	C42	350.00'	10°27'46"	63.91'	N 84°46'07" W, 63.82'
C13	25.00'	80°31'00"	35.13'	N 52°25'30" W, 32.31'	C43	350.00'	10°27'46"	63.91'	S 84°46'07" E, 63.82'
C14	15.00'	73°37'51"	19.28'	N 54°52'45" W, 17.98'	C44	35.50'	78°20'50"	48.54'	N 50°49'35" W, 44.85'
C15	50.00'	17°02'00"	14.86'	N 74°31'15" W, 14.81'	C45	200.00'	26°20'30"	91.95'	S 24°49'25" E, 91.14'
C16	20.00'	137°10'12"	47.88'	N 02°34'51" E, 37.24'	C46	200.00'	73°03'00"	254.99'	N 01°28'10" W, 238.07'
C17	100.00'	32°19'27"	56.42'	S 55°00'14" W, 55.67'	C47	514.50'	6°07'37"	55.02'	N 38°07'09" E, 54.99'
C18	31.00'	108°46'23"	58.85'	S 69°01'49" E, 50.40'	C48	200.00'	41°54'09"	146.27'	N 62°08'02" E, 143.03'
C19	15.00'	52°12'27"	13.67'	S 11°27'36" W, 13.20'	C49	300.00'	4°45'57"	24.95'	N 04°04'39" W, 24.95'
C20	150.00'	19°40'20"	51.50'	N 27°43'40" E, 51.25'	C50	300.00'	12°13'03"	63.97'	S 00°21'06" E, 63.85'
C21	30.00'	79°04'15"	41.40'	S 57°25'37" W, 38.19'	C51	500.00'	12°40'20"	110.59'	N 00°34'44" W, 110.36'
C22	100.00'	40°38'28"	70.93'	S 18°37'34" W, 69.45'	C52	500.00'	6°06'27"	53.30'	N 09°58'07" W, 53.27'
C23	100.00'	49°21'32"	86.15'	S 63°37'34" W, 83.51'	C53	500.00'	11°53'17"	103.74'	S 07°04'43" E, 103.56'
C24	39.50'	56°41'40"	39.09'	N 63°20'50" W, 37.51'	C54	300.00'	24°01'25"	125.79'	N 13°08'47" W, 124.87'
C25	100.00'	33°18'20"	58.13'	N 18°20'50" W, 57.31'	C55	1000.00'	4°55'30"	85.96'	S 22°41'45" E, 85.93'
C26	100.00'	33°18'20"	58.13'	N 71°39'10" E, 57.31'	C56	1000.00'	15°41'26"	273.85'	S 12°23'17" E, 273.00'
C27	500.00'	5°43'55"	50.02'	S 88°49'42" E, 50.00'	C57	200.00'	4°32'34"	15.86'	S 02°16'17" E, 15.85'
C28	500.00'	5°43'55"	50.02'	N 88°49'42" W, 50.00'	C58	200.00'	5°09'30"	18.01'	N 72°20'45" E, 18.00'
C29	200.00'	19°01'01"	66.38'	S 78°47'50" W, 66.08'					
C30	200.00'	19°01'01"	66.38'	N 78°47'50" E, 66.08'					

- NOTES:
- Bearings based on Texas Coordinate System, North Central Zone (4202), NAD '83.
  - The coordinates shown at the Northeast and Southeast corners are expressed in NAD83 North Central Tx 4202.
  - Surveyor has made no investigation or independent search for easement of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate abstract of title may disclose.
  - No flood zone area analysis has been performed on the subject property G&A Consultants.
  - All property corners are 1/2" rebar set with cap stamped "G&A I MCADAMS", unless otherwise noted.
  - Refer to Typical Street Section for fire lane information.
  - HOA is responsible for all maintenance, repair, and replacement for all systems in drainage and detention easements.
  - HOA is to maintain flood plain/ drainage easement.

Recommended for Preliminary Approval

\_\_\_\_\_  
Chairman, Planning & Zoning Commission

\_\_\_\_\_  
Date

Approved for preparation of Final Plat

\_\_\_\_\_  
Mayor, City of Rockwall, Texas

\_\_\_\_\_  
Date

SURVEYOR'S STATEMENT

I, W. Thad Murley III, a Registered Professional Land Surveyor in the State of Texas, have prepared this plat of the above property from an actual survey on the ground, and this plat represents that survey made by me or under my supervision.

\_\_\_\_\_  
W. Thad Murley III  
Texas Registration No. 5802

**FINAL PLAT**  
**Lot 1, Block A &**  
**Lot 1, Block B**  
**LADERA ROCKWALL**  
**47.694 Acres**  
**Zoned: PD-85**  
**in the**  
**M. JONES SURVEY, ABSTRACT NO. 122**  
**CITY OF ROCKWALL**  
**ROCKWALL COUNTY, TEXAS**

3/4



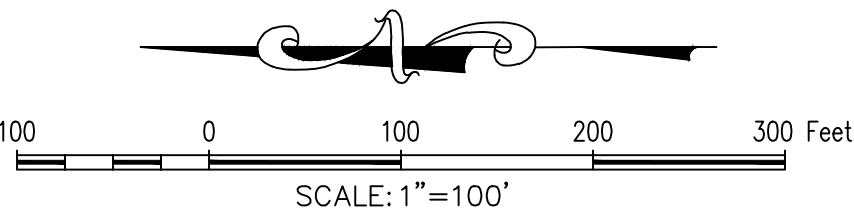
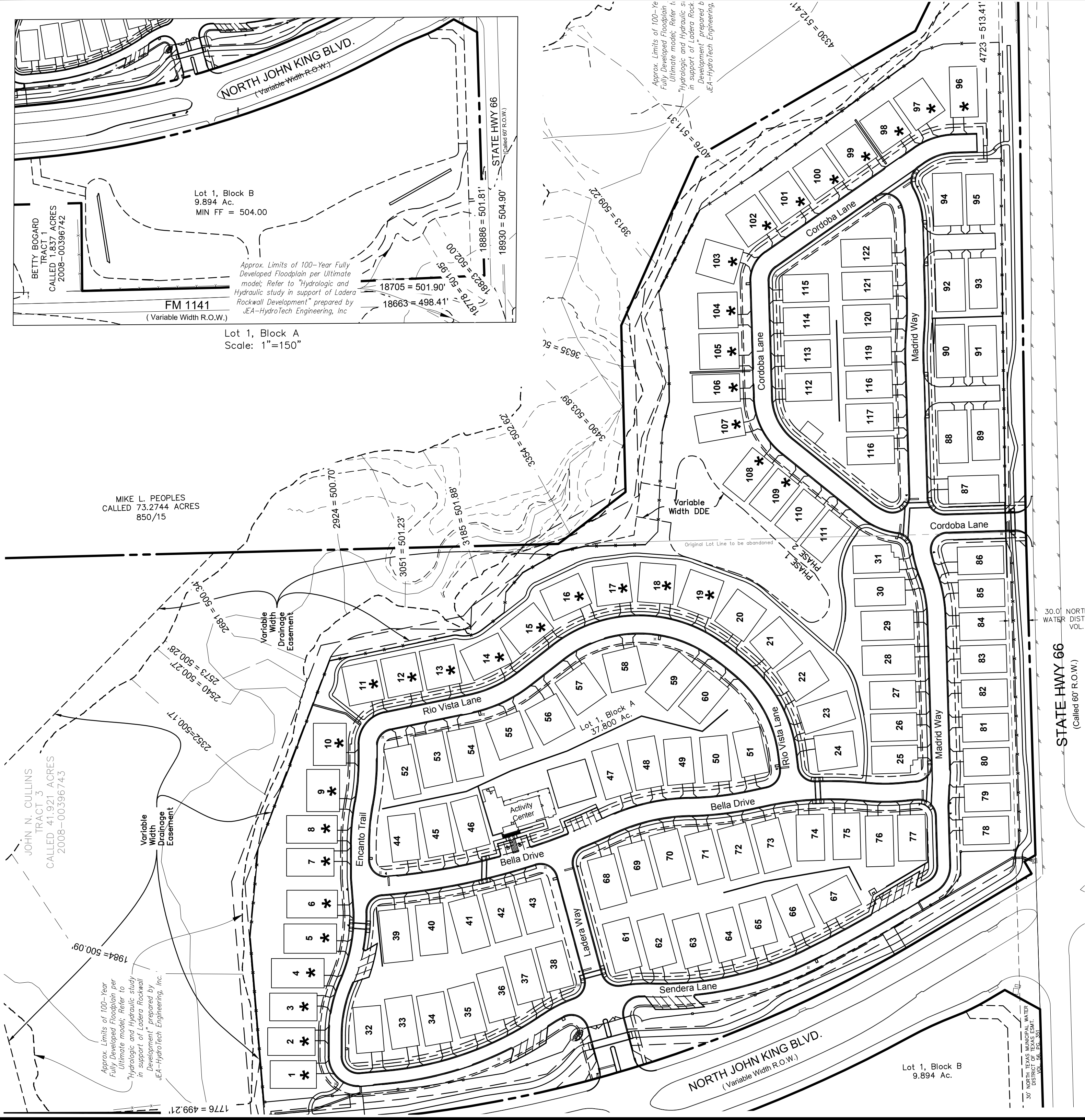
The John R. McAdams  
Company, Inc.  
(DBA, G&A | McAdams)  
111 Hillside Drive  
Lewisville, Texas 75057  
972. 436. 9712  
201 Country View Drive  
Roanoke, Texas 76262  
940. 240. 1012  
TBPE: 19762 TBPLS: 10194440  
www.gacon.com  
www.mcadamsco.com

