AGENDA

PLANNING AND ZONING COMMISSION WORK SESSION City Hall, 385 South Goliad, Rockwall, Texas Council Chambers January 29, 2019 6:00 P.M.

CALL TO ORDER

CONSENT AGENDA

1. P2019-002 (David)

Consider a request by Gerald Houser of Collin-G Properties, LTD for the approval of a replat for Lot 2, Block A, Houser Addition being a 6.19-acre parcel of land identified Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

2. P2019-003 (David)

Consider a request by Maria C. Bonilla of Winkelmann & Associates, Inc. on behalf of Jill Fisher of Dunhill Partners, Inc. for the approval of a replat for Lot 2, Block B, R. W. Marketcenter Addition being a replat of a 21.424-acre parcel identified as Lot 1A, Block B, R. W. Marketcenter Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated at the southwest corner of Market Center Drive and the E. IH-30 Frontage Road, and take any action necessary.

3. P2019-004 (David)

Consider a request by Tony Degelia of A & W Surveyors on behalf of Michael Fisher for the approval of a replat for Lot 7, Block A, Temunovic Addition being a 1.082-acre parcel of land identified as Lot 6, Block A, Temunovic Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District, situated within the Scenic Overlay (SOV) District, addressed as 1306 Summer Lee Drive, and take any action necessary.

APPOINTMENTS

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

PUBLIC HEARING ITEMS

5. **Z2018-056** (Korey)

Hold a public hearing to discuss and consider a request by Tom Jones on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a zoning change from an Agricultural (AG) District to a Light Industrial (LI) District for a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

ACTION ITEMS

6. MIS2019-002 (Korey)

Discuss and consider a miscellaneous request by Reubin E. Harle for the approval of a masonry exception for the purpose of constructing an accessory building that does not meet the minimum masonry requirements stipulated by the Unified Development Code (UDC) on a 4.632-acre parcel of land identified as Lot 5R, Block A, Zion Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family One (SF-1) District, addressed as 825 Zion Hills Circle, and take any action necessary.

DISCUSSION ITEMS

7. Z2019-001 (Ryan)

Hold a public hearing to discuss and consider approval of a text amendment to Article IV, *Permissible Uses*, and Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] for the purpose of incorporating standards for a *Barn or Agricultural Accessory Building* and to amend the land use conditions for the *Guest Quarters/Secondary Living Unit* land use, and take any action necessary.

P&Z Agenda: 01.29.2019

8. Z2019-002 (David)

Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) for a structure that exceeds 60-feet in a Light Industrial (LI) District on a 42.61-acre tract of land identified as Tract 7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract 31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and, Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.

9. SP2019-001 (Korey)

Discuss and consider a request by Reese Baez of Triton General Contractors on behalf of Kevin Lefere for the approval of a site plan for a medical office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located north of the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205], and take any action necessary.

10. SP2019-002 (Korey)

Discuss and consider a request by Chuck Vickers of T & C Main Street Holdings, LLC for the approval of a site plan for an office building on a 0.50-acre parcel of land identified as Block 80B of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

11. SP2019-003 (Korey)

Discuss and consider a request by Matt Moore of ClayMoore Engineering, Inc. for the approval of a site plan for a multi-tenant office/warehouse complex on a 7.52-acre portion of a larger 9.76-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail, and take any action necessary.

- 12. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).
 - ✓ P2018-047: Preliminary Plat for Breezy Hill, Phase XII [Approved]
 - ✓ Z2018-049: SUP for an Animal Shelter for 1700 E. SH-66 (2nd Reading) [Approved]
 - ✓ Z2018-050: SUP for a Covered Patio in the Take-Line for 5808 Constellation Circle (1st Reading) [Withdrawn]
 - ✓ Z2018-055: SUP for a Mini-Warehouse Facility on Ridge Road (1st Reading) [Denied]
 - ✓ Z2018-057: Amendment to Planned Development District 57 (PD-57) (1st Reading) [Approved]
 - ✓ Z2018-058: SUP for a Craft Winery and Commercial/Amusement Outdoors (1st Reading) [Postponed to the February 4, 2019 Meeting]
 - ✓ Z2018-059: Zoning Change (SFE-2.0 to SFE-1.5) for 1085 Dalton Road (1st Reading) [Approved]
 - ✓ SP2018-043: Waiver for Marina Village Condominiums [Approved]

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 25th day of January 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

P&Z Agenda: 01.29.2019

AGENDA

ARCHITECTURAL REVIEW BOARD MEETING

City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room January 29, 2019 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2019-001 (Korey)

Discuss and consider a request by Matt Moore of ClayMoore Engineering, Inc. for the approval of a site plan for a multi-tenant office/warehouse complex on a 7.52-acre portion of a larger 9.76-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail, and take any action necessary.

2. SP2019-002 (Korey)

Discuss and consider a request by Chuck Vickers of T & C Main Street Holdings, LLC for the approval of a site plan for an office building on a 0.50-acre parcel of land identified as Block 80B of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

3. SP2019-003 (Korey)

Discuss and consider a request by Reese Baez of Triton General Contractors on behalf of Kevin Lefere for the approval of a site plan for a medical office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located north of the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205], and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 25th day of January 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

ARB Agenda: 01.29.2019

CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/29/2019

APPLICANT: Gerald Houser of Collin-G Properties, LTD

AGENDA ITEM: P2019-002; Lot 2, Block A, Houser Addition

SUMMARY:

Consider a request by Gerald Houser of Collin-G Properties, LTD for the approval of a replat for Lot 2, Block A, Houser Addition being a 6.19-acre parcel of land identified Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

PLAT INFORMATION:

- ☑ The objective of this request is to replat a 6.19-acre tract of land [i.e. Lot 1, Block A, Houser Addition] for the purpose of the replat is to establishing firelane, public access & utility easements to construct an office building. Additionally, the replat will abandon a portion of a 15-ft utility easement that is located on the southern and western property boundaries. The subject property is addressed as 1611 SH-276, and zoned Heavy Commercial (HC) District.
- ☑ On October 11, 2016, the Planning and Zoning Commission approved a site plan [i.e. SP2016-022] for the subject property. Additionally, the City Council approved variances and exceptions associated with the site plan on October 27, 2016.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for a *replat* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- ☑ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

RECOMMENDATIONS:

If the Planning and Zoning Commission and City Council choose to approve the replat for *Lot 2, Block A, Houser Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.
- 2) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



LM

Project Plan Review History

Project Number P2019-002

Lot 1, Block A, Houser Addition

Project Name Lot 1, B
Type PLAT
Subtype REPLAT

Status P&Z HEARING

Owner COLLIN G PROPERTIES, LTD
Applicant COLLIN G PROPERTIES, LTD

Applied Approved Closed

Expired

Status

1/25/2019 DG

1/8/2019

Site Address

City, State Zip

1611 HWY276 ROCKWALL, TX 75032

Zoning

Subdivision

Tract

Block

Lot No

Parcel No

General Plan

HOUSER ADDN 1 A 1 4007-000A-0001-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	1/8/2019	1/15/2019	1/22/2019	14	APPROVED	
ENGINEERING (1/25/2019 9:56 AN Must tie to point to N: E:	•	1/8/2019	1/15/2019	1/25/2019	17	COMMENTS	
FIRE	Ariana Hargrove	1/8/2019	1/15/2019	1/24/2019	16	APPROVED	
GIS	Lance Singleton	1/8/2019	1/15/2019	1/22/2019	14	APPROVED	
PLANNING	David Gonzales	1/8/2019	1/15/2019	1/25/2019	17	COMMENTS	See comments

Consider a request by Gerald Houser of Collin-G Properties, LTD for the approval of a replat for Lot2, Block A, Houser Addition being a 6.19-acre parcel of land identified Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

PLANNING COMMENTS - DAVID GONZALES - 01.24.2019

The following staff comments are to be addressed and resubmitted no later than Tuesday January 5, 2019. Please provide two large copies [FOLDED 18" X 24"] and one PDF version for a subsequent/final review by staff:

- 1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC), the staff comments provided by the Planning Engineering, Building Inspection, and Fire Departments as indicated on the Project Plan Review document
- 2. Provide a label indicating "Case No. P2019-002" on the lower right corner on all pages of the revised final plat submittal
- 3. Include a label on platted lot that identifies the name of the subdivision[i.e. Houser Addition] and to be located above 'Lot 2, Block A'.
- 4. Correct lot number on plat and title block to indicate "Lot 2" [do not use Lot 1R].
- 5. Correct Title Block heading as follows:

Final Plat

Houser Addition

Lot 2, Block A

etc.....

Being a replat of Lot 1, Block A, Houser Addition...etc...

- 6. Relabel firelane as "24-ft Firelane, Public Access, Drainage and Utility Easements" as appropriate.
- 7. Change all 2018 year dates to '2019'.

Although this case is scheduled for consent, staff recommends that a representative be present for the meetings as listed below. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

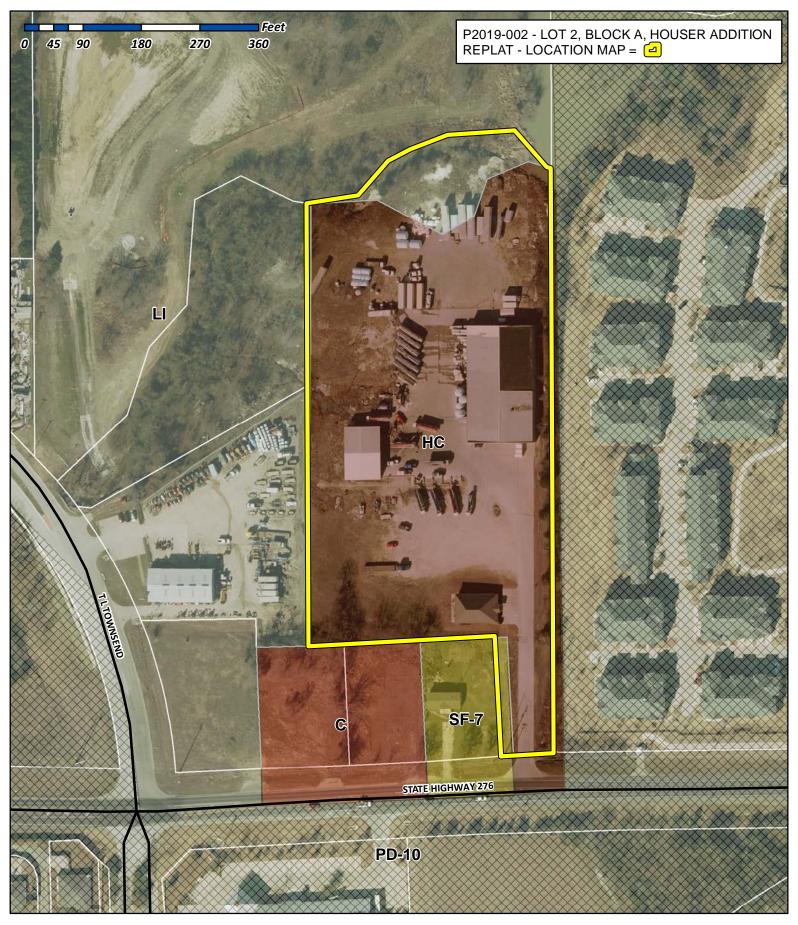
Scheduled Meeting Dates to Attend

Planning - Consent Agenda: January 29, 2019 (Tuesday at 6:00p.m.)

City Council - Consent Agenda: February 4, 2019 (Monday at 6:00 p.m.)

Project Reviews.rpt Page 2 of 2

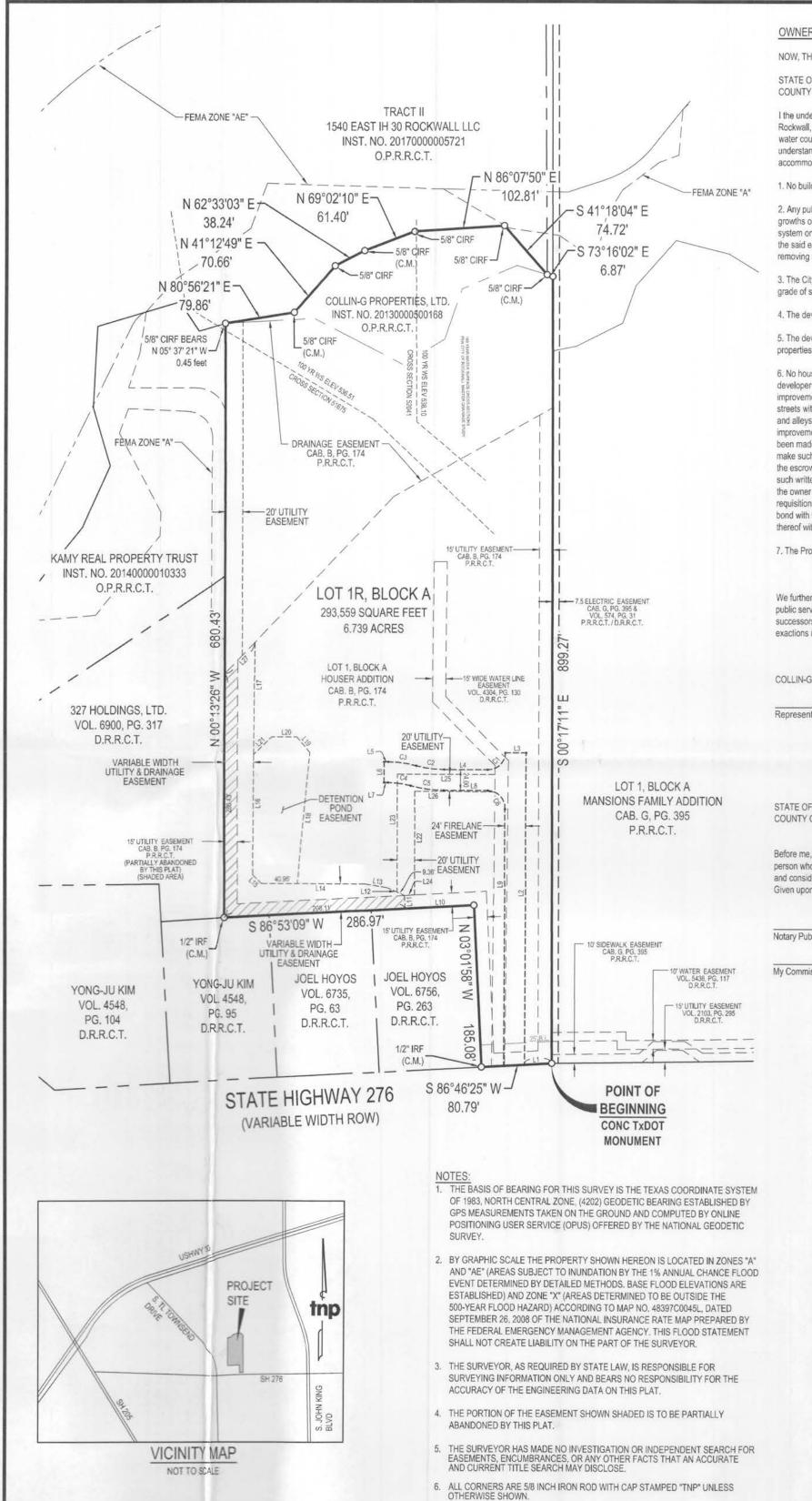
^{**}As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes **





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL}

I the undersigned owner of the land shown on this plat, and designated herein as COLLIN-G PROPERTIES, LTD., to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. The Property Owner is responsible for all maintenance, repair, and replacement of storm drain / detention facilities in easements.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

COLLIN-G PROPERTIES, LTD.

Representative

STATE OF TEXAS) COUNTY OF ROCKWALL}

Before me, the undersigned authority, on this day personally appeared _ , known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated Given upon my hand and seal of office this _____day of _

Notary Public in and for the State of Texas

My Commission Expires:

OWNERS CERTIFICATE

STATE OF TEXAS! COUNTY OF ROCKWALL)

WHEREAS, Collin-G Properties, LTD., being the owner of a tract of land out of the N.M. Ballard Survey, Abstract No. 24, in the City of Rockwall, Rockwall County, Texas, Being all of a Lot 1, Block A ,Houser Addition, an addition to The City of Rockwall as recorded in Cabinet B, Page 174 of the Plat Records of Rockwall County, Texas., and all of a tract of land to Collin-G Properties as recorded in Instrument Number 20130000500168 Official Public Records Rockwall County Texas, and being more particularly described as follows:

BEGINNING at a Concrete TxDOT Monument found lying on the Northerly Right-of-Way Line of State Highway 276, (a variable width public right-of-way) at the southwest comer of Lot 1, Block A, Mansions Family Addition, an addition to the City of Rockwall as recorded in Cabinet G, Page 395, Plat Records Rockwall County Texas and the southeast corner of said Lot 1, Block A . Houser Addition:

THENCE South 86 degrees 46 minutes 25 seconds West along the Northerly right-of-way of said State Highway 276, a distance of 80.79 feet to a 1/2 inch iron rod found for the southeast comer of a tract of land to Joel Hoyos as recorded in Volume 6756, Page 263 of the Deed Records Rockwall County Texas, said point also being the most southerly southwest corner of said Lot 1, Block A . Houser Addition;

THENCE North 03 degrees 01 minutes 58 seconds West along a common line of said Hoyos tract and said Lot 1, Block A , Houser Addition, a distance of 185.08 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at an inner ell corner of said Lot 1, Block A, Houser Addition;

THENCE South 86 degrees 53 minutes 09 seconds West, a distance of 286.97 feet to a 1/2 inch rod found lying on the northerly line of a tract of land to to Yong-Ju Kim as recorded in Volume 4548, Page 95 of the Deed Records Rockwall County Texas, said point also being the most westerly southwest corner of said Lot 1, Block A ,Houser Addition and the southeast corner of a tract of land to 327 Holdings, LTD as recorded in Volume 6900, Page 317, of the Deed Records Rockwall County Texas;

THENCE North 00 degrees 13 minutes 26 seconds West along the common line of said 327 Holdings, LTD tract and said Lot 1, Block A , Houser Addition, passing the northeast corner of said 327 Holdings, LTD tract, same being the southeast corner of a tract of land to Kamy Real Property Trust as recorded in Instrument number 20140000010333 of the Official Public Records Rockwall County Texas and continuing along the common line of said Kamy tract and said Lot 1, Block A , Houser Addition, a distance of 680.43 feet to the northwest corner of said Lot 1, Block A, Houser Addition said point also lying on the southerly line of a tract of land called Tract II to 1540 East IH 30 Rockwall LLC as recorded in Instrument Number 20170000005721 of the Official Public Records Rockwall County Texas and being the west corner of said Collin-G Properties tract, from which 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for reference bears North 05 degrees 37 minutes 21 seconds West, a distance of 0.45 feet;

THENCE along the common line of said Collin-G Properties tract and said Tract II the following courses and

North 80 degrees 56 minutes 21 seconds East, a distance of 79.86 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner:

North 41 degrees 12 minutes 49 seconds East, a distance of 70.66 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner;

North 62 degrees 33 minutes 03 seconds East, a distance of 38.24 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner;

North 69 degrees 02 minutes 10 seconds East, a distance of 61.40 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner:

North 86 degrees 07 minutes 50 seconds East, a distance of 102.81 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner;

South 41 degrees 18 minutes 04 seconds East, a distance of 74.72 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for the common southeast corner of said Collin-G Properties tract and said Tract II, said point also lying on the north line of said Lot 1, Block A , Houser Addition;

THENCE South 73 degrees 16 minutes 02 seconds East along the north line of said Lot 1, Block A , Houser Addition, a distance of 6.87 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northeast corner of same lying on the west line of said Lot 1, Block A, Mansions Family Addition;

THENCE South 00 degrees 17 minutes 11 seconds East along the common line of said Mansions Family Addition and said Lot 1, Block A , Houser Addition, a distance of 899.27 feet to the POINT OF BEGINNING containing 293,559 square feet, or 6.739 acres of land.