DRAWN BY: CC    DATE: 3/6/2019    SCALE: N.T.S.    JOB. No. **17191**

**OWNER/DEVELOPER**  
**RW LADERA, LLC.**  
**361 W. BYRON NELSON**  
**BLVD. STE. 104**  
**ROANOKE, TX 76262**  
**Ph. 817.430.3318**  
**Contact: John Delin**

**Case No. P2017-068**





GENERAL NOTE:

1. FOR MORE INFORMATION ON THE CROSS SECTIONS FOR THE ULTIMATE 100 YR FLOODPLAIN REFER TO "HYDROLOGIC AND HYDRAULIC STUDY IN SUPPORT OF LADERA ROCKWALL DEVELOPMENT" PREPARED BY JEA-HYDROTECH ENGINEERING, INC.

* UNIT #	BFE	MIN FF	UNIT #	BFE	MIN FF
1	499.21	501.21	96	513.41	515.41
2	499.75	501.75	97	513.00	515.00
3	500.00	502.00	98	512.41	514.41
4	500.09	502.09	99	512.20	514.20
5	500.12	502.12	100	511.80	513.80
6	500.14	502.14	101	511.50	513.50
7	500.16	502.16	102	511.31	513.31
8	500.17	502.17	103	510.50	512.50
9	500.23	502.23	104	509.22	511.22
10	500.27	502.27	105	507.00	509.00
11	500.70	502.70	106	505.61	507.61
12	501.23	503.23	107	503.89	505.89
13	501.40	503.40	108	503.89	505.89
14	501.88	503.88	109	503.89	505.89
15	502.25	504.25	Lot 1, B	502.00	504.00
16	502.62	504.62			
17	503.00	505.00			
18	503.00	505.00			
19	503.00	505.00			

UNIT EXHIBIT  
Lot 1, Block A &  
Lot 1, Block B  
LADERA ROCKWALL  
47.694 Acres  
Zoned: PD-85  
in the  
M. JONES SURVEY, ABSTRACT NO. 122  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

4/4



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TBPE: 19762 TBPLS: 10194440  
www.gacon.com  
www.mcadamscsco.com

DRAWN BY: MD DATE: 02/20/2019 SCALE: 1"=100' JOB. No. 17191

OWNER/DEVELOPER  
RW LADERA, LLC.  
361 W. BYRON NELSON  
BLVD. STE. 104  
ROANOKE, TX 76262  
Ph. 817.430.3318  
Contact: John Dellin

Case No. P2017-068



3/22/2019

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	P2019-013	<b>Owner</b>	RIJU, LTD PARTNERSHIP A TEXAS LTD P	<b>Applied</b>	3/15/2019	LM
<b>Project Name</b>	Lot 3,4 & 5, Richard Harris Subdivision No.	<b>Applicant</b>	DEAN CATHEY CUSTOM HOMES, INC.	<b>Approved</b>		
<b>Type</b>	PLAT			<b>Closed</b>		
<b>Subtype</b>	REPLAT			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
705 HARTMAN ST	ROCKWALL, TX 75087	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
RICHARD HARRIS 3	2	A	2	3836-000A-0002-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/15/2019	3/22/2019	3/19/2019	4	APPROVED	
ENGINEERING (3/22/2019 12:06 PM SH) - Add note, "4. Property owner is responsible for all maintenance, repair, and reconstruction of drainage and detention systems."  The following is for your information for design - Construct 8" water line with a fire hydrant at the end. OR connect to 12" water line under Washington. Fire hydrant required. - Engineering and impact fees apply - Must get private sewer easement to connect to sewer line at the back of property across Nash. City needs a copy of the filing information.	Sarah Hager	3/15/2019	3/22/2019	3/22/2019	7	COMMENTS	
FIRE	Ariana Hargrove	3/15/2019	3/22/2019				
GIS (3/20/2019 8:24 AM LS) Address assignments will be: Lot 3 - 210 S Nash St (note : Steet renaming currently in progress to become Seth Ln) (75087) Lot 4 - 707 Hartman St (75087) Lot 5 - 705 Hartman St (75087)	Lance Singleton	3/15/2019	3/22/2019	3/20/2019	5	APPROVED	See comments
PLANNING	Korey Brooks	3/15/2019	3/22/2019	3/21/2019	6	COMMENTS	Comments

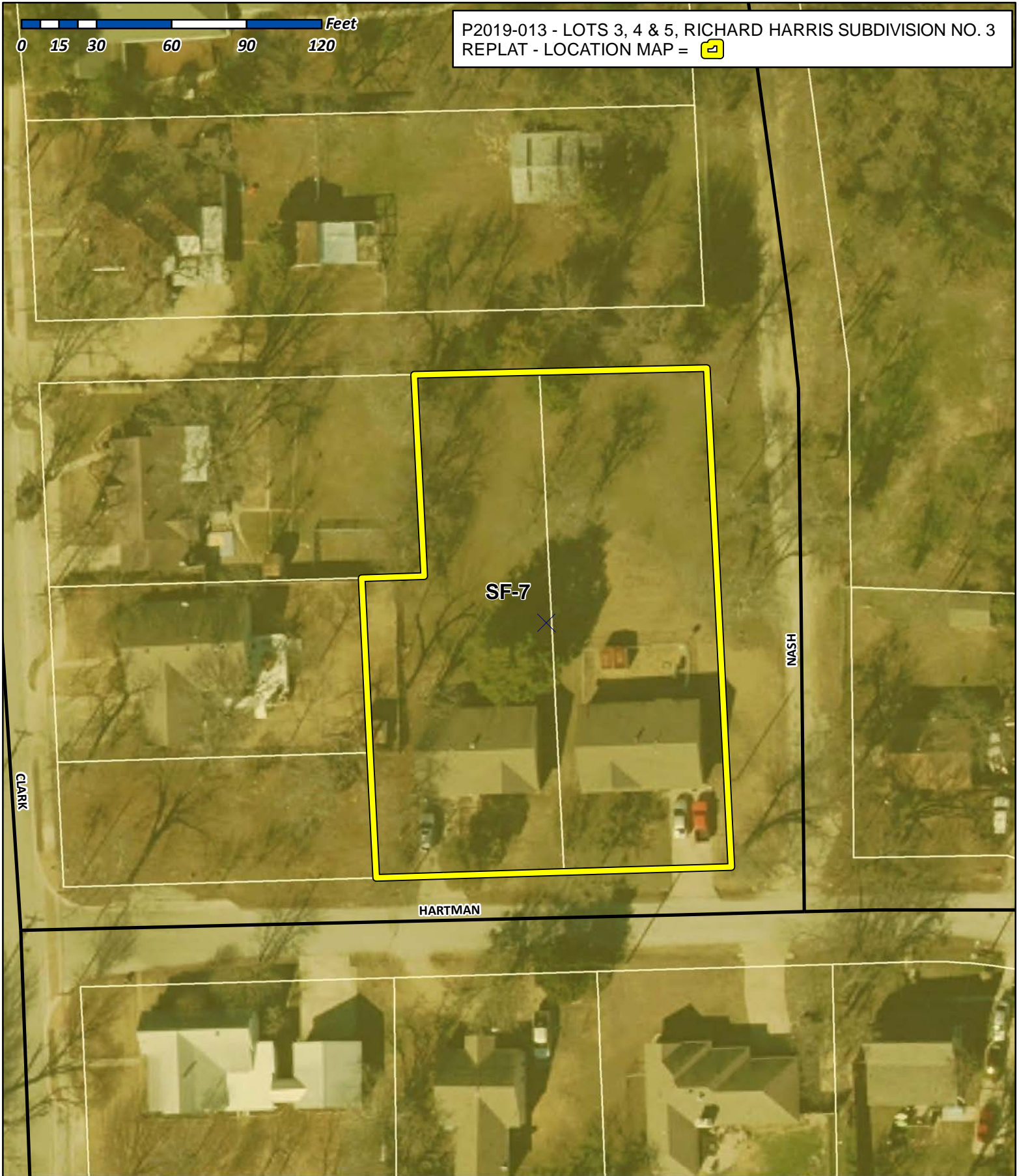


Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>P2019-013 Lots 3, 4, &amp; 5, Block A, Richard Harris Subdivision No. 3 Addition</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This is a request by Dean Cathey of Dean Cathey Custom Homes, Inc. for the approval of a replat for Lots 3, 4 &amp; 5, Block A, Richard Harris Subdivision No. 3 Addition being a 0.57-acre tract of land identified as Lots 1 &amp; 2, Block A, Richard Harris Subdivision No. 3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 705 &amp; 707 Hartman Street..</p> <p>I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (P2019-013) in the lower right hand corner of all pages on future submittals.</p> <p>M.4 Please add "Addition" to subdivision name in title block and legal description.</p> <p>M.5 Please note, the numbers in the callouts are not clear.</p> <p>M.6 Please note, the callout to the west of Lot 5 does not match the dedication language. The callout says ...E 134.77' and the legal description says W.</p> <p>I.6 The Planning and Zoning Worksession for this case is March 26, 2019. The Park Bpard Meeting for this case is April 2. The Planning and Zoning Commission Meeting for this case is April 9. The City Council Meeting is April 15.</p> <p>M.7 Please submit revisions by April 2, 2019.</p>						



0 15 30 60 90 120 Feet

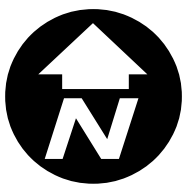
P2019-013 - LOTS 3, 4 & 5, RICHARD HARRIS SUBDIVISION NO. 3  
REPLAT - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



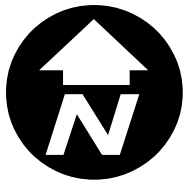




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** P2019-013  
**Case Name:** Lots 3,4 & 5, Block A, Richard Harris Subdivision Addition No. 3  
**Case Type:** Replat  
**Zoning:** Single Family 7 (SF-7 ) District  
**Case Address:** 705 & 707 Hartman Street

**Date Created:** 3/18/2019

**For Questions on this Case Call** (972) 771-7745





CURRENT RESIDENT  
201 S CLARK ST  
ROCKWALL, TX 75087

HENRY AMANDA A  
205 S CLARK  
ROCKWALL, TX 75087

CURRENT RESIDENT  
206 S CLARK ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
207 S NASH ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
208 S CLARK ST  
ROCKWALL, TX 75087

LEFERE KEVIN M AND  
AMANDA HENRY  
209 S CLARK ST  
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP, A TEXAS LTD  
PARTNERSHIP  
210 GLENN AVE  
ROCKWALL, TX 75087

CURRENT RESIDENT  
210 S CLARK ST  
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID  
211 S CLARK ST  
ROCKWALL, TX 75087

ZAKEM KYNSIE JO  
212 S CLARK ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
213 S CLARK ST  
ROCKWALL, TX 75087

SIMPSON MELISSA HUFFAKER  
214 S CLARK ST  
ROCKWALL, TX 75087

CAUBLE LINDA  
301 S CLARK ST  
ROCKWALL, TX 75087

BURGESS JULIA ANN  
302 S CLARK ST  
ROCKWALL, TX 75087

KOCH JEAN  
3720 MEDITERRANEAN  
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI  
508 HIGHVIEW  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
608 E WASHINGTON  
ROCKWALL, TX 75087

CURRENT RESIDENT  
705 HARTMAN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
706 HARTMAN ST  
ROCKWALL, TX 75087

SHELTON HEATHER  
708 HARTMAN ST  
ROCKWALL, TX 75087

CURRENT RESIDENT  
709-711 HARTMAN ST  
ROCKWALL, TX 75087

RENDON MARCELINO J JR  
710 HARTMAN ST  
ROCKWALL, TX 75087

ANDERSON TREVOR  
711 HARTMAN ST  
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN  
712 HARTMAN ST  
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE  
8718 CLEARLAKE DR  
ROWLETT, TX 75088





- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."