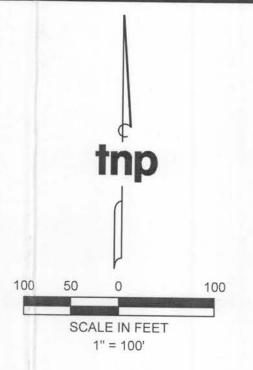
SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _

BRIAN J. MADDOX, R.P.L.S. NO. 5430



LEGEND

IRF-IRON ROD FOUND (C.M.)-CONTROLLING MONUMENT 5/8" CIRF- 5/8" CAPPED IRON ROD FOUND "R-DELTA ENGINEERS" WS ELEV- WATER SURFACE ELEVATION VOL.-VOLUME PG.-PAGE CAB.-CABINET NO.-NUMBER P.R.R.C.T.-PLAT RECORDS ROCKWALL COUNTY, TEXAS

O.P.R.R.C.T.-OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS

D.R.R.C.T.-DEED RECORDS ROCKWALL COUNTY, TEXAS

		NE TABLE
LINE#	LENGTH	BEARING
L1	31.41	S86°46'12"W
L2	356.57	S00°01'43"E
L3	24.00'	S89°57'09"E
L4	50.05	S89°49'20"E
L5	4.71'	S89°49'20"E
L6	24.00	N00-10'40"E
L7	4.71'	N89 49 20 W
L8	50.29	N89'49'58"W
L9	293,95	N90'00'00"W
L10	78.86	S86*53'09"W
L11	15.00'	S03°23'13"E
L12	21.99'	N66°19'50"W
L13	25.79	N80°36'40"W
L14	118.88	\$89°47'55"W
L15	13.96	\$45°36'22"E

L21	29.17'	N44°46'34"E N00°11'18"W
L23	134.80'	N00°11'31"W
L24	11.46	N86°53'09"E
L25	112.05	S89°55'06"E
L26	91.85	S89°53'13"E
L27	49.74	N43°33'56"E

EASEMENT LINE TABLE

L16 138.85' S00°09'01"W

L18 151.78' S05°13'08"W

128.95' N00°09'02"E

BEARING

LINE# LENGTH

		EASE	MENT CURVE	TABLE	
CURVE#	DELTA	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH
C1	90°12'19"	20.00	N 45°04'31" E	28,33'	31.49
C2	14°57'36"	123.96	S 82°20'32" E	32.27'	32.37
C3	14°57'36"	123.96	S 82°20'32" E	32.27'	32.37'
C4	8°51'17"	99.96'	N 79"17'23" W	15.43	15.45'
C5	14°57'36"	147.96	N 82°20'32" W	38.52	38.63
C6	89°47'41"	20.00	N 44°55'29" W	28.23	31.34

Planning & Zoning Commission, Chairman Date I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas was approved by the City Council of the City of Rockwall on the ____ day of ___ This approval shall be invalid unless the approved Plat for such Addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval. Witness our hands this the _____ day of ______, 2018. Mayor, City of Rockwall City Secretary City Engineer

ENGINEER

DOUPHRATE & ASSOCIATES, INC. P.O. BOX 1336 Rockwall, Texas 75087 Rockwall County, Texas

OWNER

COLLIN-G PROPERTIES, LTD. P.O. Box 847 Rockwall, TX. 75087-0847 Rockwall County, Texas

REPLAT HOUSER ADDITION LOT 1R, BLOCK A

293,559 SQUARE FEET 6.739 ACRES

BEING ALL OF LOT 1, BLOCK A, HOUSER ADDITION AND ALL OF ATRACT OF LAND TO COLLIN-G PROPERTIES AS RECORDED IN INSTRUMENT NUMBER 20130000500168 SITUATED IN THE N.M. BALLARD SURVEY ABSTRACT NO. 24 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PROJECT INFORMATION

SHEET 1 of 1

Project No.: DPH 18146 NOVEMBER 26, 2018 Drawn By: GS9 Scale: 1"=100"

SURVEYOR

825 Watters Creek Boulevard, Suite M300 Allen, Texas 75013 214.461.9867 ph 214.461.9864 fx T.B.P.L.S. Registration No. 10194381 www.tnpinc.com

CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/29/2019

APPLICANT: Maria C. Bonilla of Winkelmann & Associates, Inc.

AGENDA ITEM: P2019-003; Lot 2, Block B, R.W. Marketcenter Addition

SUMMARY:

Consider a request by Maria C. Bonilla of Winkelmann & Associates, Inc. on behalf of Jill Fisher of Dunhill Partners, Inc. for the approval of a replat for Lot 2, Block B, R. W. Marketcenter Addition being a replat of a 21.424-acre parcel identified as Lot 1A, Block B, R. W. Marketcenter Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated at the southwest corner of Market Center Drive and the E. IH-30 Frontage Road, and take any action necessary.

PLAT INFORMATION:

- ☑ The objective of this request is to replat a 21.424-acre tract of land [i.e. Lot 1A, Block B, R. W. Marketcenter Addition] for the purpose of the replat is to abandoning a portion of an existing firelane, access & utility easement and realigning the easement to accommodate the expansion of an existing Bath and Beyond retail store [i.e. SP2018-034]. The site is located on the southeastern portion of the lot, adjacent to Ralph Hall Parkway and Market Center Drive, and is zoned Commercial (C) District.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for a *replat* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- ☑ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

RECOMMENDATIONS:

If the Planning and Zoning Commission and City Council choose to approve the replat for *Lot 2, Block B, Marketcenter Addition*, staff would recommend the following conditions:

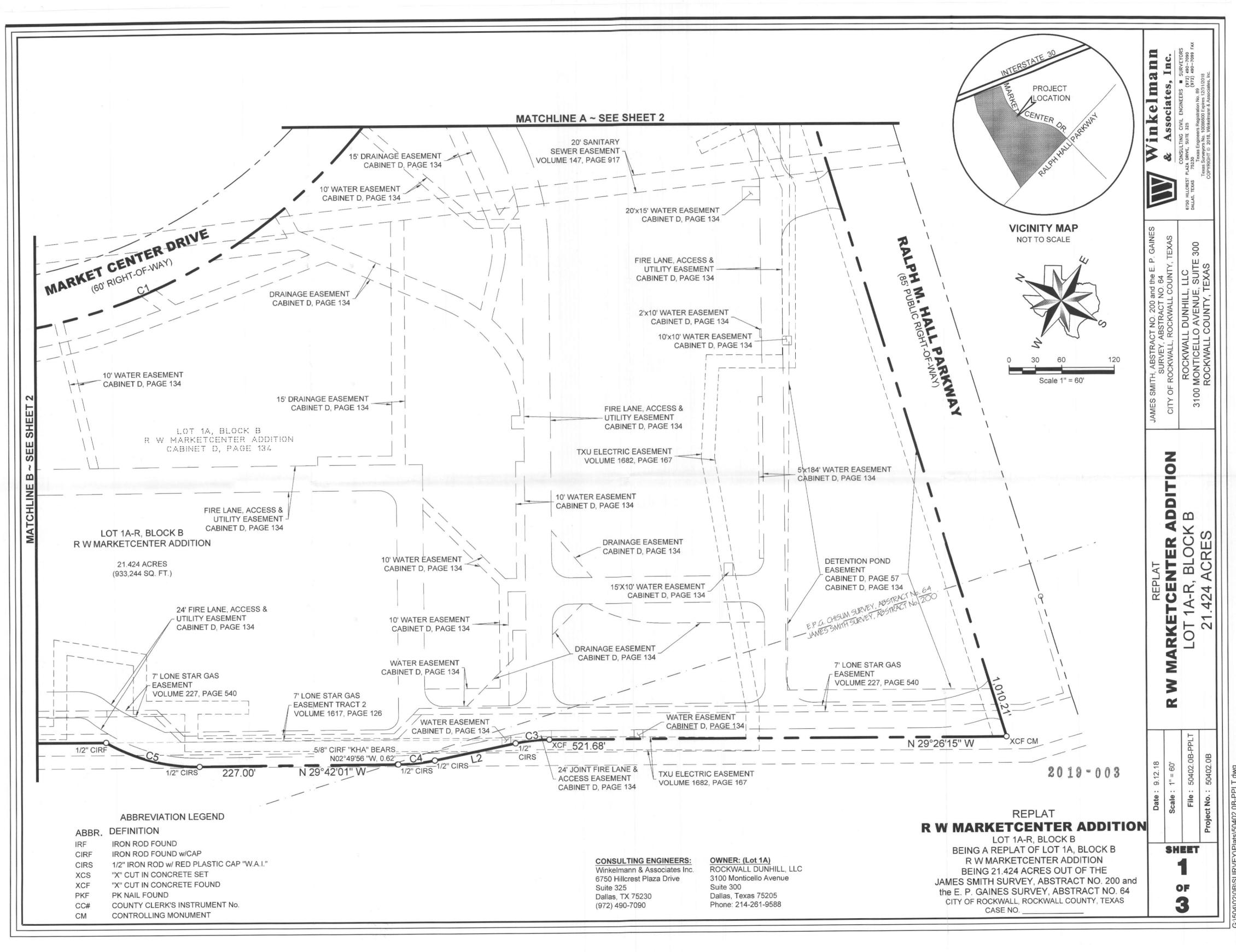
- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.
- 2) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

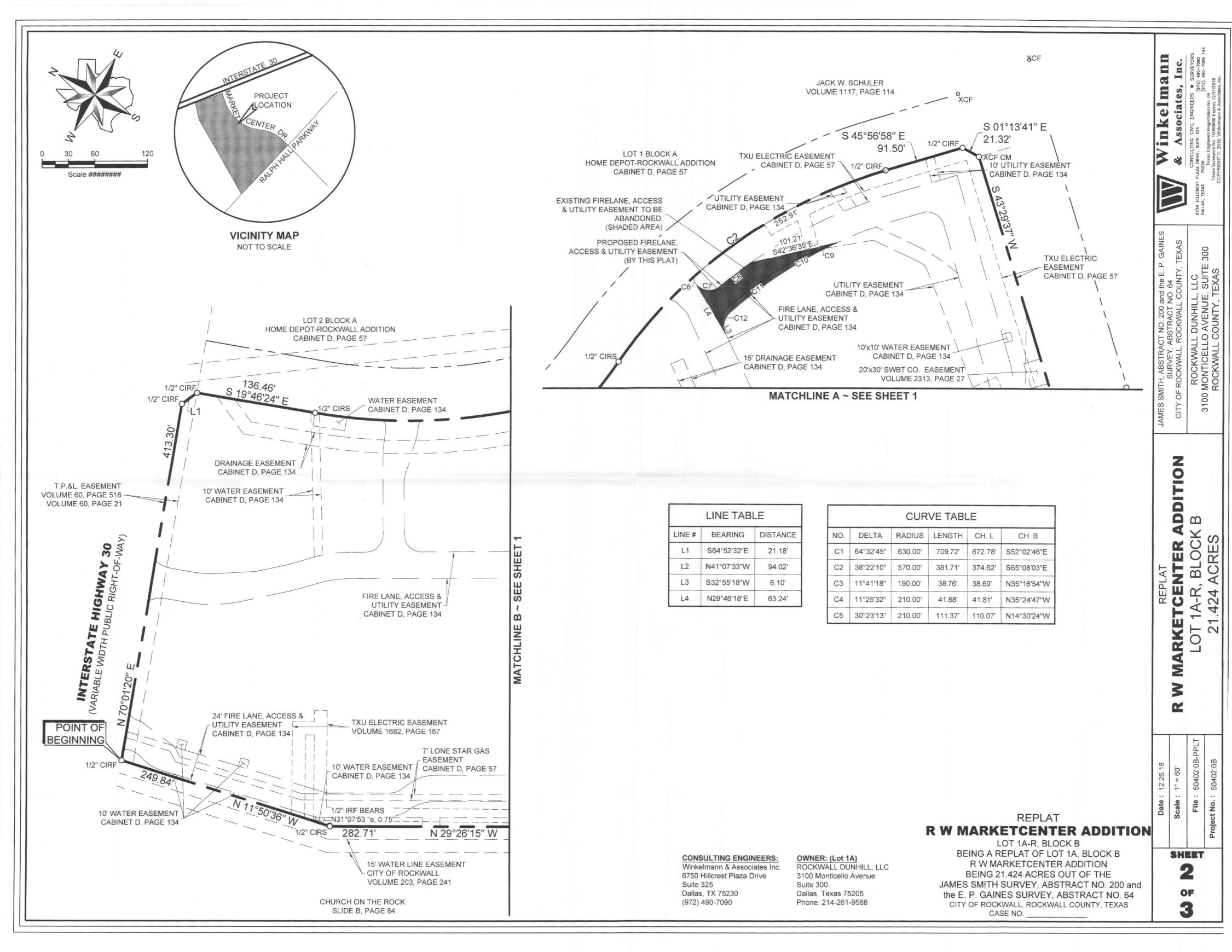




Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







STATE OF TEXAS COUNTY OF ROCKWALL §

WHEREAS, ROCKWALL DUNHILL, LLC being the owner of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the JAMES SMITH SURVEY, ABSTRACT No. 200, and the E. P. GAINES SURVEY, ABSTRACT NO. 64, in the City of Rockwall, Rockwall County, Texas, being all of Lot 1A, Block B, R W Marketcenter Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Page 134, Official Public Records of Rockwall County, Texas, and all of a tract of land described in Warranty Deed with Vendor's Lien to R W Marketplace Associates, Ltd. as recorded in Volume 1522. Page 279. Official Public Records, Rockwall County, Texas, said tract being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for the Northwest corner of said Lot 1A and the Northeast corner of Church on the Rock Addition, an addition to the City of Rockwall. Rockwall County, Texas, according to the Plat thereof recorded in Cabinet B, Slide 84, Official Public Records of Rockwall County, Texas, on the Southeast right-of-way of Interstate Highway 30, a variable width right-of-way;

THENCE North 70 deg 01 min 20 sec East, with the Southeast right-of-way of said Interstate Highway 30 and the Northwest line of said Lot 1A, a distance of 413.30 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner at the Northwest end of a corner clip at the intersection of the Southeast right-of-way of said Interstate Highway 30 and the West right-of-way for Market Center Drive, a 60-foot right-of-way, as established by Home Depot-Rockwall Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Page 57, Official Public Records of Rockwall County, Texas:

THENCE South 64 deg 52 min 32 sec East, along said corner clip, a distance of 21.18 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner at the Southeast end of said corner clip on the West right-of-way of said Market Center Drive;

THENCE in a Southeasterly direction with the Southwest right-of-way of said Market Center Drive and the Northeast lines of said Lot 1A, the following courses and distances:

South 19 deg 46 min 24 sec East, a distance of 136.46 feet to a 1/2-inch iron rod with plastic cap stamped "W.A.I. 5714" set for corner, said point being the beginning of a curve to the left having a radius of 630.00 feet, a central angle of 64 deg 32 min 45 sec, a chord bearing of South 52 deg 02 min 46 sec East, and a chord length of 672.78 feet:

Along said curve to the left, an arc distance of 709.72, to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for, said point being the beginning of a curve to the right having a radius of 570.00 feet, a central angle of 38 deg 22 min 10 sec, a chord bearing of South 65 deg 08 min 03 sec East, and a chord length of 374.62 feet;

Along said curve to the right, an arc distance of 381.71 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner:

South 45 deg 56 min 58 sec East, a distance of 91.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner at the North end of a corner clip at the intersection of the West right-of-way with the Northwest right-of-way of Ralph M. Hall Parkway, an 85-foot right-of-way, as established by Plat of said Home Depot-Rockwall Addition;

THENCE South 01 deg 13 min 41 sec East, along said corner clip, a distance of 21.32 feet to an "X" cut in concrete found for corner on the Northwest right-of-way of said Ralph M. Hall Parkway;

THENCE South 43 deg 29 min 37 sec West, along the Northwest right-of-way of said Ralph M. Hall Parkway and the Southeast line of said Lot 1A, a distance of 1,010.21 feet to an "X" cut in concrete found for the Southwest corner of said Lot 1A on the Northeast line of said Church on the Rock Addition;

THENCE North 29 deg 26 min 15 sec West, along the Southwest line of said Lot 1A and the Northeast line of said Church on the Rock Addition, a distance of 521.68 feet to an "X" cut in concrete found for the Southeast corner of said R W Marketplace Associates tract, said point being the beginning of a curve to the left having a radius of 190.00 feet, a central angle of 11 deg 41 min 18 sec, a chord bearing of North 35 deg 16 min 54 sec West, and a chord length of 38.69 feet;

THENCE along the Southwest lines of said R W Marketplace Associates tract, the following courses and distances:

Along said curve to the left, an arc distance of 38.76 feet, to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner:

North 41 deg 07 min 33 sec West, a distance of 94.02 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner, said point being the beginning of a curve to the right having a radius of 210.00 feet, a central angle of 11 deg 25 min 32 sec, a chord bearing of North 35 deg 24 min 47 sec West, and a chord length of 41.81 feet;

Along said curve to the right, an arc distance of 41.88 feet, to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner from which a 5/8-inch iron rod with plastic cap stamped "KHA" found bears North 02 deg 49 min 56 sec West, a distance of 0.62 feet;

North 29 deg 42 min 01 sec West, a distance of 227.00 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner, said point being the beginning of a curve to the right having a radius of 210.00 feet, a central angle of 30 deg 23 min 48 sec, a chord bearing of North 14 deg 30 min 06 sec West, and a chord length of 110.11 feet;

Along said curve to the right, an arc distance of 111.41 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for the Northwest corner of said R W Marketplace Associates tract;

THENCE North 29 deg 26 min 15 sec West, along the Southwest line of said Lot 1A and the Northeast line of said Church on the Rock Addition, a distance of 282.69 feet to a 1/2-inch iron rod with plastic cap stamped "W.A.I. 5714" set for corner from which a 1/2-inch iron rod found bears North 31 deg 07 min 53 sec East, a distance of 0.75 feet;

THENCE North 11 deg 50 min 36 sec West, along the Southwest line of said Lot 1A and the Northeast line of said Church on the Rock Addition, a distance of 249.84 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 933,244 square feet or 21,424 acres of land, more or less.

Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 22nd day of August, 2013, utilizing the Southeast line of Lot 1A, Block B, R W Marketcenter Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Page 134, Official Public Records of Rockwall County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL §

We the undersigned owner(s) of the land shown on this plat, and designated herein as the R W MARKETCENTER ADDITION, Lots 1A-R, Block B, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the R W Marketcenter Addition subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or

part of their respective system without the necessity of, at any time, procuring the permission of anyone.

- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall: or

7. All detention systems to be maintained and repaired by property owner.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such

improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

Rv.				

Tim Denker Authorized Person

Rockwall Dunhill LLC

COUNTY OF

STATE OF TEXAS

Before me, the undersigned Notary Public in and for said county and state on this day personally appeared Stephen Brookshire, and acknowledge that he executed this instrument on behalf of the corporation, which acted for the

Given upon my hand and seal of office this day of

Notary Public in and for the State of My Commission Expires:

STATE OF TEXAS

CONSULTING ENGINEERS: Winkelmann & Associates Inc. 6750 Hillcrest Plaza Drive Suite 325 Dallas, TX 75230 (972) 490-7090

OWNER: (Lot 1A) 3100 Monticello Avenue Suite 300 Dallas, Texas 75205

ROCKWALL DUNHILL, LLC Phone: 214-261-9588

Given upon my hand and seal of office this

Notary Public in and for the State of Texas

Before me, the undersigned Notary Public in and for said county and state on this day personally appeared Randall H. nn Noe and acknowledge that he executed this instrument on behalf of the corporation, which acted for the partnership. ma Given upon my hand and seal of office this nkel Notary Public in and for the State of My Commission Expires: SURVEYOR'S CERTIFICATION NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS THAT I, Leonard J. Lueker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision. Leonard J. Lueker Registered Professional Land Surveyor Texas Registration No. 5714 Winkelmann & Associates, Inc. 6750 Hillcrest Plaza Drive, Suite 325 Dallas, Texas 75230 σ. (972) 490-7090 l.lueker@winkelmann.com STATE OF TEXAS COUNTY OF DALLAS § Before me, the undersigned authority, on this day personally appeared Leonard J. Lueker, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same fo the purpose and consideration therein stated.

My Commission Expires:

<u>R</u>	ECOMMENDED FOR FIN	IAL APPROVAL	
Planning and Zoning Commission	Date	•	
	APPROVED	<u>D</u>	
		on to the City of Rockwall, Texas, was approved of, 2019.	
프로그램 그리지 않는 아프라이트 그리고 있다. 그리고 있는 그리고 있었다면 그리고 있는 것이 하는 그리고 있다면 그리고 있다.		uch addition is recorded in the office of the County (180) days from said date of final approval.	ty
WITNESS OUR HANDS, this	day of		
0" (D)	011.0	0.5	_
Mayor, City of Rockwall	City Secretary	City Engineer	

REPLAT R W MARKETCENTER ADDITION

LOT 1A-R. BLOCK B BEING A REPLAT OF LOT 1A, BLOCK B R W MARKETCENTER ADDITION BEING 21.424 ACRES OUT OF THE JAMES SMITH SURVEY, ABSTRACT NO. 200 and the E. P. GAINES SURVEY, ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CASE NO.

Inc.

300 LC UTE

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SHEET

OF

CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/29/2019

APPLICANT: Tony Degeli of A & W Surveyors.

AGENDA ITEM: P2019-004; Lot 7, Block A, Temunovic Addition

SUMMARY:

Consider a request by Tony Degeli of A & W Surveyors on behalf of Michael Fisher for the approval of a replat for Lot 7, Block A, Temunovic Addition being a 1.082-acre parcel of land identified as Lot 6, Block A, Temunovic Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District, situated within the Scenic Overlay (SOV) District, addressed as 1306 Summer Lee Drive, and take any action necessary.

PLAT INFORMATION:

- ☑ The objective of this request is to replat a 1.082-acre tract of land [i.e. Lot 6, Block A, Temunovic Addition] for the purpose of establishing firelane, public access, drainage & utility easements to allow for the construction of a medical office building. The subject property is situated within the Scenic Overlay (SOV) District, addressed as 1306 Summer Lee Drive, and zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses.
- ☑ A Specific Use Permit (SUP) [i.e. Ordinance No. 17-52, S-175] was approved by the City Council on October 2, 2017 allowing for a structure to exceed 36-feet in height within the Scenic Overlay District (SOV).
- ☑ A site plan [i.e. SP2017-023] was approved by the Planning and Zoning Commission on September 26, 2017.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for a *replat* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- ☑ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

RECOMMENDATIONS:

If the Planning and Zoning Commission and City Council choose to approve the replat for *Lot 7, Block A, Temunovic Addition*, staff would recommend the following conditions:

1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.