OWNER'S CERTIFICATE  
(Public Dedication)  
STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS, RIJU LTD PARTNERSHIP, Being the owners of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of Lots 1 & 2, Block A, Richard Harris Subdivision, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet B, Slide 44 of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the west right-of-way of Nash Street, a variable width right-of-way, and in the south right-of-way line of a 30 foot alley and being at the northeast corner of Lot 1, Block A;

THENCE S. 00 deg. 12 min. 03 sec. W. along the west right-of-way line of Nash Street, a distance of 195.68 feet to 1/2" iron rod found for corner in the north right-of-way line of Hartman Street;

THENCE N. 90 deg. 00 min. 00 sec. W. along the north right-of-way line of Hartman Street, a distance of 130.09 feet to 1/2" iron rod found for corner at the southwest corner of Lot 2, Block A;

THENCE N. 00 deg. 05 min. 31 sec. W. along the west line of said Lot 2, a distance of 134.77 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 59 min. 04 sec. E. a distance of 10.20 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 00 min. 17 sec. E. a distance of 63.60 feet to a 1/2" iron rod found for corner in the south right-of-way line of a 30 foot alley;

THENCE S. 88 deg. 43 min. 10 sec. E. a distance of 120.38 feet to the POINT OF BEGINNING and containing 25,036 square feet or 0.57 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as RICHARD HARRIS SUBDIVISION NO. 3, LOTS 3, 4 & 5, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or  
Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

RICHARD HARRIS  
FOR RIJU LTD PARTNERSHIP

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared RICHARD HARRIS known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.  
Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission      Date \_\_\_\_\_

APPROVED

I hereby certify that the above and foregoing plat of RICHARD HARRIS SUBDIVISION NO. 3, LOTS 3, 4 & 5, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_.

Mayor, City of Rockwall

City Secretary City of Rockwall

City Engineer

Date

FINAL PLAT  
**RICHARD HARRIS  
SUBDIVISION NO. 3  
LOTS 3, 4 & 5, BLOCK A**  
BEING A REPLAT OF LOTS 1 & 2  
BLOCK A  
RICHARD HARRIS SUBDIVISION NO. 3  
0.57 ACRES OR 25,036 S.F.  
( 3 LOTS )  
B.F. BOYDSTUN SURVEY, A-14  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

SYMBOL LEGEND									
TV TELEVISION CABLE RISER	GAS GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	FP POWER POLE	1/2" IRON ROD FOUND CORNER	1/2" IRON ROD FOUND CORNER	1/2" IRON ROD FOUND CORNER	1/2" IRON ROD FOUND CORNER	1/2" IRON ROD FOUND CORNER
ELEC ELECTRIC METER	ELEC ELECTRIC BOX	WV WATER METER	LP LIGHT POLE	LP LIGHT POLE	LP LIGHT POLE	LP LIGHT POLE	LP LIGHT POLE	LP LIGHT POLE	LP LIGHT POLE
—X— FENCE	— EASEMENT LINE	— EASEMENT LINE	— EASEMENT LINE	— EASEMENT LINE	— EASEMENT LINE	— EASEMENT LINE	— EASEMENT LINE	— EASEMENT LINE	— EASEMENT LINE

OWNER:  
RIJU LTD PARTNERSHIP  
210 GLENN AVENUE  
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE MARCH 14, 2019  
SCALE 1" = 30'  
CLIENT RIJU, LTD

CITY CASE NO P2019-

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.



3/22/2019

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	SP2019-006	<b>Owner</b>	EXCEL, ROCKWALL LLC	<b>Applied</b>	2/27/2019	LM
<b>Project Name</b>	Plaza at Rockwall	<b>Applicant</b>	KIMLEY-HORN	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>	AMENDING			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
1041 E INTERSTATE 30	Rockwall, TX 75032	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
ROCKWALL BUSINESS PARK EAST	11		11	4831-0000-0011-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	2/27/2019	3/6/2019	3/19/2019	20	APPROVED	
ENGINEERING (3/21/2019 4:29 PM SH) - 4% Engineering Fees - Impact Fees - Must replat to remove easements. - Walls 3' and over must be designed by an engineer. All retaining walls must be rock or stone face. No smooth concrete walls. - Show all utility relocations. - Where are you tying in the domestic meter? - Min 20' wide easements. - Must match existing drainage basins for Lot 10. - Dumpster to drain to an oil/water separator before going to the storm lines. - Include tree mitigation for trees in the breeze way. - Where the existing curbs are being cut, the cut must be 2' into the paving to prevent chipping later. - 3000psi (5.5 sack mix) 3600psi (6.5 sack mix) Rebar for concrete? - Must meet all City Standards of Design and Construction. - Note 4. on the landscape sheet should read, "No trees within 5' of utilities" - See mark up	Sarah Hager	2/27/2019	3/6/2019	3/21/2019	22	COMMENTS	
FIRE	Kevin Clark	2/27/2019	3/6/2019	3/22/2019	23	COMMENTS	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
<p>(3/22/2019 1:21 PM KC)</p> <p>Fire sprinkler protection required for all buildings exceeding 5,000ft2, A2 Occupancies with an occupant load over 99, occupancy used for the manufacture and/or storage of upholstered furniture or mattresses exceeds 2,500 ft2.</p> <p>Size and location of the underground water line servicing the fire sprinkler system shall be indicated on the plans.</p> <p>The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.</p> <p>Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.</p> <p>Exceptions:</p> <p>(i) For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet.</p> <p>(ii) For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet.</p> <p>Fire alarm sprinkler monitoring will be required for sprinkler system in shell building. Full fire alarm may be required depending on tenant and use of their space.</p>							
GIS	Lance Singleton	2/27/2019	3/6/2019	3/20/2019	21	APPROVED	See comments
<p>(3/20/2019 8:41 AM LS)</p> <p>Address assignment will be:</p> <p>1041 E INTERSTATE 30, ROCKWALL, TX 75032</p> <p>All suites should follow a #110,120,130 or similar scheme. No letters.</p>							
PLANNING	Korey Brooks	2/27/2019	3/6/2019	3/21/2019	22	COMMENTS	Comments

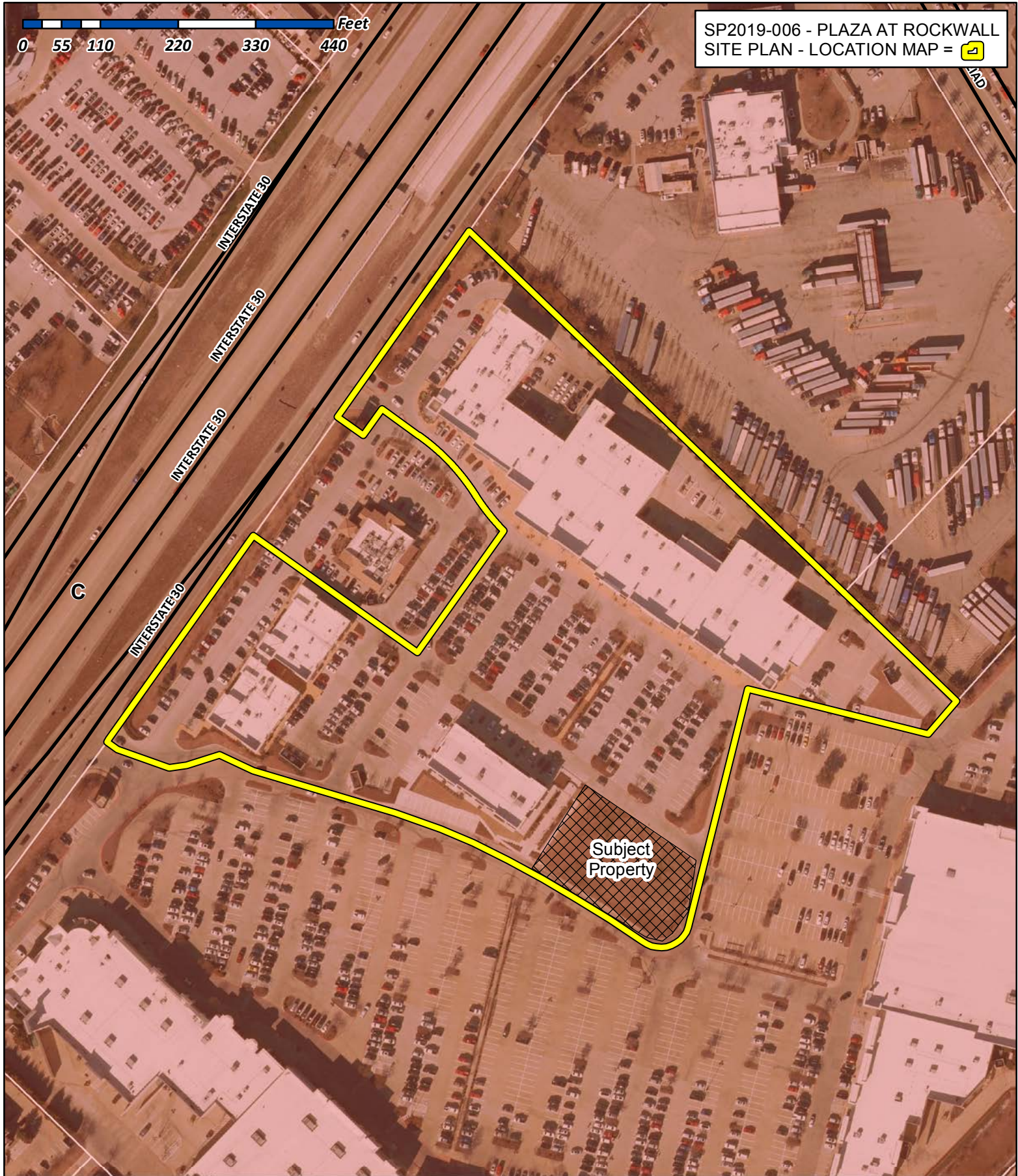


Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-006 Site Plan for Rockwall Plaza: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
<ol style="list-style-type: none"> <li>1. This is a request by Marla Mauricio of Kimley-Horn and Associates, Inc. on behalf of Steve Russell of Excel Rockwall, LLC (ShopCore Properties, LLC) for the approval of a site plan for a commercial retail building on a 0.69-acre portion of a larger 11.125-acre parcel of land being identified as Lot 11, Block A, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1041 E. IH-30</li> <li>2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</li> <li>3. For reference, include the case number (SP2019-006) in the lower right hand corner of all pages on future submittals.</li> <li>4. Site Plan. Please indicate patio on site plan and use a different line-weight. It appears to be an extension of the building as drawn.</li> <li>5. Site Plan. Please dimension the projections (length and width).</li> <li>6. Site Plan. Please note, this will need a variance to horizontal articulation in order to match existing buildings.</li> <li>7. Site Plan. Please provide note that the dumpster enclosure shall be 8-feet tall, constructed of same masonry as the building, and have a self-latching opaque gate.</li> <li>8. Site Plan. The site plan seems to show two retaining walls within close proximity. What is the distance between the two walls and how will that area be maintained?</li> <li>9. Site Plan. Is it possible to provide some type of beautification to the alley between the buildings (since that area was originally supposed to be a park)? Previous variances were approved due to the agreement of the park area.</li> <li>10. Site Plan. Please change "Property Description" table to Site Data Table and provide on each sheet—Also, please provide the additional highlighted information. The lower left corner of the title block of each sheet should be the project information.</li> <li>11. Site Plan. Please try to show more of the adjacent properties (in greyscale) and label.</li> <li>12. Landscape Plan. Please provide the proposed park area v.s. existing approved park area and list any amenities above and beyond the approved plan.</li> <li>13. Landscape Plan. Please provide site data table as shown on site plan.</li> <li>14. Landscape Plan. Please try to show more of the adjacent properties (in greyscale) and label.</li> <li>15. Landscape Plan. Will there be any fencing on the patio and park areas?</li> <li>16. Floor Plan. Please note that the floor plan is not reviewed during this phase so it does not need to be provided.</li> <li>17. Building Elevations. Please provide site data table.</li> <li>18. Building Elevations. Please subtract the windows from the exterior building material percentages.</li> <li>19. Building Elevations. Please indicate roof-mounted equipment and indicate how it will be screened.</li> <li>20. Building Elevations. Is the "textured concrete" stucco? If so, please indicate. Also, will this be a tilt-up wall? This requires a variance.</li> <li>21. Building Elevations. Please match existing building with regard to exterior building materials (it appears that you are matching, based on your legend).</li> <li>22. Building Elevations. Please note that this will need a variance to vertical articulation.</li> <li>23. Building Elevations. Please provide a sheet showing the dumpster enclosure elevations.</li> <li>24. A rendering of the park would be very helpful since it deviates substantially from the approved park.</li> <li>25. Photometric Plans. Please provide cut sheets for fixtures. Also will the fixtures be the same as on the adjacent building?</li> <li>26. The Architectural Review Board (ARB) meeting for this case will be held on March 26, 2019 at 5:00 p.m.</li> <li>27. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 2, 2019. The Planning and Zoning Worksession for this case will be March 26, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be April 9, 2019</li> </ol>						
Police Department	Police Department	3/22/2019	3/29/2019	3/22/2019	COMMENTS	Comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Considerations:						
<ul style="list-style-type: none"> <li>Bollards at or near the front of business to prevent a vehicle from intentionally or accidentally entering the front of the business. The bollards aesthetic(s) would be dictated by the business and city code(s).</li> <li>Assuming there are exterior receptacles (dumpsters and recycle) at the location. Receptacle Locations (Areas outside of the business) should be secured to prevent opportunities for criminal activity (Savaging). Prevention would include locking barriers (fencing) around receptacles and lighting to determine any criminals. The lower portion of fencing should be raised from the ground with enough clearance so that approaching employees would be capable of seeing if anyone is inside receptacle holding area prior to entering.</li> <li>Lighting around the rear of business should be within specifications dictated by city code and provide enough illumination to discourage anyone who does not have business at the location to leave the area.</li> <li>Soft, ground wash (Base of trees upward) lighting along rear tree lines to eliminate dark areas which could conceal someone.</li> </ul>						