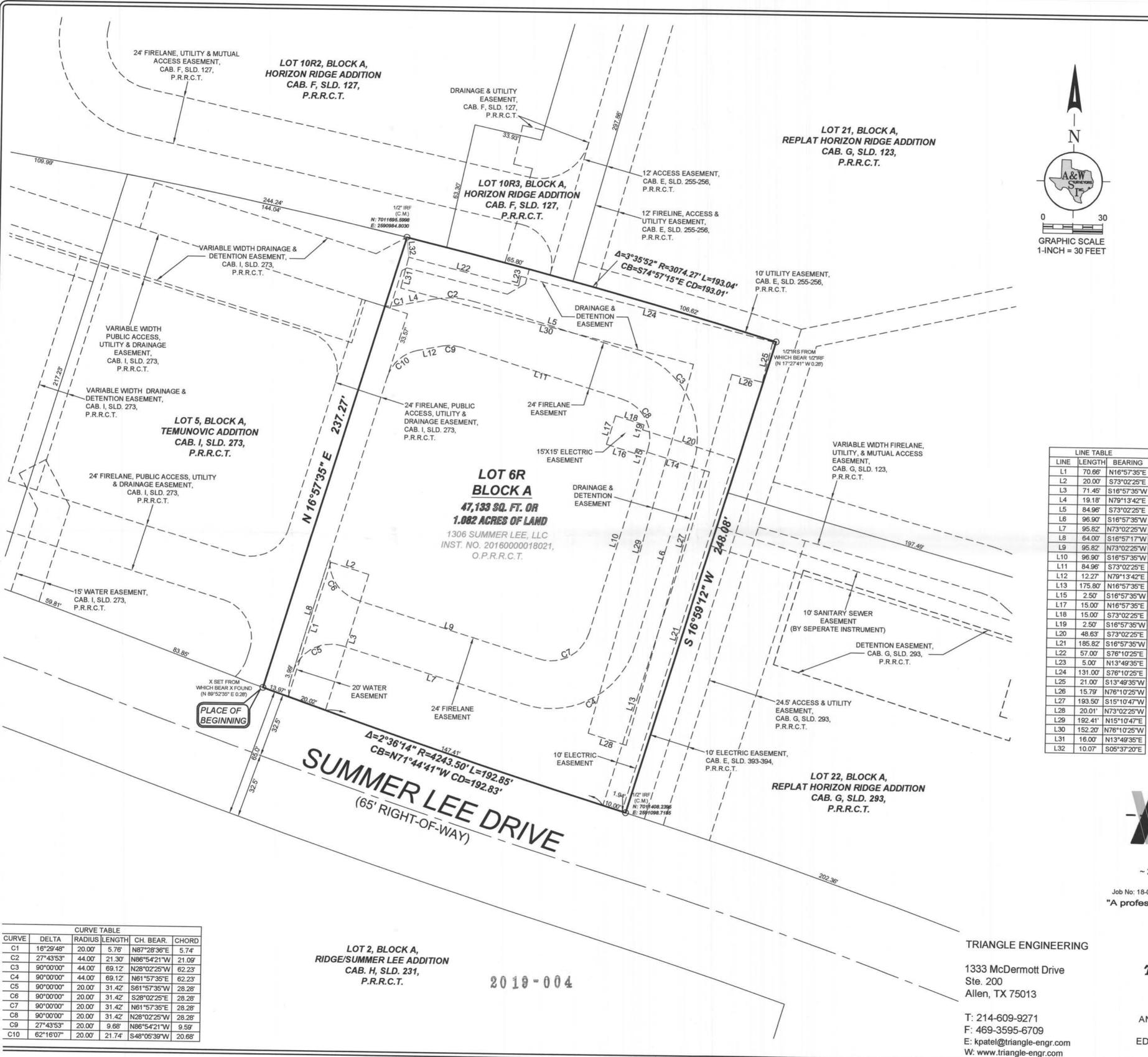


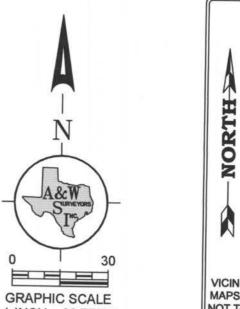




Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







LINE TABLE

71.45' S16°57'35"W

96.90' S16°57'35"W

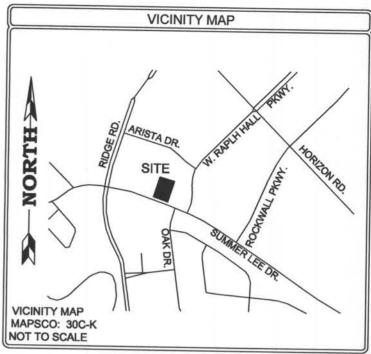
2.50' S16°57'35"W

57.00' S76°10'25"E

5.00' N13°49'35"E

131.00' S76°10'25"E

21.00' S13°49'35"W



GENERAL NOTES

- 1) Any structure new or existing may not extend across new
- 2) The purpose of this Replat is to define easements conditional to new development.
- 3) Basis of bearing determined by Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983
- 4) Coordinates shown are Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale, No Projection
- 5) 16" Water lines shown are approximate location.
- 6) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

LEGEND

D.R.R.C.T.	Deed Records, Rockwall
	County, Texas
P.R.R.C.T.	Plat Records, Dallas
	County, Texas
O.P.R.R.C.T.	Official Public Records,
14416767676	Rockwall County, Texas
C.M.	Controlling Monument
VOL.	Volume
PG.	
CAB.	Cabinet
SLD.	Slide
INST. NO.	
IRF	[[[[[[] [[] [[] [[] [] [] [] [] [] [] []
IRS	No. 1 (1) (1) (1) (1) (1) (1) (1) (1) (1) (
SQ. FT.	
CAB. SLD. INST. NO. IRF IRS	Page Cabinet Slide Instrument Number iron rod found 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set square feet



A&W SURVEYORS, INC.

Professional Land Surveyors TEXAS REGISTRATION NO. 100174-00 P.O. BOX 870029, MESQUITE, TX. 75187

PHONE: (972) 681-4975 FAX: (972) 681-4954 WWW.AWSURVEY.COM

Owner: 1306 Summer Lee, LLC ~ 2344 Harvest Ridge Drive, Rockwall, Texas75032 ~

Job No: 18-0032 | Drawn by: 517 | Date: 01-08-2018 | Revised: "A professional company operating in your best interest"

PAGE 1 OF 2

REPLAT LOT 6R, BLOCK A TEMUNOVIC ADDITION

1.082 ACRES OF LAND BEING A REPLAT OF LOT 6, BLOCK A **TEMUNOVIC ADDITION** AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS EDWARD TEAL SURVEY ABSTRACT NO. 207 CASE FILE NO. SP2017-023

OWNER'S CERTIFICATE

WHEREAS 1306 Summer Lee, LLC is the sole owner of a tract of land located in the EDWARD TEAL SURVEY, Abstract No. 207, City of Rockwall, Rockwall County, Texas, and being Lot 6, Block A, of Temunovic Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet I, Slide 237, Plat Records, Rockwall County, Texas, and being the same tract of land described in deed to 1306 Summer Lee, LLC, recorded in Instrument No. 20160000018021, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at an "X" set in the North line of Summer Lee Drive, a 65' right-of-way, at the common Southerly corner of Lot 5, and said Lot 6, Block A, of said Temunovic Addition;

Thence North 16°57'35" East, a distance of 237.27' to a 1/2" iron rod found in the South line of Lot 10R2, Block A, of Horizon Ridge Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 127, Plat Records, Rockwall County, Texas, said point being at the beginning of a non-tangent curve to the right, having a central angle of 03°35'52", a radius of 3074.27', and a chord bearing and distance of South 74°57'15" East, 193.01';

Thence Southeasterly, along said curve to the right, an arc distance of 193.04' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner at the interior 'el' corner of Lot 21, Block A, of Replat Horizon Ridge Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet G, SLide 123, Plat Records, Rockwall County, Texas, same being the Northeast corner of said Lot 6, Block A;

Thence South 16°59'12" West, a distance of 248.08' to a 1/2" iron rod found in the said North line of Summer Lee Drive, at the Southwest corner of Lot 22, Block A, of Replat Horizon Ridge Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet G, SLide 293, Plat Records, Rockwall County, Texas, same being the Southeast corner of said Lot 6, Block A, and being at the beginning of a non-tangent curve to the left, having a central angle of 02°36'14", a radius of 4243.50', and a chord bearing and distance of North 71°44'41" West, 192.83';

Thence Northwesterly, along said curve to the left and said North line, an arc distance of 192.85' to the PLACE OF BEGINNING and containing 47,133 square feet or 1.082 of an acre of land.

SURVEYOR'S CERTIFICATE

Witness my hand at Mesquite, Texas,

This _____ day of __

THAT I, John S. Turner, do hereby certify that I prepared this amending plat from an actual survey on the land and that the corner monuments shown thereon were found and/or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Planning and Zoning Commission of the City of Rockwall, Texas.

John S. Tur						
	ner Professional La	nd Surveyor	# 5310			
STATE OF COUNTY O	TEXAS F ROCKWALL					
to me to be to acknowledge	the person who	d John S. Tui se name is su e executed the	mer, R.P.L. bscribed to same for	S. NO. 5310 the foregoing	id County and Sta), State of Texas, ng instrument, and s and consideration	kno
Given under	my hand and s	eal of office.				
This	_ day of		_, 20			
Notary Public	in and for the	State of Texa	S			

TRIANGLE ENGINEERING

1333 McDermott Drive Ste. 200 Allen, TX 75013

T: 214-609-9271 F: 469-3595-6709 E: kpatel@triangle-engr.com W: www.triangle-engr.com

OWNER'S DEDICATION

STATE OF TEXAS COUNTY OF ROCKWALL

That, 1306 Summer Lee, LLC, the undersigned owners of the land shown on this plat, designated herein as LOT 6R, BLOCK A, TEMUNOVIC ADDITION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the TEMUNOVIC ADDITION have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. All drainage and detention on site will be maintained, repaired, and replaced by the property owner.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

	-
Name:	
Title:	

STATE OF TEXAS COUNTY OF ROCKWALL

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared, , known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 20 .

Notary Public in and for The State of Texas



A&W SURVEYORS, INC.

Professional Land Surveyors TEXAS REGISTRATION NO. 100174-00 P.O. BOX 870029, MESQUITE, TX. 75187 PHONE: (972) 681-4975 FAX: (972) 681-4954 WWW.AWSURVEY.COM

Owner: 1306 Summer Lee, LLC ~ 2344 Harvest Ridge Drive, Rockwall, Texas75032 ~

Job No: 18-0032 | Drawn by: 517 | Date: 01-08-2018 | Revised: "A professional company operating in your best interest"

Date **APPROVED** I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this day of Mayor, City of Rockwall City Secretary City Engineer

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission

PAGE 2 OF 2 REPLAT LOT 6R, BLOCK A TEMUNOVIC ADDITION

1.082 ACRES OF LAND BEING A REPLAT OF LOT 6, BLOCK A TEMUNOVIC ADDITION AN ADDITION TO THE CITY OF ROCKWALL. ROCKWALL COUNTY, TEXAS EDWARD TEAL SURVEY ABSTRACT NO. 207 CASE FILE NO. SP2017-023

CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/29/2019

APPLICANT: Tom Jones

AGENDA ITEM: Z2018-056; Zoning Change (AG to LI)

SUMMARY:

Hold a public hearing to discuss and consider a request by Tom Jones on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a zoning change from an Agricultural (AG) District to a Light Industrial (LI) District for a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicant is requesting a change in zoning from an Agricultural (AG) District to a Light Industrial (LI) District for the purpose of constructing a *house of worship* on the subject property. The subject property is situated on a 6.03-acre tract of land, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, and located east of the intersection of Justin Road and John King Boulevard. The subject property was annexed in 1985 [*Ordinance No. 85-69*] and IS zoned Agricultural (AG) District. The Agricultural (AG) District is a holding district with the intent that a property will be rezoned in conformance with the Future Land Use Plan contained in the Comprehensive Plan. According to Section 1.0, *Use of Land and Buildings*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), a house of worship is permitted in an Agricultural (AG) District by Specific Use Permit (SUP) or permitted by-right in a Light Industrial (LI) District. The proposed request to rezone the property to Light Industrial (LI) District is in conformance with the City's Future Land Use Plan.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are all follows:

North: Directly north of the subject property is a railroad (i.e. Union Pacific/Dallas Garland

N. E.) followed by several vacant tracts of land. Beyond this is Airport Road which is identified as a M4U (*Major Collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the Rockwall Municipal Airport. These

areas are zoned Agriculture (AG) District.

South: Directly south of the subject property is Justin Road, which is identified M4D (*Major*

Collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan. Beyond this are several vacant tracts of land zoned Light Industrial (LI) District and Commercial (C) District followed by IH-30, which is identified as a TxDOT roadway

on the City's Master Thoroughfare Plan.

East: Directly east of the subject property are several vacant tracts of land zoned

Agricultural (AG) District and Light Industrial (LI) District. Beyond this is FM-3549, which is identified as a TxDOT Roadway, which delineates the city limits of Rockwall.

West:

Directly west of the subject property is a small vacant tract of land followed by S. John King Boulevard, which is identified as a P6D (*Principal Arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are two (2) manufacturing companies (*i.e. Channell Commercial Corporation and Graham Packaging Technologies*). These areas are zoned Light Industrial (LI) District.

UNIFIED DEVELOPMENT CODE:

According to the purpose statements stipulated in Subsection 5.02, Light Industrial (LI) District, of Article V, District Development Standards, of the Unified Development Code (UDC), the Light Industrial (LI) District is intended for industrial parks and larger cleaner types of industries and located close to an arterial capable of carrying commercial traffic. In this case, the subject property is located at the intersection of an arterial and a major collector (i.e. S. John King Blvd and Airport Road) and conforms to these requirements. The following is a summary of the minimum development standards for a property within a Light Industrial (LI) District:

Ordinance Provisions	Zoning District Standards
Minimum Lot Area	12,500 SF
Minimum Lot Width	100-Feet
Minimum Lot Depth	125-Feet
Minimum Front Yard Setback	25-Feet
Minimum Rear Yard Setback	10-Feet
Minimum Side Yard Setback	15-Feet 1/2 Building Height
Maximum Height	60-Feet
Minimum Masonry Requirement	90%
Maximum Impervious Parking	90-95%
Maximum Building Coverage	60%
Floor Area Ratio	2:1

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, designates the subject property for <u>Technology/Employment</u> land uses, which is characterized by employment-oriented businesses, typically situated in larger centers that have access to key transportation networks. In this case, the applicant's request to rezone the property to Light Industrial (LI) District is in conformance with the Future Land Use Plan; however the land use (i.e. a house of worship) is considered to be a <u>Quasi-Public</u> land use. This will necessitate a change in the Future Land Use Plan and this change has been made a condition of approval.

STAFF ANALYSIS:

According to the Future Land Use Plan, the subject property is located within the Central District and is designated for <u>Technology/Employment</u> land uses. The <u>Technology/Employment</u> designation is typically associated with Light Industrial (LI) District zoning. Alternatively, the plan allows the City Council to consider requests conforming to the <u>Special Commercial Corridor</u>, which is typically associated with Commercial (C) District zoning. In this case, the applicant originally submitted a request for Commercial (C) District zoning; however, after reviewing the case staff suggested that the applicant consider Light Industrial (LI) District zoning. The reason for this suggestion is two (2) fold: (1) this property is directly adjacent to John King Boulevard and would hinder the visibility of adjacent properties that do not front onto John King Boulevard, therefore it is a reasonable expectation that the adjacent properties will develop in accordance with the <u>Technology/Employment</u> designation, and (2) the adjacent properties proximity to the existing railroad tracks may make the adjacent property better suited to Light Industrial (LI) District zoning in the future.

Staff should also note that while the Church could maintain its Agricultural (AG) District zoning by requesting a Specific Use Permit (SUP), a SUP would necessitate that the Church amend

said SUP with every proposed change on the property. The Light Industrial (LI) District zoning will allow the church the flexibility to make improvements to the property in conformance with the UDC without the burden of a public hearing process for every proposed improvement. With that being said, approval of a zoning change is discretionary to the City Council, pending a recommendation from the Planning and Zoning Commission. In this case, the Planning and Zoning Commission and City Council have the discretion to approve the request as submitted (i.e. Light Industrial [LI] District) or choose to downzone the property to a Commercial (C) District. Either zoning district allows the House of Worship land use by-right.

NOTIFICATION:

On January 14, 2019, staff mailed 10 notices to property owners and residents within 500-feet of the subject property. There are no HOA's/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Staff also advertised the public hearings in the Rockwall Herold Banner as required by the Unified Development Code (UDC). At the time this case memo was drafted staff had not received any notices concerning this case.

RECOMMENDATIONS:

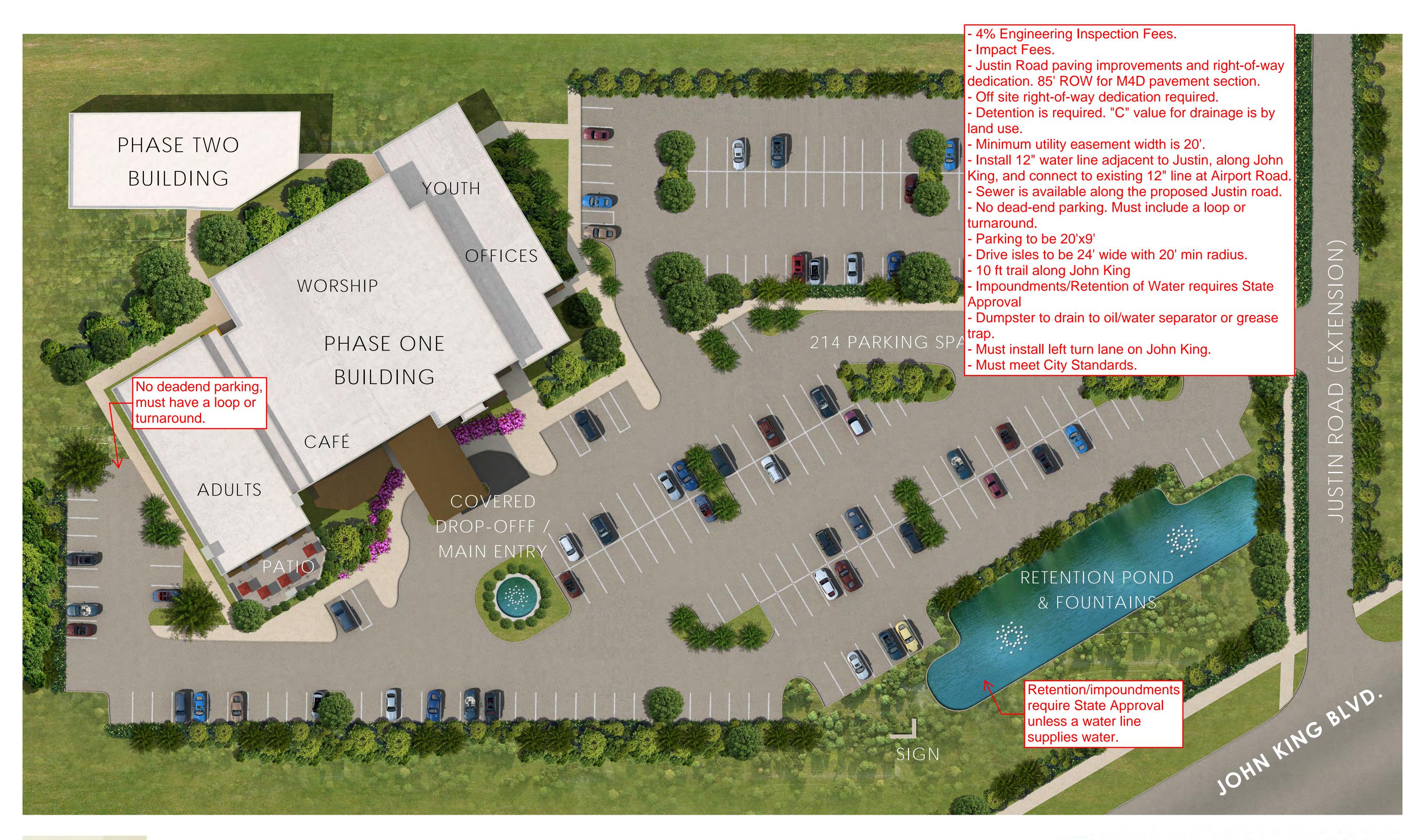
Should the Planning and Zoning Commission recommend approval of the change in zoning, staff would recommend the following conditions of approval:

- 1) Any construction or building necessary to complete this change in zoning request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.
- 2) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Plan. Specifically, this will change the designation of the subject property from a <u>Technology/Employment</u> land use designation to a *Quasi-Public* land use designation;













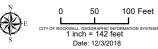






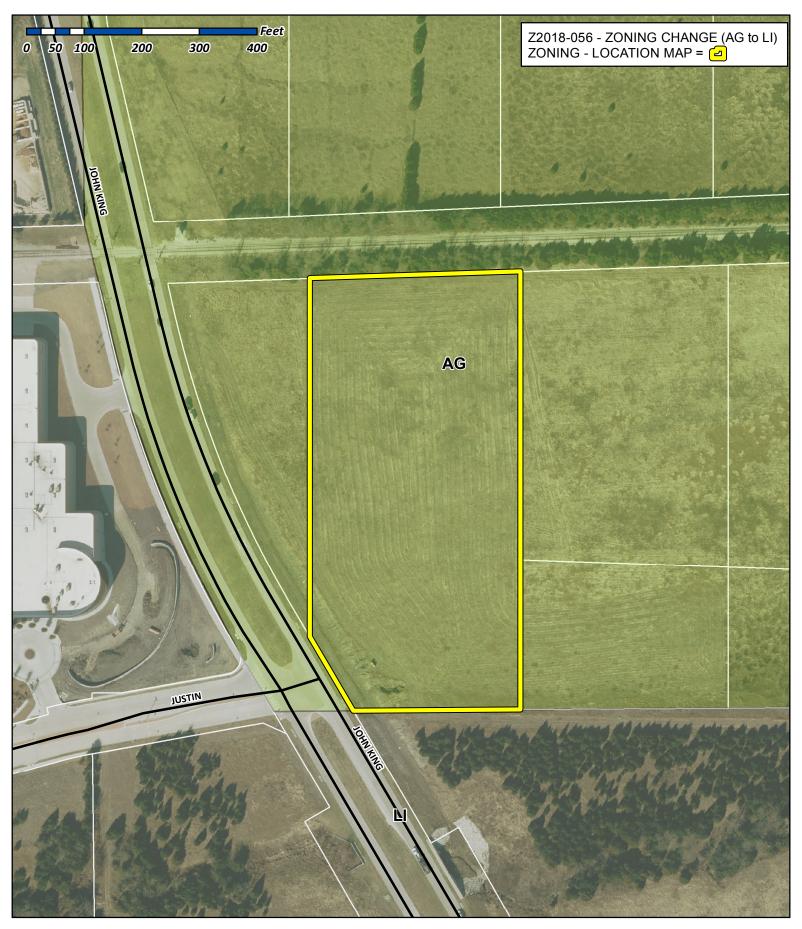






The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As is' with no warranty being made, either expressed or implied.