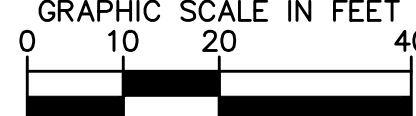
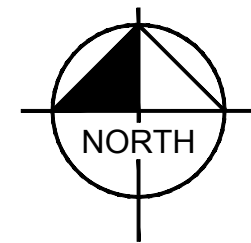
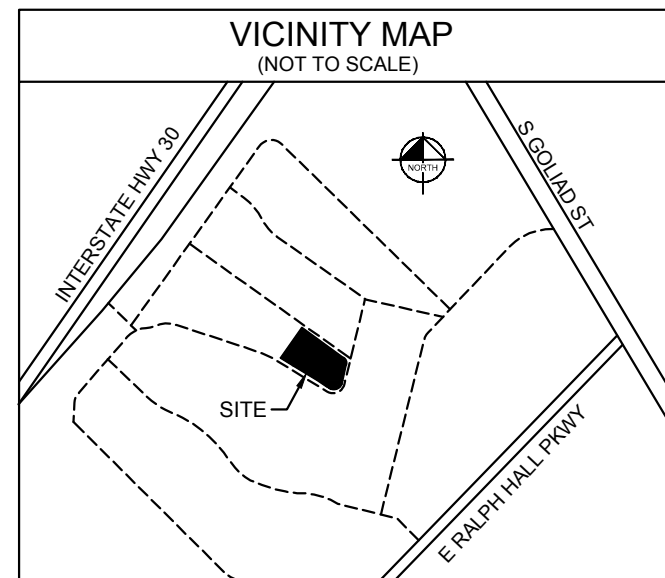
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







**LEGEND**

- PROPOSED SIDEWALK PAVEMENT  
(4" THICK / 3,000 PSI)
- PROPOSED CONCRETE PAVEMENT  
(6" THICK / 3,600 PSI)
- PROPOSED PAVERS  
REF. LSCP ARCH PLANS FOR DETAILS
- FULL DEPTH SAWCUT
- PARKING STALL COUNT
- WATER METER

SITE DATA	
CURRENT LAND USE	C - Commercial
PROPOSED LAND USE	C - Commercial
TOTAL LOT AREA	±30,200 SF
	±0.7 AC
SITE PERIMETER	±170 LF
BUILDING SQUARE FOOTAGE	9,835 SF
BUILDING HEIGHT	27.5 FT

1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADII DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADII ARE 2' UNLESS OTHERWISE NOTED.
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. PARKING STUDY IS NOT REQUIRED PER CITY OF ROCKWALL PER PRE-DEVELOPMENT MEETING ON 1/10/2019. ADDITIONAL PARKING IS NOT REQUIRED DUE TO SHOPPING CENTER BEING OVER PARKED.




## BENCHMARKS

**BM1#1** CITY OF ROCKWALL MOUNDMENT (RESET R005#-1) A CONCRETE MOUNDMENT WITH BRASS CAP FOUND IN THE CENTER MEDIAN OF SUMMIT RIDGE DRIVE AT ITS INTERSECTION WITH F.M. HWY. NO. 740. ELEV=576.83

**BM2#** SQUARE CURB "X" CUT SET ON THE WEST CORNER OF A CONCRETE CURB INLET LOCATED ON THE WESTSIDE SIDE OF A PARKING LOT APPROXIMATELY 40 FEET SOUTHWEST FROM THE CENTER OF THE EAST SOUTH SERVICE ROAD OF H 30 AND 270 FEET SOUTHWEST FROM THE CENTER OF THE NORTHERMOST ENTRANCE TO PLAZA OF ROCKWALL. ELEV=552.28

**BM3#** "X" CUT SET ON THE NORTHWEST CORNER OF A CONCRETE MEDIAN LOCATED ON THE SOUTH SIDE OF A ACCESS DRIVE, 4610 FEET SOUTHEAST FROM THE CENTER OF ENTRANCE DRIVE FROM THE EAST SOUTH SERVICE ROAD OF H 30 AND 4800 FEET NORTHWEST FROM THE CENTER ENTRANCE DRIVE FROM RALPH LAHL PARKWAY. ELEV=545.15

**BM4#** "X" CUT SET ON THE NORTHWEST CORNER OF A CONCRETE MEDIAN LOCATED ON THE EAST SIDE OF A ACCESS DRIVE, 4875 FEET SOUTHEAST FROM THE CENTER OF ENTRANCE DRIVE FROM THE EAST SOUTH SERVICE ROAD OF H 30 AND 4600 FEET NORTHWEST FROM THE CENTER ENTRANCE DRIVE FROM RALPH LAHL PARKWAY.



UTILITY  
CONTRACTOR IS TO VERIFY  
PRESENCE AND EXACT  
LOCATION OF ALL UTILITIES  
PRIOR TO CONSTRUCTION.

## DEVELOPER:

**H □ □ □ RE □ R □ □ ERTIE □**  
233 S. WACKER DR. SUITE 3400  
CHICAGO, IL 60606  
PH. (312) 798-5151  
CONTACT: STEVE RUSSELL

CASE NUMBER: SP2019-XXXX

# Kimley»»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
TEXAS REGISTERED ENGINEERING FIRM F-928

**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction or permit purposes  
**Kimley»Horn**  
Engineer: SARAH E. SCOTT, P.E.  
P.E. No. 113285 Date 03/15/2019

PROJECT No. 064526800
DATE: MARCH 2019
SCALE: AS SHOWN
DESIGNED BY: MM
DRAWN BY: RNI

**R** □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □  
LOT 11, ROCKWALL BUSINESS PARK  
EAST SUBDIVISION  
995 INTERSTATE HWY 30  
ROCKWALL, TX

# SITE PLAN

SHEET NUMBER  
SP

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.