Approximate Utility Locations





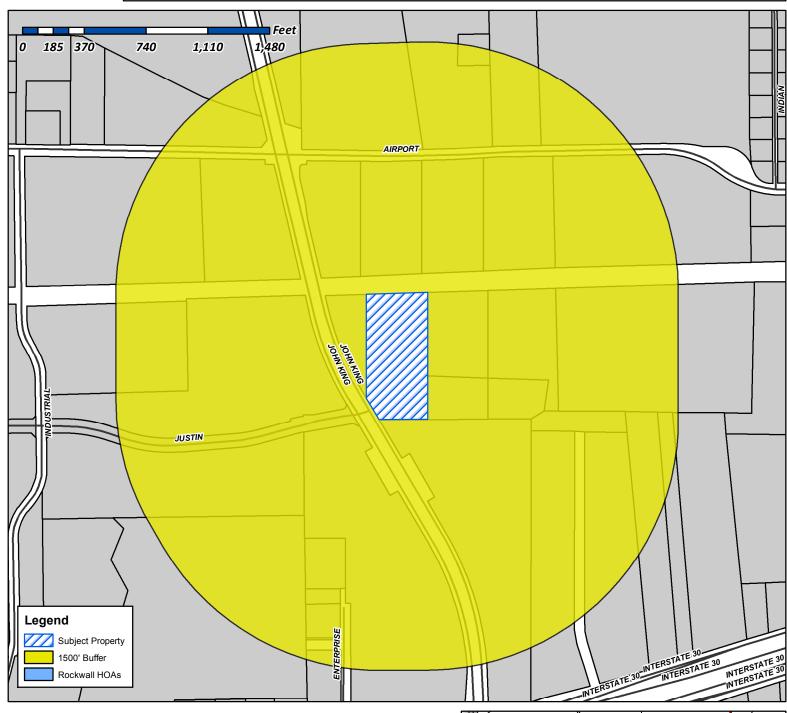
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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Case Number: Z2018-056

Case Name: Zoning Change (AG to LI)

Case Type: Zoning

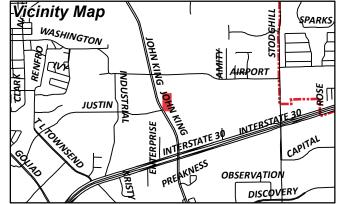
Zoning: Agricultural (AG) District

Case Address: East of the Intersection of Justin

Road and John King Blvd.

Date Created: 1/25/2019

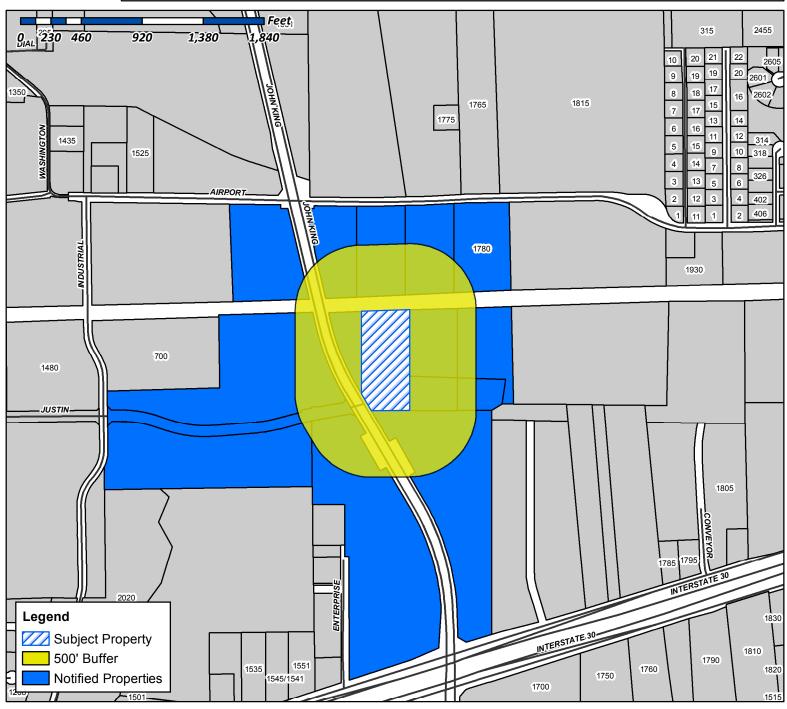
For Questions on this Case Call (972) 771-7745





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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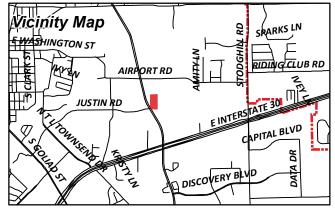
Zoning: Agricultural (AG) District

Case Address: East of the Intersection of Justin

Road and John King Blvd.

Date Created: 12/14/2018

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT 1780 AIRPORT RD ROCKWALL, TX 75087 ATHEY JACKIE RAY 1780 AIRPORT RD ROCKWALL, TX 75087 VALK RON 1834 S FM 551 FATE, TX 75189

WILLCAR HOLDINGS LLC ATTN: WILLIAM H CHANNELL JR 26040 YNEZ ROAD TEMECULA, CA 92591

TEMUNOVIC PARTNERSHIP LTD 3021 RIDGE RD SUITE A57 ROCKWALL, TX 75032 ROCKWALL FRIENDSHIP BAPTIST CHURCH REV SHANON THOMAS, PASTOR 5651 STATE HIGHWAY 276 ROYSE CITY, TX 75189

ATHEY JO ANN PO BOX 219 LAVON, TX 75166 ATHEY BOBBY FRANK PO BOX 472051 GARLAND, TX 75047 ATHEY BOBBY FRANK PO BOX 472051 GARLAND, TX 75047

ROCKWALL ECONOMIC DEVELOPMENT PO BOX 968 ROCKWALL, TX 75087

01 CENTRAL DISTRICT

DISTRICT DESCRIPTION

The Central District is composed of a wide range of land uses that very from single-family to industrial. The district's residential areas consist of suburban residential (e.g. Park Place), estate and rural residential (e.g. Rolling Meadows Subdivision), and higher density residential developments (e.g. Evergreen Senior Living). The Central District also incorporates a high volume of industrial land uses adjacent to the Union Pacific/Dallas Garland and Northeastern Rail Road line that bisects the district -and City -- in an east/west direction. The Ralph Hall Municipal Airport and several other large public/school facilities are also located within the boundaries of this district.

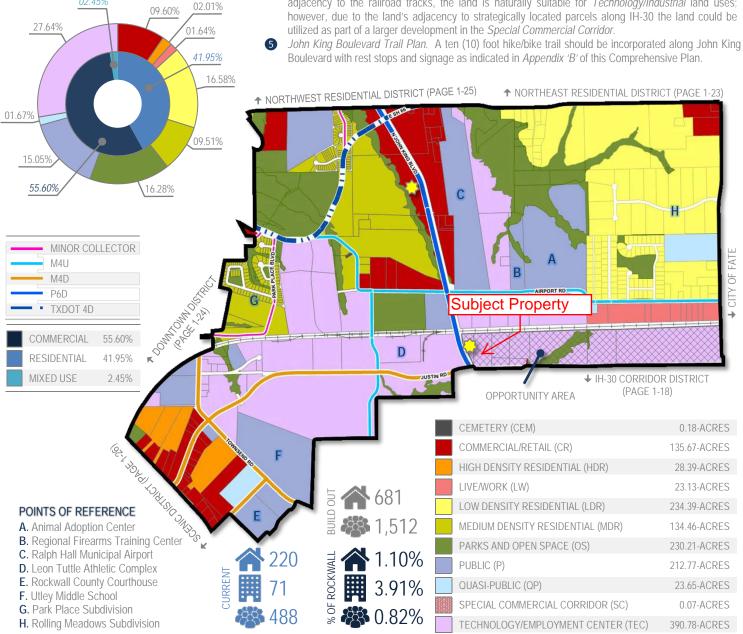


02.45%

DISTRICT STRATEGIES

The Central District still has some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward. Taking these areas into consideration the following are the strategies for this

- Live/Work. The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- when appropriate -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- Suburban Residential. While many of the larger tracts in this area are not large enough to support a master planned community (which is characteristic of Northern Estates and Northwest Residential Districts), any new Suburban Residential developments should include a mix of larger to mid-sized lots. Lots in these developments should <u>not</u> be smaller than existing Suburban Residential lots in this district, but should be comparable in size to newer developments (i.e. Ridgecrest Subdivision). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. larger lots or a large landscape buffer) adjacent to the existing subdivision.
- Commercial/Retail Centers. The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (i.e. are more characteristic of neighborhood/convenience centers); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (e.g. berms, landscaping and large buffers) to transition uses.
- Industrial/Special Commercial Corridor Opportunity Area. The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for Technology/Industrial land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be











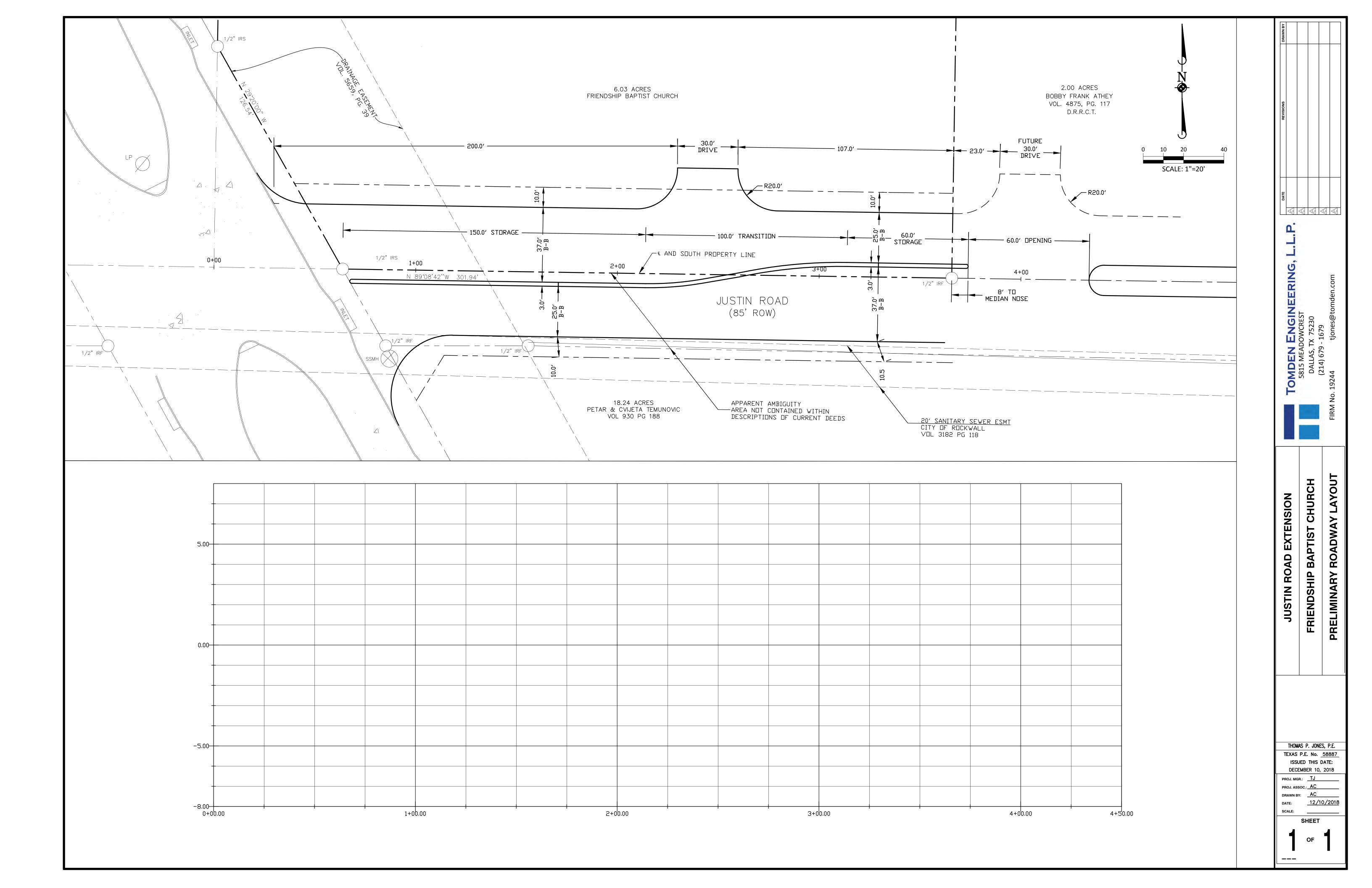












CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL. TEXAS. **AMENDING** THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A LIGHT INDUSTRIAL (LI) DISTRICT ON A 6.03-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-4 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' AND FURTHER DESCRIBED IN EXHIBIT 'B' OF THIS ORDINANCE: PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tom Jones on behalf of Susan Thomas of Rockwall Friendship Baptist Church for a change in zoning from an Agricultural (AG) District to a Light Industrial (LI) District on a 6.03-acre tract of land identified as Tract 2-4 of the D. Harr Survey, Abstract No. 103, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 04-38] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the Subject Property from an Agricultural (AG) District to a Light Industrial (LI) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Light Industrial (LI) District as stipulated in Section 1.1, *Use of Land and Buildings*, of Article IV, *Permissible Uses* and Subsection 5.02, *Light Industrial (LI) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 19TH DAY OF FEBRUARY, 2019.

ATTEST:	Jim Pruitt, Mayor
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: <u>February 4, 2019</u>	

2nd Reading: February 19, 2019

Exhibit 'A'
Zoning Exhibit

<u>Legal Description:</u> Tract 2-4 of the D. Harr Survey, Abstract No. 102



Exhibit 'B' Legal Description

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 120, City of Rockwall, Rockwall County, Texas, and being a part of a 50 acres tract of land as described in a Warrantydeed to F.B. Athey, as recorded in Volume 42, Page 91 of the Deed Records of Rockwall County, Texas, and being a part of Tract B2 as described in a Deed to Bobby Frank Athey, as recorded in Volume 4875, Page 117 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the south right-of-way line of M.K. & T. Railroad, said point being at the northwest corner of Tract B2, said point being N. 89 deg. 23 min. 21 sec. E, a distance of 360.54 feet from the intersection of the west boundary of said 50 acres and said railroad right-of-way;

THENCE N. 89 deg. 23 min. 21 sec. E. along said right-of-way line, a distance of 365.97 feet to a 1/2" iron rod found for corner;

THENCE S. 00 deg. 56 min. 05 sec. W. a distance of 732.64 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 08 min. 42 sec. W. a distance of 301.94 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner in the northeast right-of-way line of John King Boulevard, per Volume 5659, Page 39 of the Official Public Records of Rockwall County, Texas;

THENCE N. 29 deg. 20 min. 00 sec. W. along said right-of-way line, a distance of 126.54 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner;

THENCE N. 00 deg. 55 min. 26 sec. E. a distance of 613.93 feet to the POINT OF BEGINNING and containing 262,780 square feet or 6.03 acres of land.



TO: Planning and Zoning Commission

FROM: Korey Brooks, *Senior Planner*

CC: Ryan Miller, *Director of Planning and Zoning*

DATE: January 29, 2019

SUBJECT: MIS2019-002; Masonry Exception for Accessory Building

The applicant is requesting approval of a masonry exception to allow a metal accessory building on the subject property. In November 2018, the applicant submitted a request for the approval of a Specific Use Permit (SUP) for an accessory building that did not meet the requirements of the Unified Development Code (UDC). Specifically, the applicant was proposing an accessory building that exceeded the maximum size requirements (i.e. an ~ 3,000 SF metal building), exceeded the number of allowable accessory buildings (i.e. there are two [2] existing metal buildings on the property), and did not conform to the minimum masonry requirements of the Unified Development Code (UDC). On November 13, 2018, the Planning and Zoning Commission passed a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0 with Vice-Chair Chodun absent. On November 19, 2018, the City Council expressed disapproval of the proposed cladding (i.e. metal) and the size of the building, and a motion to approve the Specific Use Permit (SUP) failed by a vote of 0-5 with Mayor Pruitt and Council Member Trowbridge absent. Since that time, the City Council approved a text amendment allowing the Board of Adjustments (BOA) the ability to grant an exception to the maximum size requirements of accessory buildings, and the Planning and Zoning Commission the ability to grant variances to the masonry requirements. This eliminated the requirement of a Specific Use Permit (SUP) for accessory buildings not meeting the requirements of the Unified Development Code (UDC).

In response to this change, the applicant submitted a request to the Director of Planning and Zoning proposing a 2,000 SF building (i.e. 1,000 SF smaller than originally requested) with a four (4) foot high masonry wainscot on the front facade. In accordance with Section 8.3, City Council Approval or Denial, of Article II, Authority and Administrative Procedures, of the UDC, the Director of Planning reviewed the request and -- after conferring with the City Attorney -- determined that the request represented a substantial change from the request that was denied by the City Council. It should be noted that at the time the determination was made, staff recommended to the applicant that the masonry wainscot should be extended to all four (4) sides of the building. Based on the substantial change, the applicant submitted a request for a variance to the maximum size requirements to the Board of Adjustments (BOA). On January 10, 2019, the Board of Adjustments (BOA) granted a variance [Order No. BOA 2019-2-V] to allow an accessory building that exceeded the maximum allowable size and the maximum number of accessory buildings permitted (i.e. a total of three [3] accessory buildings) on the subject property. Based on this approval, the applicant has the ability to construct a 2,000 SF accessory building meeting the minimum masonry requirements on the subject property by-right; however, since the proposed building is metal and does not conform to the minimum masonry requirements, a masonry exception from the Planning and Zoning Commission is required. According to Subsection 7.04, Accessory Structure Development Standards, of Article V, District Development Standards, of the UDC, "(a)ccessory buildings and accessory structures not meeting the masonry requirements shall require approval of an exception from the Planning and Zoning Commission." The approval of any exception to the minimum masonry requirements is a discretionary decision for the Planning and Zoning Commission.

ORDER OF THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS

ORDER NO. BOA 2019-2-V

WHEREAS, the Board of Adjustment held a public hearing on the 10th day of January, 2019, to consider the application of Mr. Rubin E. Harle, as owner for the tract of land described below, for a variance from the SF-1 zoning which allows 2 accessory structures up to 225 square feet and 15' in height, or 1225 square feet and 15' high accessory structure and 1 detached garage up to 900 square feet and 15' in height.

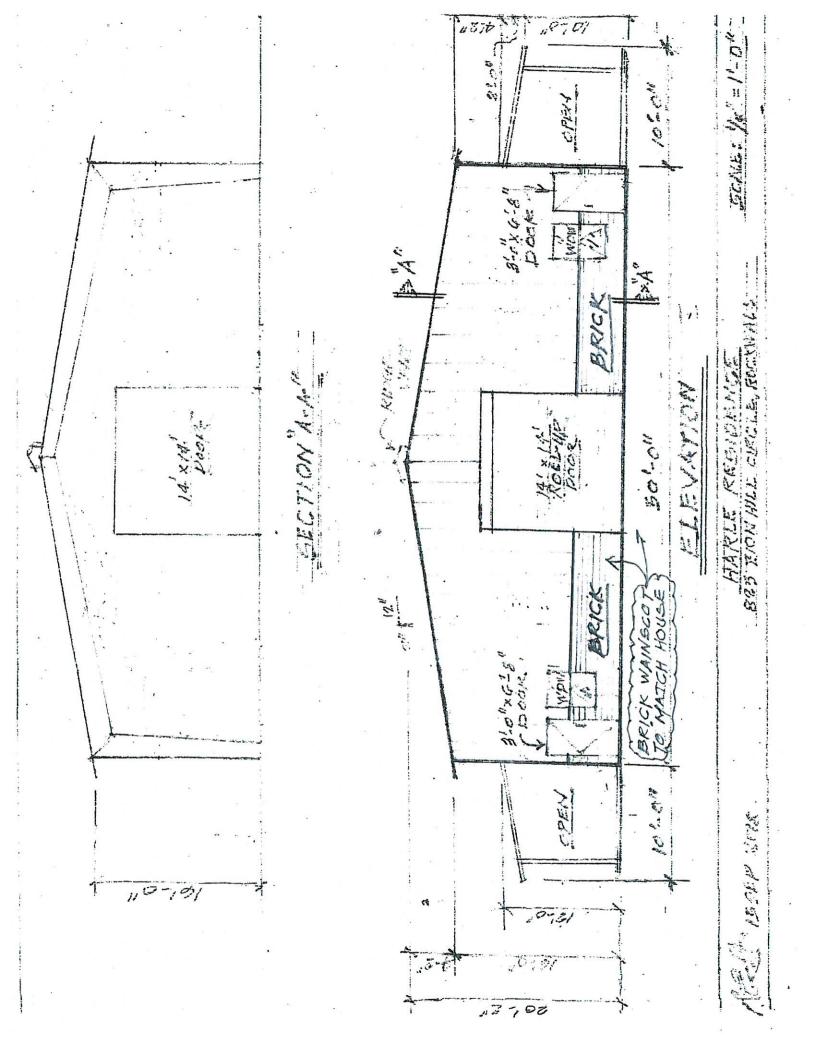
WHEREAS, the applicant requested a variance from the said zoning which to allow an accessory structure to be built in excess of the maximum allowable size and an increase in the allowable number of accessory structures on a track of land known as Lot 5R, Block A, Zion Addition, zoned Single-Family One (SF-1) District, addressed as 825 Zion Hill Circle.

WHEREAS, after due consideration and discussion it appears that the granting of such a variance would not cause an adverse effect on the surrounding properties and would not be contrary to the public interest.

NOW, THEREFORE BE IT ORDERED BY THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS:

- Section 1. That all of the above premises are found and determined to be true and correct and are incorporated into the body of this order as if copied in their entirety.
- Section 2. That the request from the applicant for this Board to grant a variance from the zoning, be and in the same is hereby granted so as to an accessory structure to be built in excess of the maximum allowable size and an increase in the allowable number.
- Section 3. That the Building Official of the City is hereby authorized and directed to issue the appropriate permits, if any, for the above described property under the terms and conditions of this Order.
- Section 4. That this Order was passed by the concurring vote of at least four (4) members of the Board of Adjustment and is effective as of the 10th day of January, 2019,

ATTEST:	APPROVED:
Secretary	Chairman



TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: January 29, 2019

SUBJECT: Z2019-001; Amendment to Article IV, Permissible Uses, of the UDC to amend

Guest Quarters/Secondary Living Units and to add Barns or Agricultural Accessory

Buildings to the Land Use Charts and Land Use Standards

On January 7, 2019, the City Council directed staff to amend the *Land Use Standards* contained in Article IV, *Permissible Uses*, of the UDC to allow *guest quarters/secondary living units* not meeting the requirements stated in the *Land Use Standards* the ability to request a Specific Use Permit (SUP). In addition, the City Council also directed staff to create a land use for *Barns or Agricultural Accessory Buildings*. This direction came in response to a request by Dewayne Cain to amend the code to allow an ~4,950 SF, metal barn that would contain a storage area for eight (8) vehicles and a *guest quarters/secondary living facility (i.e. the facility includes all components of a residential living unit [e.g. kitchen, bathroom, etc.]) on a property zoned Agricultural (AG) District.*

Currently, the UDC does allow *guest quarters/secondary living units* in an Agricultural (AG) District pending they are [1] accessory uses to the primary use (*i.e. single family home*), [2] not to exceed 30% of the area of the main structure, and [3] that they cannot be sold or conveyed separately without meeting the requirements of the zoning district and subdivision ordinance; however, the code does not address *guest quarters/secondary living units* that do not meet these standards. In other residential zoning districts (*i.e. SF-8.4, SF-7, ZL-5 and 2F*) this use is only allowed through a Specific Use Permit (SUP), which gives the City Council the discretion to grant these even if they do not meet the requirements. Based on the City Council's direction staff proposes to change the code as follows (with the *highlighted, italics* areas indicating the changes):

Residential	and	Lodging	

	AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	2-4S	2F-5	2F	MF-14	← Residential Zoning Districts Commercial Zoning Districts → Land Use ↓	ΙQ	RO	SN	GR	Э	НС	LI	IH
Å	A	Α	Α	Α	Α	S	S	S	S	Р	Guest Quarters/Secondary Living Unit +								

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

Guest quarters/secondary living unit.

- (1) Guest quarters or secondary living units may be allowed on a property in a residential or commercial zoning district provided that it is ancillary to a single family home the primary use and that only one such facility is provided.
- (2) The area of such quarters shall not exceed 30 percent of the area of the main structure.
- (3) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance.
- (4) Guest quarters or secondary living units not meeting the requirements stated above shall require a Specific Use Permit (SUP).

These changes would allow *guest quarters/secondary living units* not meeting the requirements the ability to request a Specific Use Permit (SUP) in the AG, SF-E, SF-1, SF-16, SF-10, and MF districts.

The purpose of creating a *Barns or Agricultural Accessory Buildings* land use came about due to the fact that the current code does not allow accessory buildings in an Agricultural (AG) District. According to Article IV, *Permissible Uses*, of the UDC:

Residential and Lodging

AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	2-4S	5-1Z	2F	MF-14	← Residential Zoning Districts Commercial Zoning Districts → Land Use ↓	DT	RO	SN	SR	Э	ЭН	П	王
	Р	Р	Р	Р	Р	Р	Р	Р	Р	Accessory Building +		Р	Р	Р	Р	Р	Р	Р

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

The purpose of this is to incentivize smaller properties (*i.e.* properties less than ten [10] acres in size and considered to be legally non-conforming) to zone in accordance with the Future Land Use Plan, bringing them into conformance with the UDC. Without this requirement, it would be difficult for the City to incentivize smaller properties to change their zoning, which could have the effect of leaving small spots of Agricultural (AG) District zoning on non-conforming lots throughout the City. To address this, the City Council has directed staff to establish a new land use (e.g. barn/agricultural accessory building), which would allow larger buildings in the Agricultural (AG) District. Based on this direction the new land use would be created as follows (with the highlighted, italics areas indicating the changes):

Rural and Animal Related

AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	MF-14	← Residential Zoning Districts Commercial Zoning Districts → Land Use ↓	DT	RO	SN	GR	S	ЭН	П	=
S										Barn or Agricultural Accessory Building+								

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

Barn or Agricultural Accessory Building. A Barn or Agricultural Accessory Building is a building that is located on a property that is a minimum of ten (10) acres in size, zoned Agricultural (AG) District, and is intended to be used to store agricultural equipment used for animal production, crop production and/or other agricultural related uses.

- (1) A Barn or Agricultural Accessory Building is a minimum of 2,000 SF and a maximum of 4,999 SF in total size (i.e. under roof).
- (2) A Barn or Agricultural Accessory Building is exempt from the masonry requirements stipulated by Section 7.01, Residential District Development Standards.
- (3) The Barn or Agricultural Accessory Building shall be located behind the front façade of the primary structure, and be subject to the same building setbacks as the primary structure.

At the meeting on January 7, 2019, the City Council did have a discussion concerning allowing these structures by-right as opposed to by Specific Use Permit (SUP); however, staff is obligated to mention that allowing these structures by-right would directly conflict with the City Council's recent action concerning *Case No. Z2018-053*. This case involved a structure that was constructed illegally without a building permit. The structure itself incorporated two (2) logistics containers, connected by wood siding, and covered by a metal roof. This case was

ultimately denied by the City Council; however, should this proposed ordinance be passed the structure would meet all the criteria and would be permitted to remain on the property. With this being said any changes to the code are discretionary to the City Council pending a recommendation by the Planning and Zoning Commission.

In accordance, with Section 4.2 of Article XI, *Zoning Related Applications*, of the UDC staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. Attached to this case memo is a draft ordinance outlining the proposed changes. The schedule for this text amendment is as follows:

Planning and Zoning Work Session: January 29, 2019 Planning and Zoning Public Hearing: February 12, 2019 City Council Public Hearing/First Reading: February 18, 2019 City Council Second Reading: March 4, 2019

Staff will send out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 6.1 of Article II, *Authority and Administrative Procedures*, of the UDC. Should the Planning and Zoning Commission have any questions staff will be available at the meeting on *January 29, 2019*.

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE IV, PERMISSIBLE USES; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [Ordinance No. 04-38] has been initiated by the City Council of the City of Rockwall to amend Article IV, Permissible Uses, of the Unified Development Code [Ordinance No. 04-38]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance.

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense:

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable:

SECTION 4. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF MARCH, 2019.

Ji	m Pruitt,	Mayor	

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: <u>February 18, 2019</u>

2nd Reading: March 4, 2019

Exhibit 'A'

Article IV, Permissible Uses, of the Unified Development Code

Additions: Highlighted

Deletions: Highlighted, Strikeout

SECTION 1: LAND USE SCHEDULE

Section 1.1: Use of Land and Buildings

Residential and Lodging

AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	MF-14	← Residential Zoning Districts Commercial Zoning Districts → Land Use ↓	DT	RO	NS	GR	C	НС	П	重
А	А	Α	Α	Α	S	s	S	s	Р	Guest Quarters/Secondary Living Unit +								

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

Rural and Animal Related

AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	MF-14	← Residential Zoning Districts Commercial Zoning Districts → Land Use ↓	DT	RO	NS	GR	c	HC	П	豆
S)					Barn or Agricultural Accessory Building+								

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

SECTION 2: USE STANDARDS

Section 2.1.1: Rural and Animal Related

Barn or Agricultural Accessory Building. A Barn or Agricultural Accessory Building is a building that is located on a property that is a minimum of ten (10) acres in size, zoned Agricultural (AG) District, and is intended to be used to store agricultural equipment used for animal production, crop production and/or other agricultural related uses.

- (1) A Barn or Agricultural Accessory Building is a minimum of 2,000 SF and a maximum of 4,999 SF in total size (i.e. under roof).
- (2) A Barn or Agricultural Accessory Building is exempt from the masonry requirements stipulated by Section 7.01, Residential District Development Standards.
- (3) The Barn or Agricultural Accessory Building shall be located behind the front façade of the primary structure, and be subject to the same building setbacks as the primary structure.

Section 2.1.2: Residential and Lodging Use Conditions

Guest quarters/secondary living unit.

- (1) Guest quarters or secondary living units may be allowed on a property in a residential or commercial zoning district provided that it is ancillary to a single family home the primary use and that only one such facility is provided.
- (2) The area of such quarters shall not exceed 30 percent of the area of the main structure.
- (3) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance.
- (4) Guest quarters or secondary living units not meeting the requirements stated above shall require a Specific Use Permit (SUP).

City of Rockwall



1/18/2019 LM

1/25/2019 DG

Applied

Closed

Expired

Status

Approved

Project Plan Review History

Project Number Z2019-002

Project Name SUP for SPR Packaging

Type ZONING Subtype SUP

Status P&Z HEARING

Site Address City, State Zip

INDUSTRIAL ROCKWALL, TX 75087 Zoning

Subdivision Tract Block Lot No Parcel No General Plan

Owner

Applicant

7 NULL 7 0020-0000-0007-00-0R

ROCKWALL, 12.833 LP

PROSS DESIGN GROUP, INC.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	1/18/2019	1/25/2019			
ENGINEERING	Sarah Hager	1/18/2019	1/25/2019	1/25/2019	7 APPROVED	

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

(1/25/2019 10:10 AM SH)

The Zoning is Approved. Consider the following items moving forward

For Site Plan.

- Need to show Existing and Proposed Utilities.
- Show Existing Floodplain.
- Show Proposed Fire Lanes.
- Show dimensions on parking.
- Fire Lane must have 30' Radii.
- No utilities in Detenion pond. The force main will need to be relocated based on this layout
- Must label driveway spacing.
- Airport Rd and E Washington must have 65' ROW. Must Dedicate 32.5' from the centerline. Must build min 24' of Airport Rd with Storm.

The following items are for your information for engineering design

- 4% Engineering Inspection Fees
- Impact fees.
- Flood Study is required. LOMR is required during construction.
- WOTUS study is required.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii or larger depending on height of building.
- Parking to be 20'x9'
- No dead-end parking.
- Driveway spacing must be labeled o Site Plan
- 12" water line available in Airport Rd. Must loop 8" waterline in site.
- 8" sewer available east of property.
- Dumpster area to drain to oil/water separator.
- Must have detention. Manning's "c-value" is per zoning for the entire property. 4:1 max slope...no vertical walls allowed in detention easement
- Any detention must be above the existing 100-year flood elevation unless the floodplain is mitigated for.
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must meet all City Engineering Standards.
- Pro-rata due for sewer (\$105.18/lf) if you tie sewer along Industrial

FIRE	Ariana Hargrove	1/18/2019 1/25/2019 1/24/2019	6 APPROVED	
PLANNING	David Gonzales	1/18/2019 1/25/2019 1/25/2019	7 COMMENTS	See comments

Project Reviews.rpt Page 2 of 4

Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) for a structure that exceeds 60-feet in a Light Industrial (LI) District on a 42.61-acre tract of land identified as Tract7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and, Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.

PLANNING COMMENTS - DAVID GONZALES - 01.24.2019

All staff comments are to be addressed and resubmitted by Tuesday February 5, 2019. Please provide two (2) large copies [FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed/acknowledge are as follows:

- On all future submittals please include the Case Number Z2019-002 on the lower right hand corner.
- When provided, please review the SUP Draft Ordinance prior to the Planning & Zoning public hearing scheduled for February 12, 2019 and return with red lined corrections and/or additions you feel may be necessary for staff review and consideration
- ** Planning Staff additional comments to be considered by the P&Z and City Council as conditions of approval:
- 1. Approval of an SUP is required to allow for the buildings/structures to exceed 60-ft in overall height within the Light Industrial (LI) District.
- 2. Adherence to all Engineering and Fire Department standards shall be required
- *** Operational Conditions:
- 1) The development of this property shall generally conform to the Concept Plan depicted in Exhibit'B' of this ordinance; and,
- 2) The maximum overall height of the buildings and/or structures shall not exceed 120-feet, as depicted in Exhibit 'C' of thisordinance; and,
- 3) The building elevations depicted in Exhibit 'C' are for reference to the height of the extruder bays and do not represent approved building elevations. Any building elevations associated with the project shall be subject to the requirements of the Unified Development Code(UDC) and will be subject to recommendations by the Architectural Review Board and approval by the Planning and Zoning Commission
- 4) Future expansion of the site [i.e. Phases 3, 4, and 5], as depicted in Exhibit 'B' of this ordinance, should have all silo's placed on the southern portion of the subject property, adjacent to the railroad tracks. Screening of these silo's shall be required and approved at site plan by the Planning and Zoning Commission

The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the SUP request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

*** Meeting Dates to Attend***

Project Reviews.rpt Page 3 of 4

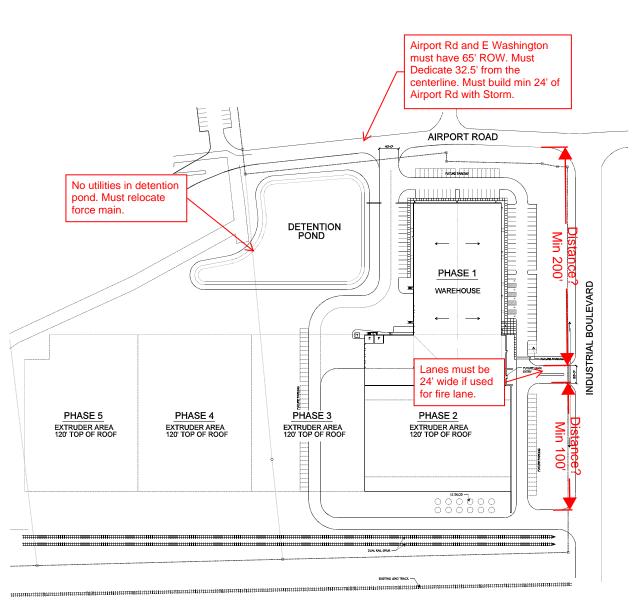
City Council - Consent/Action Item: March 4, 2019 (6:00 p.m.) [2nd Reading of SUP Ordinance (if approved at 1st reading)]

Project Reviews.rpt Page 4 of 4

- 4% Engineering Inspection Fees
- Impact fees.
- Flood Study is required. LOMR is required during construction.
- WOTUS study is required.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii or larger depending on height of building.
- Parking to be 20'x9'
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- Driveway spacing must be labeled o Site Plan.
- 12" water line available in Airport Rd. Must loop 8" waterline in site.
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- Must meet all City Engineering Standards.
- Pro-rata due for sewer (\$105.18/lf) if you tie sewer along Industrial

For Site Plan.

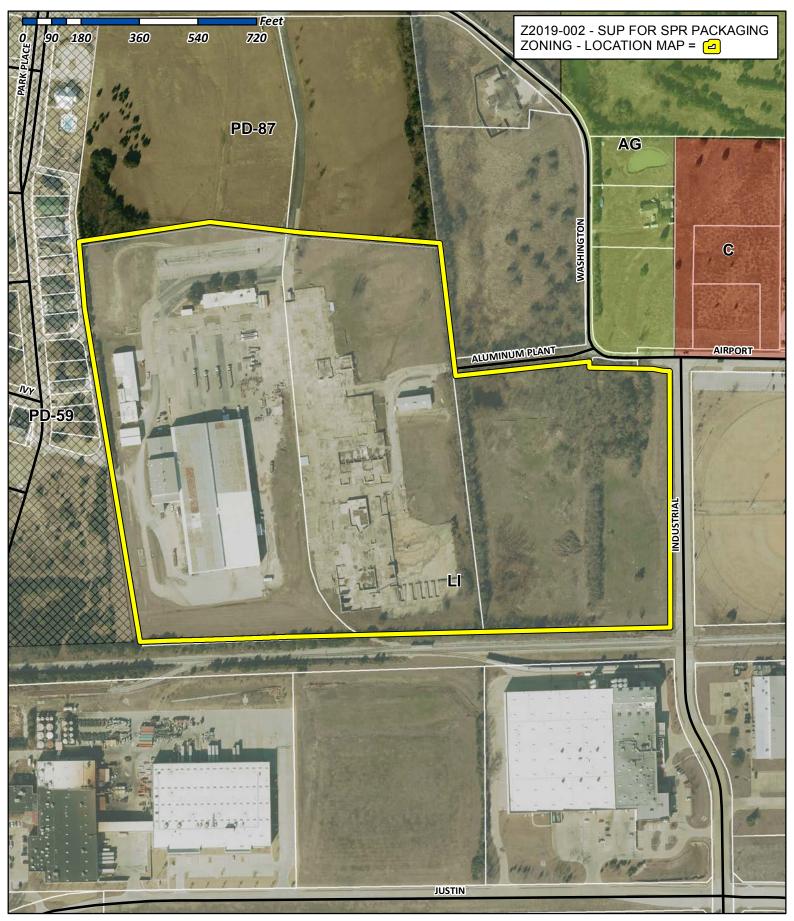
- Need to show Existing and Proposed Utilities.
- Show Existing Floodplain.
- Show Proposed Fire Lanes.
- Show dimensions on parking.
- Fire Lane must have 30' Radii.