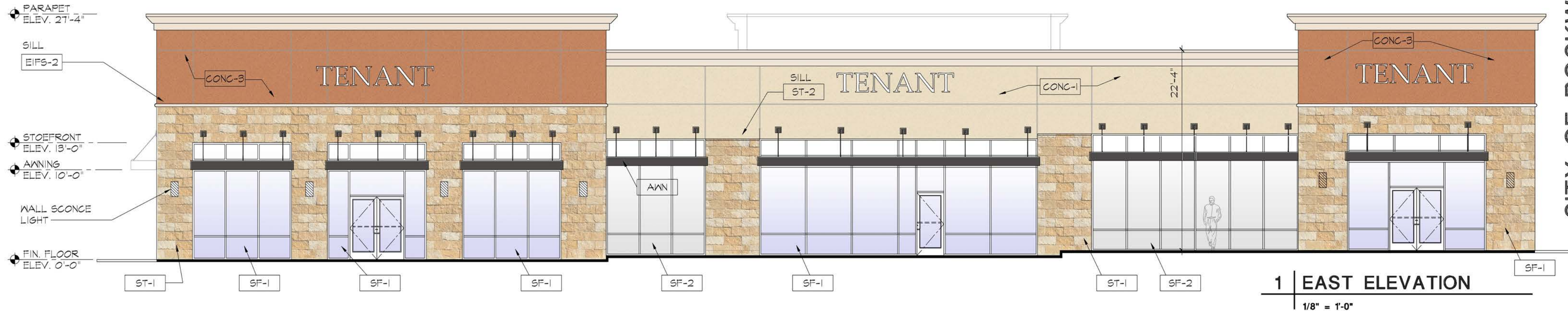
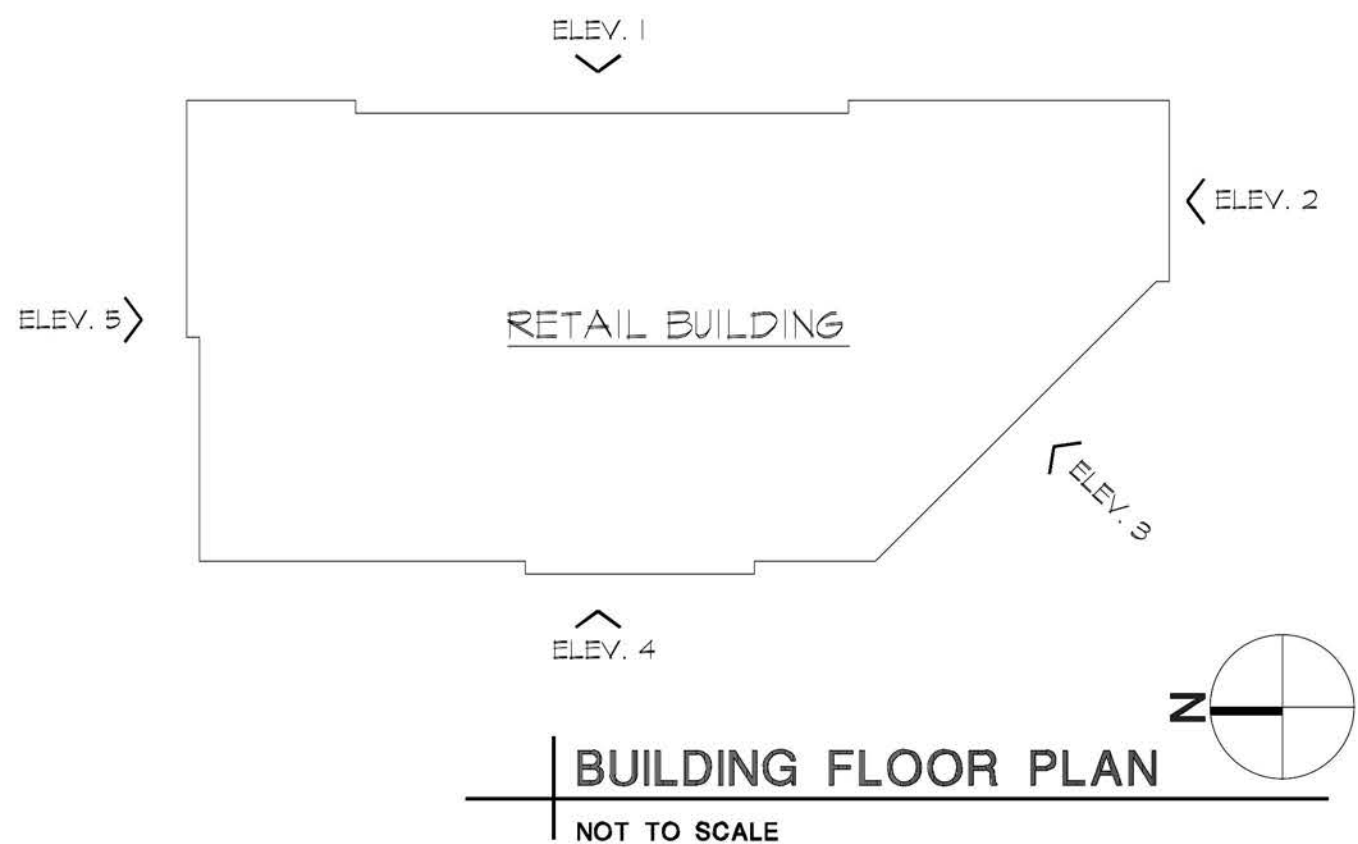
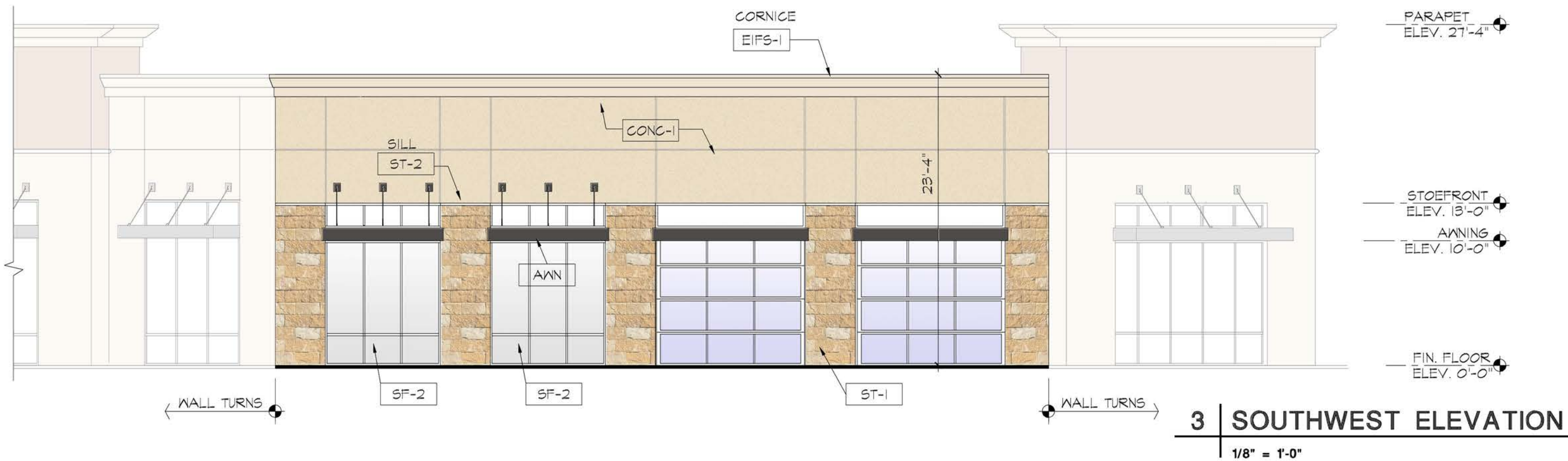
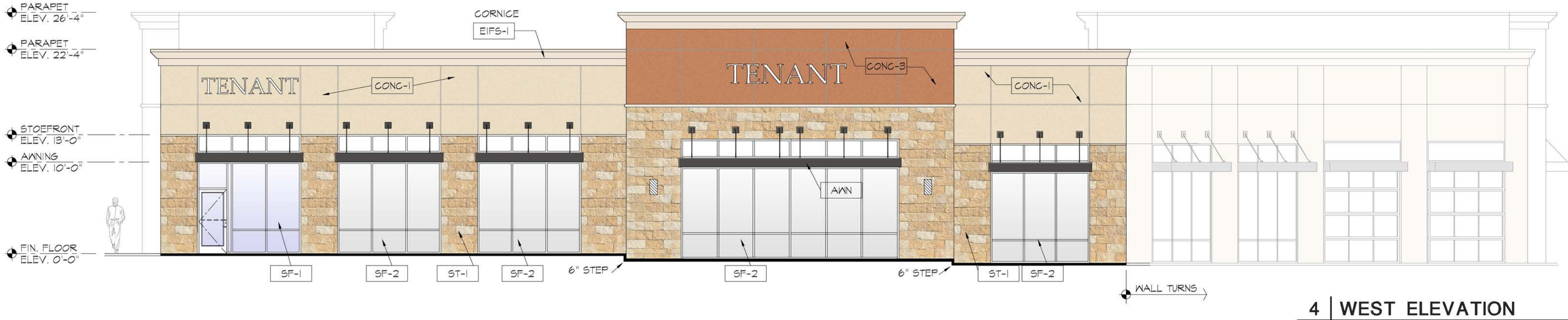
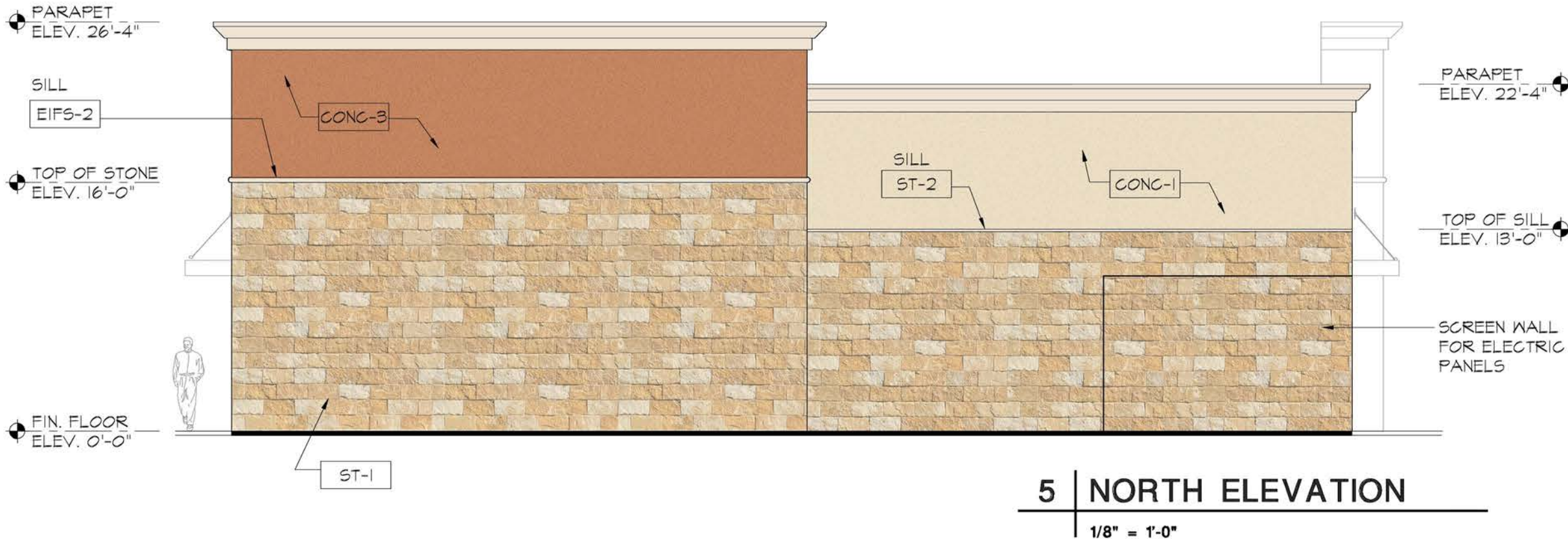