City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

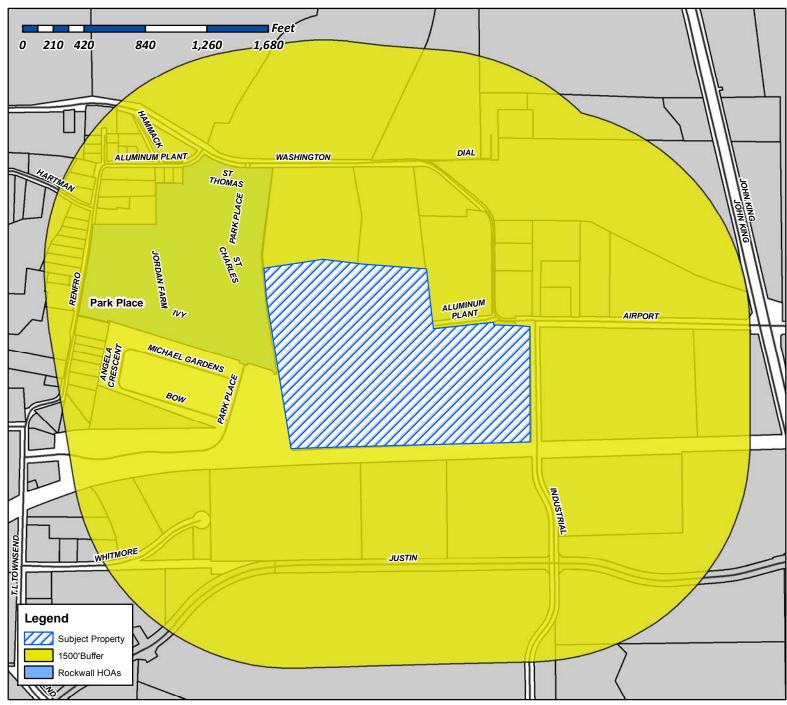




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2019-002

Case Name: SUP for SPR Packaging

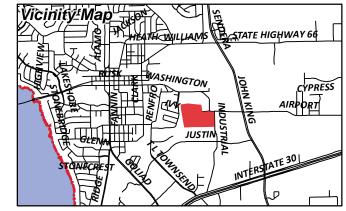
Case Type: Zoning

Zoning: Light Industrial (LI) District Case Address: SW Corner of Industrial Blvd.

and Airport Road

Date Created: 1/18/2019

For Questions on this Case Call (972) 771-7745

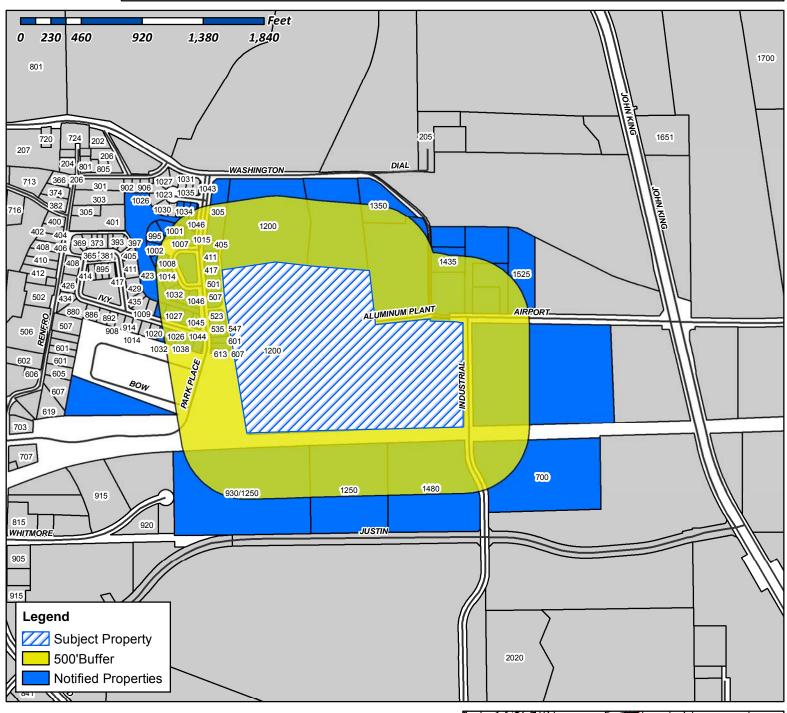




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2019-002

Case Name: SUP for SPR Packaging

Case Type: Zoning

Zoning: Light Industrial (LI) District

Case Address: SW Corner of Industrial Blvd. and

Airport Road

Date Created: 1/22/2019

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT	CURRENT RESIDENT	TROSPER MARK AND GLORIA
1001 ST CHARLES CT	1002 ST CHARLES CT	1007 ST. CHARLES CT
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
TROSPER MARK AND GLORIA	CURRENT RESIDENT	CURRENT RESIDENT
1007 ST. CHARLES CT	1008 ST CHARLES CT	1014 ST CHARLES CT
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	DAVID DAVID A AND CHRISTINE A	CURRENT RESIDENT
1015 ST CHARLES CT	1020 SAINT CHARLES CT	1021 IVY LN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
FECHT JARED W & JULIE	YOUNG PHIL & KATHY	CURRENT RESIDENT
1026 IVY LN	1026 SAINT CHARLES COURT	1027 IVY LN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
JACKSON JOEY W AND ANITA L	FIELDS SHAY AND JONI	EDWARDS EDWINA W REVOCABLE TRUST
1032 IVY LANE	1032 ST CHARLES COURT	1034 ST THOMAS CT
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	ALMQUIST DANA	CURRENT RESIDENT
1038 ST THOMAS CT	1038 IVY LANE	1039 IVY LN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CURRENT RESIDENT	SMITH TAMMY WILLIAMS AND RICHARD
1040 ST CHARLES CT	1042 ST THOMAS CT	1044 IVY LN
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
SMITH RICHARD AND TAMMY	CURRENT RESIDENT	CURRENT RESIDENT
1044 IVY LN	1045 IVY LN	1046 ST CHARLES CT
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CONFIDENTIAL	ZAPH & ATH PROPERTIES
1046 ST THOMAS CT	1050 IVY LANE	1125 WATERSIDE CIR
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
HOULE GARY AND AYURNI NAKAMURA	CURRENT RESIDENT	CURRENT RESIDENT
114 MISCHIEF LN	1200 E WASHINGTON	1200 E WASHINGTON
ROCKWALL, TX 75032	ROCKWALL, TX 75087	ROCKWALL, TX 75087

CURRENT RESIDENT
1250 JUSTIN RD
ROCKWALL, TX 75087

SOMMER RICHELLE AND RICHARD 131 COPTER LN FATE, TX 75189

CURRENT RESIDENT 1350 E WASHINGTON ROCKWALL, TX 75087

CURRENT RESIDENT
1435 E WASHINGTON ST
ROCKWALL, TX 75087

FLEXLAND LP 1480 JUSTIN RD ROCKWALL, TX 75087 ALVAPLAST US INC 1480 JUSTIN RD ROCKWALL, TX 75087

ALVAPLAST US DEVELOPMENT LLC 1480 JUSTIN ROAD ROCKWALL, TX 75087 CURRENT RESIDENT 1525 AIRPORT RD ROCKWALL, TX 75087

VRANA MARK AND 1650 JOHN KING BLVD APT 3107 ROCKWALL, TX 75032

LAKEVIEW SUMMIT PROPERTIES LLC 1870 HILLCROFT DR ROCKWALL, TX 75087 P & P ENTERPRISES 230 MYERS RD HEATH, TX 75032 SHERMAN JOCELYN D 233 WILLINGHAM DR COPPELL, TX 75019

CURRENT RESIDENT 305 PARK PLACE ROCKWALL, TX 75087 COLUMBIA DEVELOPMENT CO LLC 305 PARK PLACE BLVD ROCKWALL, TX 75087 COLUMBIA EXTRUSION CORP 305 PARK PLACE BLVD ROCKWALL, TX 75087

LAKES REGIONAL MHMR CENTER 400 AIRPORT RD TERRELL, TX 75160 BARRON GARY S AND DELL S 405 PARK PLACE BLVD ROCKWALL, TX 75087 JONES KENNETH AND CINDY 411 PARK PLACE BLVD ROCKWALL, TX 75087

COLBERT PHILIP AND MARGIE 417 PARK PLACE BLVD ROCKWALL, TX 75087 STANLEY STEVEN B AND ROBIN 423 PARK PLACE BLVD ROCKWALL, TX 75087 MORGAN WILBUR J AND NANCY F 429 PARK PLACE BLVD ROCKWALL, TX 75087

ROLLINS DANNY & JONNA 4505 LAKE HILL DR ROWLETT, TX 75089 KRAEMER TERESA A 4525 COLE AVENUE 0 DALLAS, TX 75205 LOVOI JOSEPH J SR AND VELMA J 501 PARK PLACE BLVD ROCKWALL, TX 75087

CURRENT RESIDENT 507 PARK PLACE BLVD ROCKWALL, TX 75087 RASMUSSEN MICHAEL AND DELILA RASMUSSEN 507 PARK PLACE BLVD ROCKWALL, TX 75087 GARCIA MELISSA P AND 513 PARK PLACE BLVD ROCKWALL, TX 75087

BLACKWOOD SCOTT W & GLENITA G 5205 S FM 549 ROCKWALL, TX 75032 CURRENT RESIDENT 523 PARK PLACE BLVD ROCKWALL, TX 75087 PROPER GROUP, LLC 5250 TX-78 0 SACHSE, TX 75048

CURRENT RESIDENT 535 PARK PLACE BLVD ROCKWALL, TX 75087	HENRY PATRICIA A 541 PARK PLACE BLVD ROCKWALL, TX 75087	BAYS JACOB M 5435 N GARLAND AVE 0 GARLAND, TX 75040
CURRENT RESIDENT	DUKE JERI L	CURRENT RESIDENT
547 PARK PLACE BLVD	5911 PINEY BIRCH COURT	601 PARK PLACE BLVD
ROCKWALL, TX 75087	KINGWOOD, TX 77345	ROCKWALL, TX 75087
CURRENT RESIDENT	ROCKWALL COMMUNITY PLAYHOUSE	CURRENT RESIDENT
607 PARK PLACE BLVD	609 E RUSK ST	613 PARK PLACE BLVD
ROCKWALL, TX 75087	ROCKWALL, TX 75087	ROCKWALL, TX 75087
CURRENT RESIDENT	CONTINENTAL PET TECHNOLOGY	BENEDETTO MATT
700 INDUSTRIAL	700 INDIAN SPRINGS DR STE 100	907 W HOLIDAY RD
ROCKWALL, TX 75087	LANCASTER, PA 17601	ROCKWALL, TX 75087
MOORE CONNIE JO	WHITMORE MANUFACTURING CO	WHITMORE MANUFACTURING CO
908 COUNTRY CLUB DR	930 WHITMORE DRIVE	930 WHITMORE DRIVE
HEATH, TX 75032	ROCKWALL, TX 75087	ROCKWALL, TX 75087
MARTIN CHARLES TED & RHONDA K	COX STEPHEN	PODINA HERB AND LAURA
995 ST CHARLES CT	M/R	PO BOX 1586
ROCKWALL, TX 75087	, TX	ROCKWALL, TX 75087

SOROPTIMIST INT'L OF ROCKWALL PO BOX 372 ROCKWALL, TX 75087 DAVIS SHAUNTE AND JACOB PO BOX 462311 GARLAND, TX 75046

SPECIAL USE PERMIT DESIGN REQUEST NARRATIVE

On behalf of SPR Packaging, we are representing the Owner in the design of the new facility, SPR North, which will be north of their current facility at 1480 Justin Road. As you are maybe aware, their business involves the use of high bay extruder equipment to fabricate plastic bags. The extruders themselves are many, many feet tall. The section of the building that houses the extruder will need to have a roof level of 120' above finish floor. This exceeds the current allowable height for buildings by 60'. SPR had previously received a Special Use Permit for the 75' high extruder section for their existing building on Justin Road. Technology has changed, and the new equipment is now much larger and much taller, requiring the higher top of roof. Accordingly, the Owner requests the variance to allow the 120' maximum on the extruder roof areas only. This would apply for Phase 3, Phase 4, and Phase 5 Extruder Expansions. See Elevations and Site Plan.

Sincerely,

Mark Pross President

MWP/cs

Attachment: Elevation Concept

PROPERTY DESCRIPTION

42.6035 ACRE PARCEL

N. BUTLER SURVEY - ABSTRACT NO. 20

R. BALLARD SURVEY - ABSTRACT NO. 29

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BEING A 42.6035 ACRE PARCEL OF LAND SITUATED IN THE N. BUTLER SURVEY ABSTRACT NO. 20 AND THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; SAID 42.6035 ACRE TRACT BEING ALL OF 11.3736 ACRE OF TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEED TO ALVAPLAST U.S., INC., A DELAWARE CORPORATION RECORDED IN INSTRUMENT NUMBER 20150000002739 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING PART OF 98.319 ACRE TRACT OF LAND DESCRIBED IN A WARRANTY DEED TO COLUMBIA EXTRUSION CORPORATION, DATED DECEMBER 22, 1988 AND RECORDED IN VOLUME 444, PAGE 102 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING A PART OF LOT 1 IN BLOCK 1 OF INDALLOY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "D", SLIDE 273 OF THE PLAT RECORDS OF ROCKWALL COUNTY TEXAS; SAID 42.6035 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT FOR CORNER AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (A 65-FOOT WIDE RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF AIRPORT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE SOUTH 00° 07' 36" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND THE EAST LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT FOR A DISTANCE OF 788.63 FEET TO A POINT FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF UP/DALLAS GARLAND N.E. RAILROAD (A 100-FOOT WIDE RIGHT-OF-WAY); SAID POINT BEING THE SOUTHEAST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

THENCE SOUTH 88° 36' 50" WEST DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD AND THE SOUTH LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT, FOR A DISTANCE OF 584.08 FEET TO THE SOUTHWEST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT

AND THE SOUTHEAST CORNER OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF AFORESAID 98.319 ACRE TRACT DESCRIED IN DEED TO COLUMBIA EXTRUSION CORPORATION;

THENCE SOUTH 88° 32' 20" WEST CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD AND THE SOUTH LINE OF SAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND PASSING AND PASSING APPROXIMATELY AT A DISTANCE OF 332.77 FFET THE SOUTHWEST CORNER OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR A TOTAL DISTANCE OF 578.23 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 21774.77 FEET WITH A CENTRAL ANGLE OF 00° 58' 11" AND A CHORD BEARING SOUTH 88° 05' 13" WEST AT A DISTANCE OF 368.51 FEET:

THENCE SOUTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT AND CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR AN ARC DISTANCE OF 368.52 FEET TO A POINT FOR CORNER;

THENCE SOUTH 88° 04' 12" WEST CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR A DISTANCE OF 101.65 FEET TO A POINT FOR CORNER;

THENCE NORTH 09° 24' 49" WEST DEPARTING THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR A DISTANCE OF 1039.14 FEET TO A POINT FOR CORNER IN THE EAST BOUNDARY LINE OF PARK PLACE WEST II, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE AMENDED PLAT THEREOF RECORDED IN CABINET "G", SLIDE 100 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

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THENCE SOUTH 83° 23' 14" EAST AND PASSING AT A DISTANCE OF 216.91 FEET THE WEST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND CONTINUING ON FOR A TOTAL DISTANCE OF 274.94 FEET TO A POINT FOR CORNER;

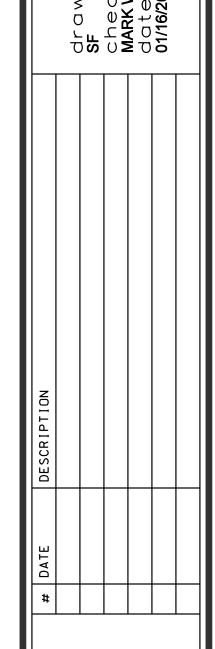
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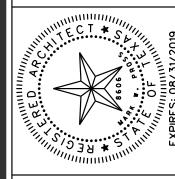
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THENCE SOUTH 06° 22' 45" EAST CONTINUING ALONG THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION FOR A DISTANCE OF 50.93 FEET TO A POINT FOR CORNER IN THE SOUTH RIGHT-OF-WAY LINE OF AFORESAID AIRPORT ROAD; SAID POINT ALSO BEING THE NORTHWEST CORNER OF AFORESAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

THENCE DEPARTING THE WEST LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC.TRACT AND THE EAST LINE OF SAID LOT 1 IN BLOCK 1 AND ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID AIRPORT ROAD, THE FOLLOWING COURSES AND DISTANCES NUMBERED (1) THROUGH (5);

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- 2. SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 17.89 FEET TO A POINT FOR CORNER:
- **3.** SOUTH 88° 37' 46" EAST FOR A DISTANCE OF 195.72 FEET TO A POINT FOR CORNER;
- **4.** SOUTH 79° 05' 55" EAST FOR A DISTANCE OF 32.05 FEET TO A POINT FOR CORNER:
- **5.** SOUTH 88° 51' 14" EAST FOR A DISTANCE OF 20.01 FEET TO THE POINT OF BEGINNING AND CONTAINING 42.6035 ACRES OF LAND, MORE OR LESS.









job no 1850 sheet **A1.0**

SPECIAL USE PERMIT

BUILDING MASTERPLAN

SCALE: 1"=60'-0"

\$TIME\$ \$DATE\$

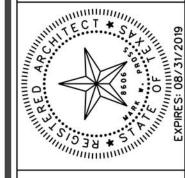


DATE DESCRIPTION

drawn
SF

check
MARK W.

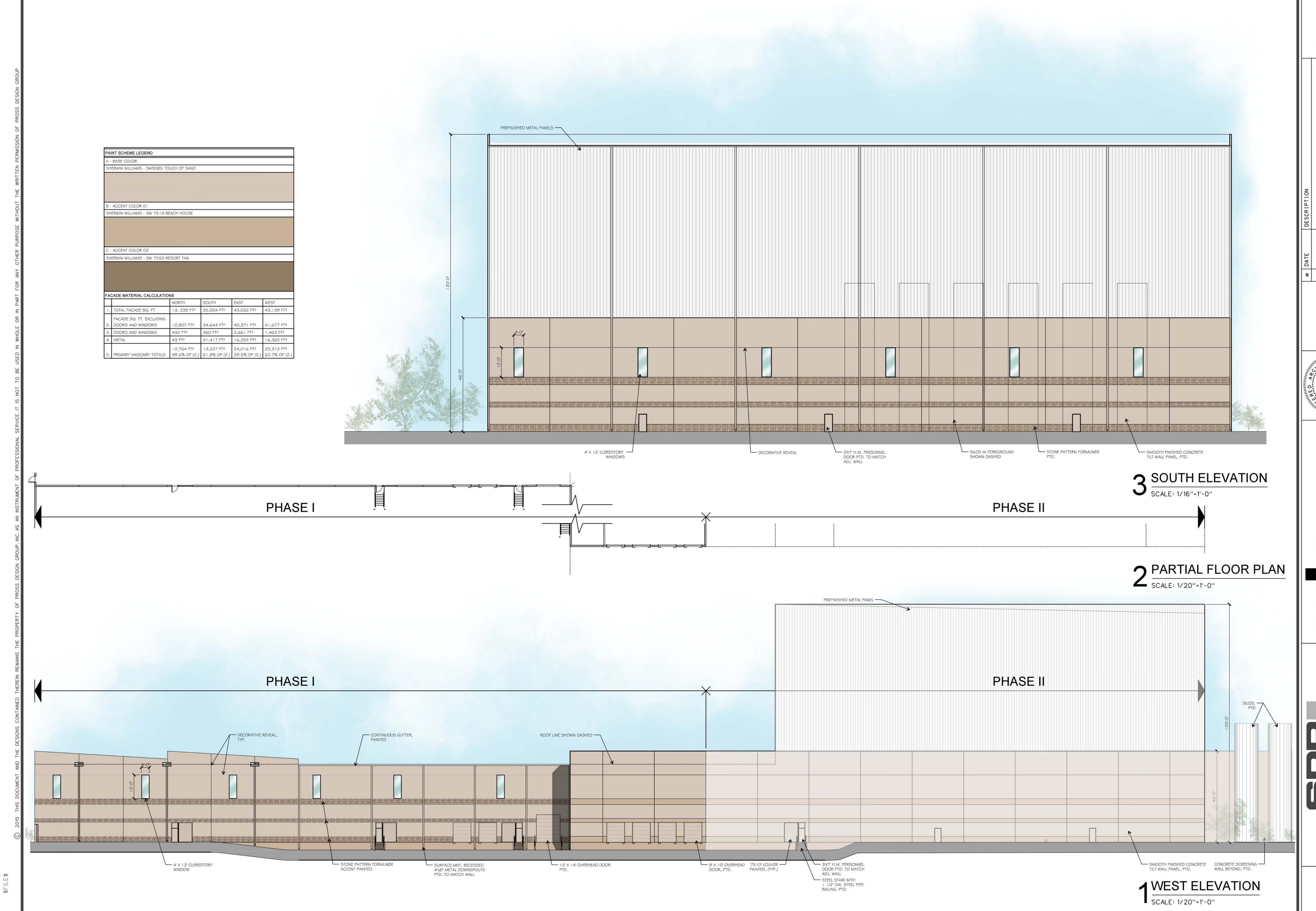
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01/04/19



pross design group, incorpo

PACKWALL, TEXAS

job no 1850 sheet **A3.0**



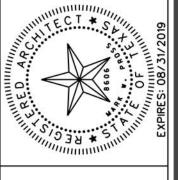
DATE DESCRIPTION

draw
SF

chec

MARKW

date:



ross design group, incorpost Hill Road, Suite 180, Dallas, Texas 752



job no 1850 sheet **A3.1**

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A SPECIFIC USE PERMIT (SUP) ALLOWING A STRUCTURE THAT EXCEEDS 60-FEET IN HEIGHT WITHIN A LIGHT INDUSTRIAL (LI) DISTRICT, ON A 42.61-ACRE TRACT OF LAND BEING IDENTIFIED AS TRACT 7 OF THE N. BUTLER SURVEY, ABSTRACT NO. 20 (11.3736-ACRES); TRACT 31 OF THE R. BALLARD SURVEY, ABSTRACT NO. 29 (8.197-ACRES): AND LOT 1-01, BLOCK 1, INDALLOY ADDITION (14.53-ACRES), CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) to allow for a structure that exceeds 60-feet in height within the *Light Industrial (LI) District* on an 42.61-acre tract of land, identified as Tract 7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract 31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned *Light Industrial (LI) District*, generally located at the terminus of Aluminum Plant Road, and more specifically described in *Exhibit* 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

Section 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a structure that exceeds 60-feet in height within the Light Industrial (LI) District as stipulated by Section 5.01, Light Industrial (LI) District, and Section 7.03, Non-Residential District Development Standards, of Article V, District Development Standards, of the Unified Development Code [Ordinance No. 04-38] on the Subject Property; and

Section 2. That the Specific Use Permit (SUP) shall be subject to the conditions set forth in

Section 5, Light Industrial (LI) Districts, of Article V, District Development Standards, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an office/ warehouse/manufacturing facility that exceeds 60-feet in height on the *Subject Property*, and conformance to these operational conditions is required for continued operations:

- 1) The development of this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance; and,
- 2) The maximum overall height of the buildings and/or structures shall not exceed 120-feet, as depicted in *Exhibit 'C'* of this ordinance; and,
- 3) The building elevations depicted in Exhibit 'C' are for reference to the height of the extruder bays, and do not represent approved building elevations. Any building elevations associated with the project shall be subject to the requirements of the Unified Development Code (UDC) and will be subject to recommendations by the Architectural Review Board and approval by the Planning and Zoning Commission.
- 4) Future expansion of the site [*i.e. Phases 3, 4, and 5*], as depicted in *Exhibit 'B'* of this ordinance, should have all silo's placed on the southern portion of the subject property, adjacent to the railroad tracks. Screening of these silo's shall be required and approved at site plan by the Planning and Zoning Commission.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4(3) of Article IV, Permissible Uses, of the Unified Development Code (UDC).
- 2) This Specific Use Permit (SUP) shall be subject to all requirements contained in Section 4, Specific Use Permits, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).
- **Section 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.
- **Section 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict
- **Section 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not

to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 8. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4^{TH} DAY OF MARCH, 2019.

	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: <u>February 19, 2019</u>	

2nd Reading: March 4, 2019

Exhibit 'A':

Legal Description

BEING A 42.6035 ACRE PARCEL OF LAND SITUATED IN THE N. BUTLER SURVEY ABSTRACT NO. 20 AND THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; SAID 42.6035 ACRE TRACT BEING ALL OF 11.3736 ACRE OF TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEED TO ALVAPLAST U.S., INC., A DELAWARE CORPORATION RECORDED IN INSTRUMENT NUMBER 20150000002739 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING PART OF 98.319 ACRE TRACT OF LAND DESCRIBED IN A WARRANTY DEED TO COLUMBIA EXTRUSION CORPORATION, DATED DECEMBER 22, 1988 AND RECORDED IN VOLUME 444, PAGE 102 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING A PART OF LOT 1 IN BLOCK 1 OF INDALLOY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "D", SLIDE 273 OF THE PLAT RECORDS OF ROCKWALL COUNTY TEXAS; SAID 42.6035 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT FOR CORNER AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (A 65-FOOT WIDE RIGHT-OF- WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF AIRPORT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

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THENCE NORTH 09° 24′ 49″ WEST DEPARTING THE SAID NORTH LINE OF UP/DALLAS GARLAND N.E. RAILROAD FOR A DISTANCE OF 1039.14 FEET TO A POINT FOR CORNER IN THE EAST BOUNDARY LINE OF PARK PLACE WEST II, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE AMENDED PLAT THEREOF RECORDED IN CABINET "G", SLIDE 100 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

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THENCE NORTH 81° 27′ 00″ EAST LEAVING THE EAST LINE OF SAID PARK PLACE WEST ADDITION FOR A DISTANCE OF 408.12 FEET TO A POINT FOR CORNER;

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Exhibit 'A':

Legal Description

AIRPORT ROAD; SAID POINT ALSO BEING THE NORTHWEST CORNER OF AFORESAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

THENCE DEPARTING THE WEST LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC.TRACT AND THE EAST LINE OF SAID LOT 1 IN BLOCK 1 AND ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID AIRPORT ROAD, THE FOLLOWING COURSES AND DISTANCES NUMBERED (1) THROUGH (5);

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- 2. SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 17.89 FEET TO A POINT FOR CORNER;
- 3. SOUTH 88° 37' 46" EAST FOR A DISTANCE OF 195.72 FEET TO A POINT FOR CORNER;
- 4. SOUTH 79° 05' 55" EAST FOR A DISTANCE OF 32.05 FEET TO A POINT FOR CORNER;
- **5.** SOUTH 88° 51' 14" EAST FOR A DISTANCE OF 20.01 FEET TO THE POINT OF BEGINNING AND CONTAINING 42.6035 ACRES OF LAND, MORE OR LESS.

Exhibit 'B': Conceptual Site Plan

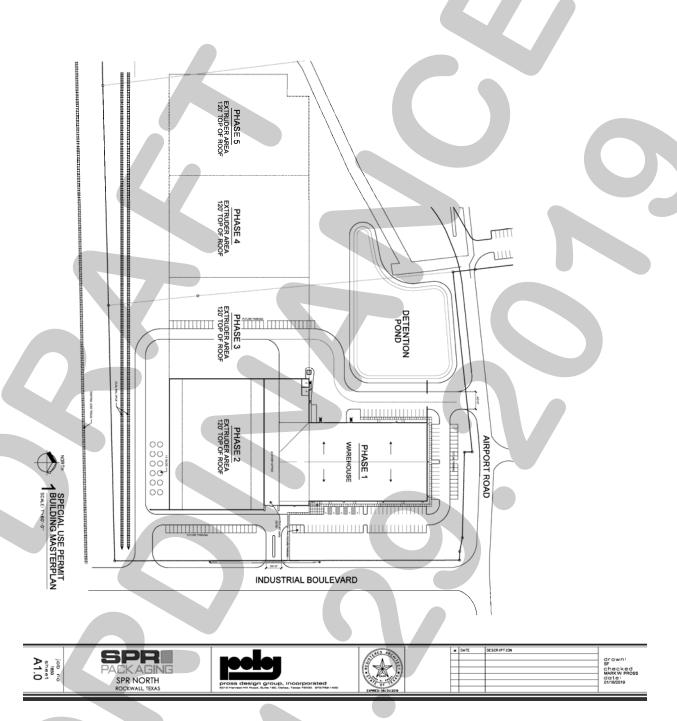
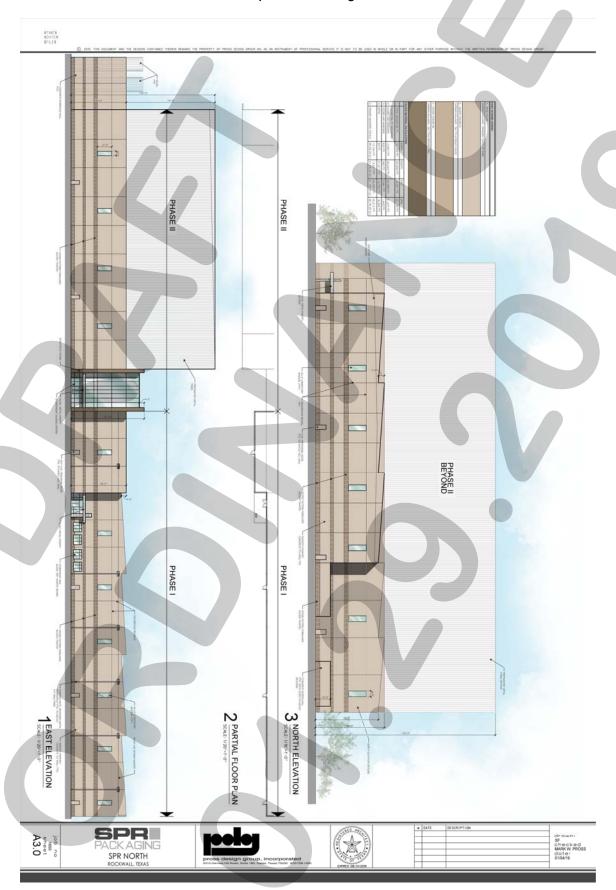


Exhibit 'C': Proposed Building Elevations



Project Number

City of Rockwall



LM

1/17/2019

Applied

Closed

Expired

Status

Approved

Project Plan Review History

FALLS, DAVID C & TERRI L

TRISTON GENERAL CONTRACTOR

SP2019-001 **Owner**

Project Name T3 Chiropractic
Type SITE PLAN

Subtype

Status Staff Review

Site Address City, State Zip

903 N GOLIAD ST ROCKWALL, TX 75087 Zoning

Subdivision Tract Block Lot No Parcel No General Plan

Applicant

GARNER NULL ALL 26 NULL 3730-0026-0ALL-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	1/17/2019	1/24/2019	1/22/2019	5 APPROVED	
ENGINEERING	Sarah Hager	1/17/2019	1/24/2019	1/25/2019	8 COMMENTS	

(1/25/2019 10:38 AM SH)

- Label the distance of the fire lane and the spacing between driveways.
- Show all existing and proposed utilities on landscape plans.
- Add note to landscape plans, "No trees within 5' of utilites."
- The other sheets were not reviewed.

The following items are for your information for the engineering design.

- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii.
- Parking to be 20'x9'
- No dead-end parking.
- Driveway spacing must be labeled on Site Plan.
- Must have detention. Manning's "c-value" is per zoning for the entire property. 4:1 max slope. No vertical walls allowed in detention easement
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must meet all City Engineering Standards.

FIRE Ariana Hargrove 1/17/2019 1/24/2019 1/24/2019 7 COMMENTS see comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks	
(1/24/2019 6:10 PM	1 AA)						
Proposed new and exisitng fire hydrants shall be indicated on the plans.							
Existing fire hydrant	ts to be considered for	the use shall	be indicated	on the plans.			

(Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. Existing fire hydrants on public streets are allowed to be considered as available where streets are not provided with median dividers which cannot be crossed by fire fighters pulling hose lines.)

GIS	Lance Singleton	1/17/2019 1/24/201	1/22/2019	5	APPROVED	See comments
(1/22/2019 2	:09 PM LS)					
ADDRESSING	:					
North buildin	ng will be 903 N. Goliad St. R	ockwall, TX 75087				
South buildin	ng will be 901 N. Goliad St. R	ockwall, TX 75087				
PLANNING	Korey Brooks	1/17/2019 1/24/201	1/25/2019	0	COMMENTS	Comments

Project Reviews.rpt Page 2 of 4

SP2019-001 Site Plan for T3 Chiropractic Office: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- ? This is a request by Reese Baez of Triton General Contractors on behalf of Kevin Lefere for the approval of a site plan for a medical office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located north of the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205]
- ? For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- ? For reference, include the case number (SP2019-001) in the lower right hand corner of all pages on future submittals.
- ? Site Plan. Please show centerlines of all adjacent roadways and darken/use thicker line for property line.
- ? Site Plan. The Site Plan looks more like a cover page.
- ? Site Plan. The site plan appears to be scaled with an architectural scale. Please use engineering scale. The recommended scales are listed in the site plan checklist.
- ? Site Plan. Please label existing sidewalks and proposed sidewalks and provide two different hatch/fill patterns.
- ? Site Plan. Please use a hatch pattern for pavement (i.e. firelane) and provide thickness and material information.
- ? Site Plan. Please provide highlighted information on attached checklist.
- ? Site Plan. Please provide location of utilities.
- ? Site Plan. Please utilize multiple line-weights for clarity.
- ? Site Plan. Please label third lot "Future Development" and remove "building by other". Greyscale everything that is not directly related to the subject property.
- ? Site Plan. Please change "Property Description" tableto Site Data Table and provide on each sheet—Also, please provide the additional highlighted information.

The lower left corner of the title block of each sheet should be the project information. Swapping the location of the project information and the "Sheet" information would work—for future Civils/Building Permit submittals, this requirement is different.

- ? Landscape Plan. Please show centerlines of adjacent roadways.
- ? Landscape Plan. Please provide site data table as shown on site plan.
- ? Landscape Plan. Please utilize engineering scale and show adjacent properties.
- ? Landscape Plan. Please check the tree requirements along Goliad—There seems to be 1 or 2 trees missing.
- ? Landscape Plan. Please note that no parking space shall be 80-feet from a tree. Provide 80-foot buffer at 1 or 2 trees to show compliance.
- ? Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
- ? Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
- ? Landscape Plan. Please show heavy landscape screening from the adjacent residential property.
- ? Photometric Plan. Please darken and label property line on photometric plan.
- ? Photometric Plan. Please show centerlines of all adjacent roadways.
- ? Photometric Plan. Fixtures will need to be historic-looking (if possible). Please provide a cut sheet.
- ? Photometric Plan. It is only necessary to show the subject property. Also, if the FC font could be smaller, that would help (for archiving/digitizing purposes).
- ? Photometric Plan. Please provide title block in the lower right-hand corner of the page with the site/project info)
- ? Photometric Plan. Please provide site data table as shown on the other plans.
- ? Floor Plan. Please note that the floor plan is not reviewed during this phase so it does not need to be provided.
- ? Building Elevations. Please provide dimensions
- ? Building Elevations. Please provide material percentages per façade. The materials percentages only show "Masonry" and "Stone". We need each material broken down e.g. brick, stone, stucco.
- ? Building Elevations. Please keep the architectural scale on building elevations (I asked for engineering on the other plans)
- ? Building Elevations. Provide Site data Table as provided on other sheets.
- ? Building Elevations. Provide color elevations and rendering, if possible.

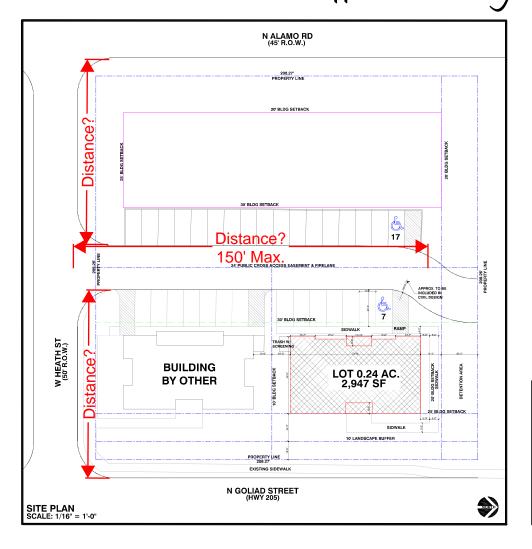
Project Reviews.rpt Page 3 of 4

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks

- ? The Architectural Review Board (ARB) meeting for this case will be held on January 29, 2019 at 5:00 p.m.
- ? Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2019. The Planning and Zoning Worksession for this case will be January 29, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be February 12, 2019

Project Reviews.rpt Page 4 of 4

T³Chiropractic Office Building





VICINITY MAP

- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii.
- Parking to be 20'x9'
- No dead-end parking.
- Driveway spacing must be labeled on
- Must have detention. Manning's "c-value" is per zoning for the entire property. 4:1 max slope. No vertical walls allowed in detention easement
- No trees within 5' of public utilities. - Retaining walls 3' and over must be
- designed by a licensed engineer. All walls to be rock or stone. No smooth concrete
- Must meet all City Engineering Standards.

GENERAL NOTES

- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- CONSTRUCTION OF THIS PROJECT.

 ALL MECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY STHERT THE GENERAL CONTRACTOR OR THE HOME COWNER.

 ALL BULLDIAG COORS (ANTIONAL, STREET, SOLICIAL) ARE TO COMEY, WITH THE 2001 INTERNATIONAL REGISTERT ALL BULLDIAG COORS (ANTIONAL, STREET, SOLICIAL) ARE TO COMEY, WITH THE 2001 INTERNATIONAL REGISTERT AND ANTION AND STREET ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR PROVINCE COORS.

 ALL JOSSITE CHARGES AND DECISIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND THE ANTION AND THE CONTRACTOR AND THE ANTION AN

- ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 6" HOMINAL, BRICK LEDGES AT 5" HOMINAL, BRICK LEDGES AT 1" HOMINAL, BRICK LEDGES AT 5" HOMINAL, BRICK LEDGES AT 1" HOMINAL, AND THIN WALLS AT 2" HOMINAL. ALL DIMENSIONS ARE TO BE FIELD VERFOR FRAMING. PLAS ARE SCHEMISTIC OVER. PERFORMING TO STRUCTURAL PROVINCIA OF THE AND ARE SCHEMISTIC OVER. PERFORMING AND ARE SCHEMISTIC. PERFORMENT AND ARE S

- ALL CAREPHTRY WORK SHALL BE ERECTED PLUMB AND THUS FOLLOWING BEST PRACTICES OF THE TRADE. TRIM ALL LUMBER SHALL BE SAG ING FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS. GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY
- GENERAL CURITAGE TO A PROFESSION AND THE COMPLETE INSTALLATION OF THE PLUMBERT OF PROFESSION ALL HABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBERG ON STEAL INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL HECESSARY WASTE SYSTEMS. THE PLUMBERG ON THE PROFESSION AND THE SYSTEMS AND THE PROFESSION AND THE

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LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO

- RESPONSIBILITY OF THE PURPORMENT.

 1. CONSTITUCTION.

 1. CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:

 1. DESIGN, SIZE, AND REINFORCEMENT LOADS.

 12. ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
- 13. FOUNDATION DESIGN 2. CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION LOCATION

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS, LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK ADVISEMENT PROVIDED BY THE CONTRACTOR OF OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT

	ABBREVI/	ATIO	NS
AB	ANCHOR BOLT	н	HIGH
ADJ	ADJUSTABLE	LC	LAUNDRY CHUTE
AFF	ABOVE FINISH FLOOR	LG	LONG
BLDG	BUILDING	ML	MICROLAM
BLK	BLOCK	MTL	METAL
ВМ	BEAM	oc	ON CENTER
CAB	CABINET	PT	PRESSURE TREATED
CLG	CEILING	PTB	PARTICLE BOARD
CLR	CLEAR	R	RADIUS
CONC	CONCRETE	R&S	ROD & SHELF
DBL	DOUBLE	SH	SHELF(S)
DIA	DIAMETER	SHWR	SHOWER
DN	DOWN	SIM	SIMILAR
DWG	DRAWING	SQ	SQUARE
EA	EACH	STL	STEEL
EQ	EQUAL	TBD	TO BE DETERMINED
FD	FLOOR DRAIN	TOJ	TOP OF JOIST
FDN	FOUNDATION	TOS	TOP OF SLAB
FF	FINISH FLOOR	TR	TRANSOM
FLR	FLOOR	TYP	TYPICAL
FT	FEET	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	v	VERTICAL

DRAWING/SHEET INDEX SITE PLAN PHOTOMETRIC PLAN FLOOR PLAN WEST & NORTH ELEVATIONS EAST & SOUTH ELEVATIONS

PROPERTY DESCRIPTION

FROFERIT	DESCRIPTION				
PROPERTY ID	16663				
SEOGRAPHIC ID	3730-0026-0ALL-00-0R				
ADDRESS	GOLIAD/W.HEATH/ALAMO				
ONING	PD-50				
PROPERTY USE	OFFICE				
PROPERTY AREA (GROSS)	10,770 SF (APPROX)				
BUILDING AREA	2,947 SF				
BUILDING HEIGHT	29'-4"				
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED				
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED				
TOTAL PARKING PROVIDED	24 SPACES				
LL SF TOTALS ARE APPROXIMATE					

LATIMER DESIGNS INC.
ROCKWALL, TEXAS 75087
PHONE:
469.264.7415
EMAIL:
latimerdesigngroup@gmail.com

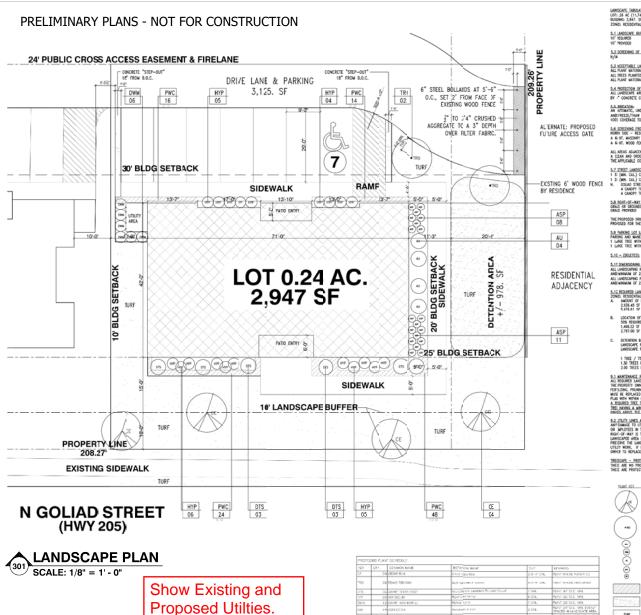
CUSTOM HOUSE PLANS INTERIOR DESIGN RENOVATIONS **III** \blacksquare

LOCATION:
205 & W.HEATH•ROCKWALL•TX•75087
2016:
01.13.2019 PROJECT/CLIENT: T3 CHIROPRACTIC OFFICE

73

SITE PLAN SCALE: 1/16"=1'-0" SHET SIZE: 24 x 36

SHEET NO. A1 OF



Add note, "No trees

within 5' of utilities.'

DVIMON BYRIVUDA SKAS rodo skrokw

LANISCAPE TABULATION LOT: 26 AC (11,746.81 SF) BUILDING: 2,947. SF ZONG: RESIDENTIAL-OFFICE / PO-50

5.2 SCREENING OF OFF-STREET LOADING DOCKS

5.3 INCEPTABLE LANDSCAPE MATERIALS
ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE ALL TREES PLANTED WELL BE A MINIAUM OF 3" CALIFER ALL PLANT MATERIAL WILL OF CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARD

4.4 BRCADON: AN UTURANC, UNDERSOUND DRP BREATION SYSTEM WILL BE INSTALLED WITH A RAN GAUGE AND FREEZY-THAN SCHOOL AND WILL PROVIDE REGIATION SYSTEM. THIS SYSTEM WILL PROVIDE 1001: COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON STITL.

5.6 SCREENING FROM RESIDENTIAL USES: NORTH SIDE - RESIDENTIAL ACLACIACY

A 6 HT. MASONRY FENCE IS REQUIRED AND EXISTING

ALL AREAS ADJACENT TO THE REQUIRED SCREENING WALL, SHALL BE MAINTAINED IN A CIEAN AND ORDERLY COMDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.

S.7. STREET LANGGAPING:

1.5 (MIN. CAL.) CANOPY THEE REQUIRED PER 50 LF OF FRONTIAGE REQUIRED

1.5 (MIN. CAL.) CANOPY THEE PROVIDED PER 50 LF OF FRONTIAGE PROVIDED

N. COLUMN STREET (HINT 200) = 20R.27 UF

4 CANOPY TREES REQUIRED

4 CANOPY TREES PROVIDED

5.12 REQUIRED LANGSCAPING ZONT: RESIDENTIAL-OFFICE

AMOUNT OF LANDSCAPING
2,536.45 SF = 25% OF SITE REQUIRED TO BE LANDSCAPED.
5,676.81 SF = 48% OF SITE PROPOSED TO BE LANDSCAPED.