FINISH LEGEND

MATERIAL	SYMBOL	DESCRIPTION	MODEL / COLOR
EIFS	EIFS-1	EIFS CORNICE / MOLDINGS	PAINT TO MATCH SHER. WILLIAMS #6112 BISCUIT
	EIFS-2	EIFS SILL WITH ROUNDED END, 4" HIGH	PAINT TO MATCH SHER. WILLIAMS #6112 BISCUIT
CONCRETE TILT WALL	CONC-1	ACRYLIC TEXTURED CONC. TILT WALL	SAND FINISH, COLOR TO MATCH DRYVIT #494A CHLOE
	CONC-3	ACRYLIC TEXTURED CONC. TILT WALL	SAND FINISH, DRYVIT -MATCH S.W. #0007 DECOROUS AMBER
STONE TILE	ST-1	STONE TILE	NATURAL LIMESTONE TILE, 'LUEDERS' (ROCK FACE) 12" X 24", 1 1/4" THICKNESS, OVER MORTAR SETTING BED, MORTARED JOINTS
	ST-2	STONE WATER TABLE SILL	NATURAL LIMESTONE 'LUEDERS' (ROCK FACE) WATER TABLE SILL, 2" HIGH
STOREFRONT	SF-1	1" INSULATING CLEAR GLASS IN CLEAR ANODIZED FRAMING, GLAZING SPEC: Product ID: Pk, SHGC 0.41 (C)	
	SF-2	1/4" SPANDREL GLASS IN CLEAR ANODIZED FRAMING	
STEEL TUBE AWNING	AWN	12" X 4" STEEL TUBE AWNING, PAINT BARK BRONZE (SEMI-GLOSS)	

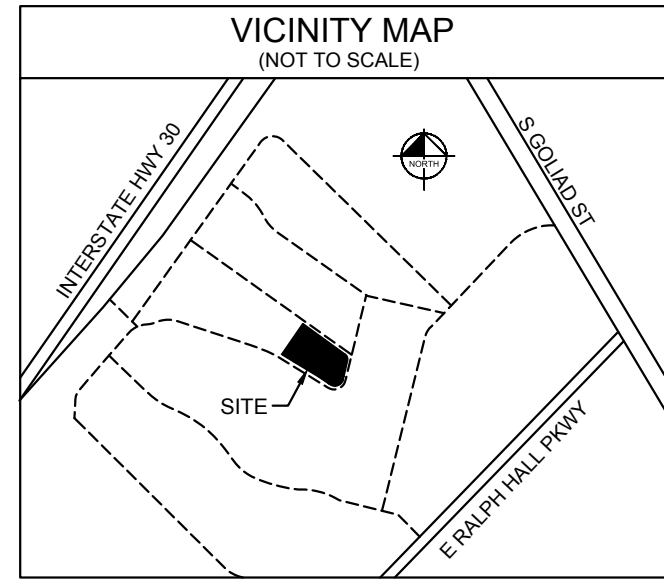
EXTERIOR MATERIAL BREAKDOWN

MATERIAL	STONE	TEXT. CONC.	EIFS	CLEAR STORY GLAZING
NORTH ELEVATION	60 %	33 %	1 %	
SOUTH ELEVATION	39 %	30 %	1 %	30 %
WEST ELEVATION	31 %	33 %	1 %	35 %
EAST ELEVATION	29 %	32 %	1 %	38 %
SOUTHWEST ELEVATION	25 %	36 %	1 %	38 %
















Design and construction documents are instruments of service as given in confidence and remain the property of Onyx Creative. The use of this design and these construction documents for purposes other than the specific project named herein is strictly prohibited without expressed written consent of Onyx Creative.





City of Rockwall - Site Data	
Current Land Use	C-Commercial
Proposed Land Use	C-Commercial
Total Lot Area	+/- 30,200 SF
	+/- 0.7 acres
Site Perimeter	+/- 170 LF
Building Square Footage	9,835 SF
Building Height	27.5 FT

**811**                                                                   

CASE NUMBER: SP2019-XXXX