9.2. THUT LINES AND RESIDENCE WAS IN REQUESTED THE PROPERTY OWNER, HE AND THAT OF WHITE SECURISE FROM THE REQUESTED OF BEINGED AND COMPOSED AS THE REQUESTED AND MASTERS AS THE REQUESTED AND THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY AND THE PR

TREISCAPE — PROTECTED TREE MITIGATION
THEIR ARE NO PROTECTED TREES EXISTING ON SITE
THEIR ARE PROTECTED TREES EXISTING IN THE PARKWAY







EMAIL: latimerdesigngroup@gmail.com LATIMER DESIGN INC. ROCKWALL, TEXAS 75087 PHONE: 469.264.7415

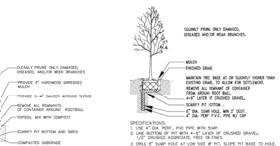
ATIMIER DESIGNS... CUSTOM HOUSE PLANS COMMERCIAL PLANS INTERIOR DESIGN 田田田

PROJECTICLENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
LOCATION:
DOS & W.HEATH·ROCKWALL·TX·75087
DATE:
01.13.2019

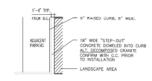


DRAWING:
LANDSCAPE
SALE:
1/4"=1-0"
SHET SIZE:
24 x 36 SHEET NO. A3.1 OF

PRELIMINARY PLANS - NOT FOR CONSTRUCTION



LARGE SHRUB-SECTION



TYPICAL PARKING ISLAND-PLAN

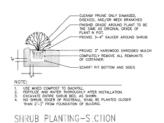
LARGE CANOPY TREE-SECTION



STEEL EDGE-SECTION

THE "ON CONTER" MAY WARY PER PLANT TYPE.
REFER TO, PLANT SCHEDULE, YAB
WARROUS "ON CONTENTS."

GROUNDCOVER PLANTING-PLAN



GENERAL PLANTING NOTES:

- QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BODNIG. CONTRACTER IS RESPONSIBLE FOR BIDDING PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIDURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SOLEDUE.
- SCHEDULE.

 2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRORG TO BID SUBMITAL. IF ANY OF THESE IS NOT CLARRIFED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.

 3. SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOSI" AS PRODUCED BY LIMING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS, REMOVE EXSTINGS SOIL AND REPLACE WITH DOPSOIL. TO GRADE.

 4. TREE HOLES TO BE EXCAVATED 2" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK SHALL BRIGHT AND THE AND THE AND THE INSTITUTION AND THE INSTITUTION.
- FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED INN#3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFIL.
- SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL. MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINL 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- GROUND COVER BEDS.

 BED EDGING TO BE STEEL EDGING 12G, X 5.5° AS MANUFACTURED BY COL-MET, COLORBLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED
 FOR WATER RETENHON PROTE OT TIRE OR SHRUB BLANTING. AFTER HOLE IS EXCAVATED,
 IT IS TO BE PILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS,
 THE HOLE SHILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AND ADDITIONAL 6°
 FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6°
 OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP 10 A MINIMUM OF 12° ON THE
 SDES OF THE HOLE. THE CANDISCAPE CONTRACTOR SHALL ALSO INSTALL A
 CONTRACT OF THE HOLE SHALL SHALL
- ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FRAL ACCEPTANCE.
 ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- ANY PAYOL SUPPARADES, REQUIRED PLANTS, SHALL BE MAINTAINED IN A HEALTHY CONDITION.

 STREET, MAINTAIN PROPERTY OWNER IS RESPONDING RECOLD, MEEDING, MOWNO OF
 GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRINNIC AND OTHER MAINTENANCE OF
 GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRINNIC AND OTHER MAINTENANCE OF
 ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH MOTHER
 LUNING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE
 APPROVED LANDSCAPE PLANT.
- LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- 13. THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- THE CHOUSEMPE CONTRICTION PROPERTY OF THE CHORACTER OF MAY EXCAVATION OF GRADING AND ALL MADISCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR MAY EXCAVATION OF GRADING REPORT OF THE CHARLES AND ALL MADERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIGE TO CONSTRUCTION, POPCET ALL STEE UTILITIES UTING CONSTRUCTION, TO PROTECT ALL STEE UTILITIES UTING CONSTRUCTION, TO RECONSTRUCTION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.

Show Existing and Proposed Utilties. Add note, "No trees within 5' of utilities."



ATIMIER DESIGNS...

EMAIL: latimerdesigngroup@gmail.com

LATIMER DESIGN INC. ROCKWALL, TEXAS 75087 PHONE: 469.264.7415

PROJECTICLENT:
T3 CHIROPRACTIC OFFICE
LOCATION:
LOCATION:
DOS & W.HEATH·ROCKWALL·TX·75087
DATE:
01.13.2019

DRAWING:
LANDSCAPE
SCALE:
1/4"=1'-0"
SHET SIZE:
24 x 36 SHEET NO.

A3.2 OF





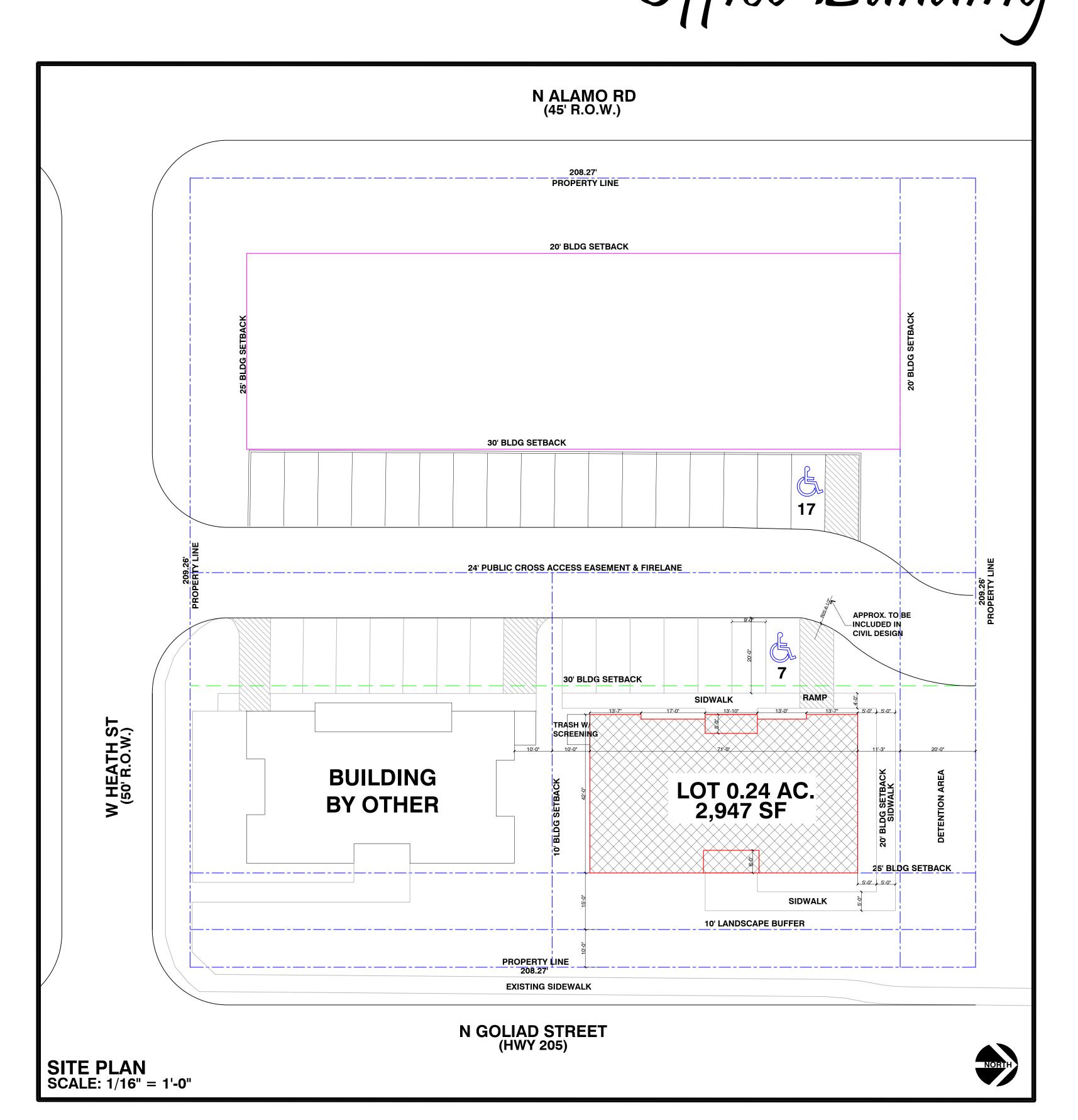


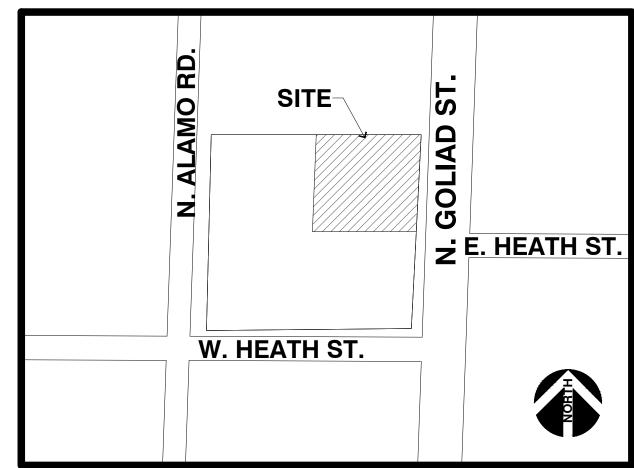
City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Chiropractic Office Building





DEVELOPMENT PLANS NOT FOR CONSTRUCTION

VICINITY MAP

GENERAL NOTES

- **GENERAL CONTRACTOR OR THE HOME OWNER** ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE 2003 INTERNATIONAL RESIDENTIAL
- CODE. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY
- DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT
- 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR). DRIVEWAY FINISH TO BE SPECIFIED BY CIVIL AND/OR STRUCTURAL ENGINNER.
- . PLANT MATERIALS, INCLUDING SEED/SOD ARE NOT SPEC' D.
- 2. ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S
- ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- ALL LUMBER SHALL BE S4S UNO
- 5. FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS. 6. GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY
- PLUMBING SYSTEM. INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR.
- THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS. . CONTRACTOR TO VERIFY BUILDING/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

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LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO

- 1. CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:
- 1.1. DESIGN, SIZE, AND REINFORCEMENT LOADS.
- 1.2. ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION. 2. CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION LOCATION.

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVISEMENT PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

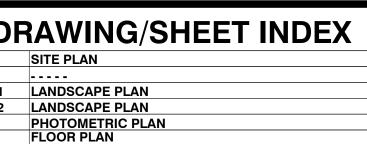
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ADDDEVIATIONS

	ABBREAI	4 I	10	NS
AB ADJ AFF BLDG BLK BM CAB CLG CLR CONC DBL DIA DN DWG EA EQ FD FDN FF FLR FT FTG GL	ANCHOR BOLT ADJUSTABLE ABOVE FINISH FLOOR BUILDING BLOCK BEAM CABINET CEILING CLEAR CONCRETE DOUBLE DIAMETER DOWN DRAWING EACH EQUAL FLOOR DRAIN FOUNDATION FINISH FLOOR FLOOR FEET FOOTING GLASS	L L M M C F F F F S S S S S T T T T T T T U U U U U U U U	GIM GQ GTL TBD TOJ TOS TR TYP JNO	HIGH LAUNDRY CHUTE LONG MICROLAM METAL ON CENTER PRESSURE TREAT PARTICLE BOARD RADIUS ROD & SHELF SHELF(S) SHOWER SIMILAR SQUARE STEEL TO BE DETERMINE TOP OF JOIST TOP OF SLAB TRANSOM TYPICAL UNLESS NOTED OTHERWISE VERTICAL WOOD

DF	DRAWING/SHEET INDEX						
A 1	SITE PLAN						
A2							
A3.1	LANDSCAPE PLAN						
A3.2	LANDSCAPE PLAN						
A4	PHOTOMETRIC PLAN						
A5	FLOOR PLAN						
A6	WEST & NORTH ELEVATIONS						
A7	EAST & SOUTH ELEVATIONS						

PROPERTY	DESCRIPTION
PROPERTY ID	16663
GEOGRAPHIC ID	3730-0026-0ALL-00-0R
ADDRESS	GOLIAD/W.HEATH/ALAMO
ZONING	PD-50
PROPERTY USE	OFFICE
PROPERTY AREA (GROSS)	10,770 SF (APPROX)
BUILDING AREA	2,947 SF
BUILDING HEIGHT	29'-4"
PARKING REQUIRED	1 SPACE/500 = SPACE REQUIRED
HANDICAP REQUIRED	1 ACCESSIBLE 0-25, 2 PROVIDED
TOTAL PARKING PROVIDED	24 SPACES
ALL SF TOTALS ARE APPROX	IMATE



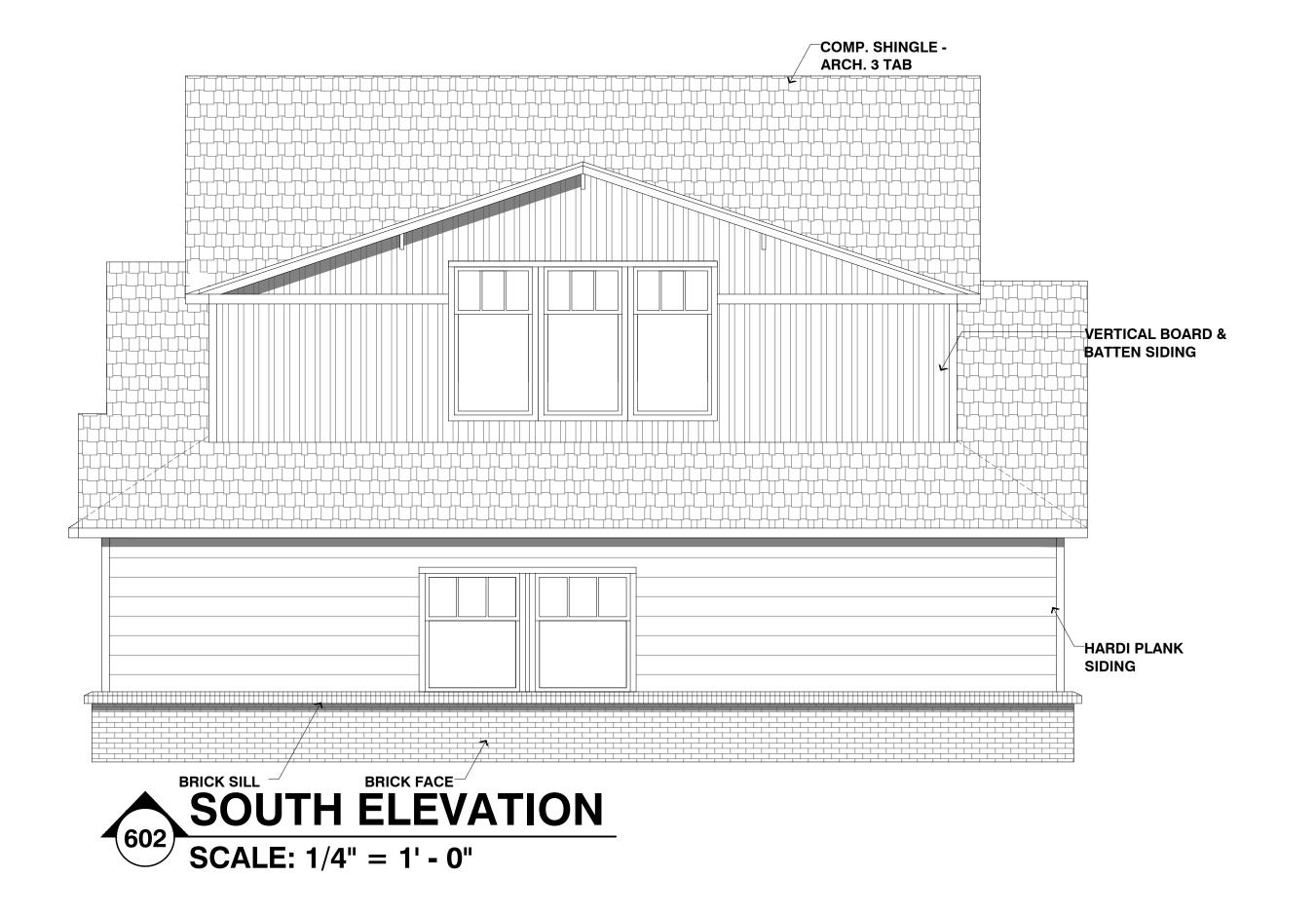
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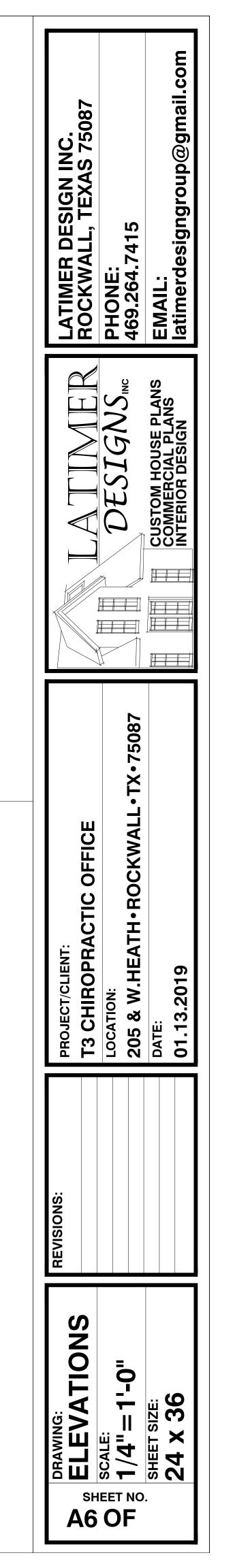
CKWALL • TX • 75087

OFFICE

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

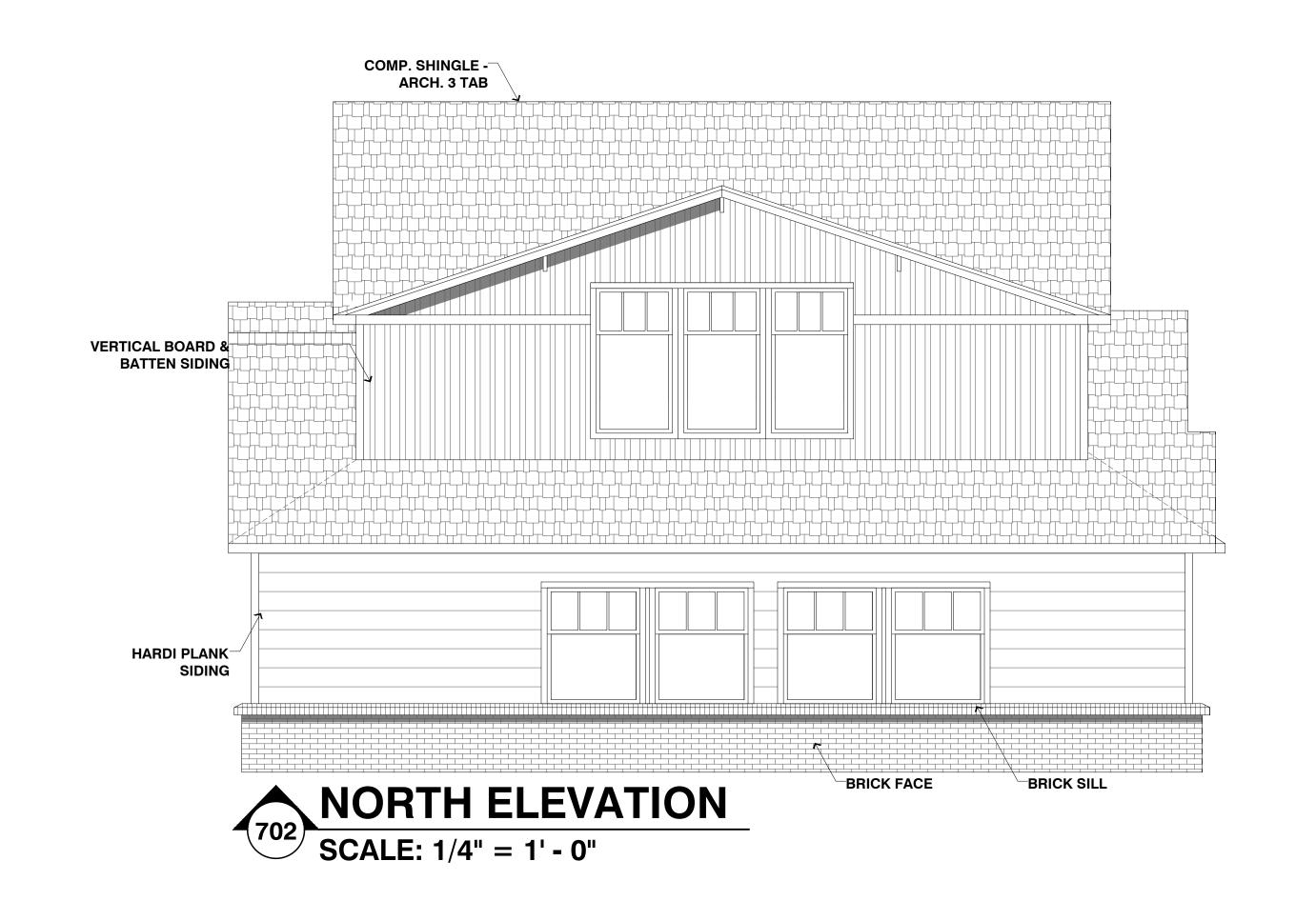


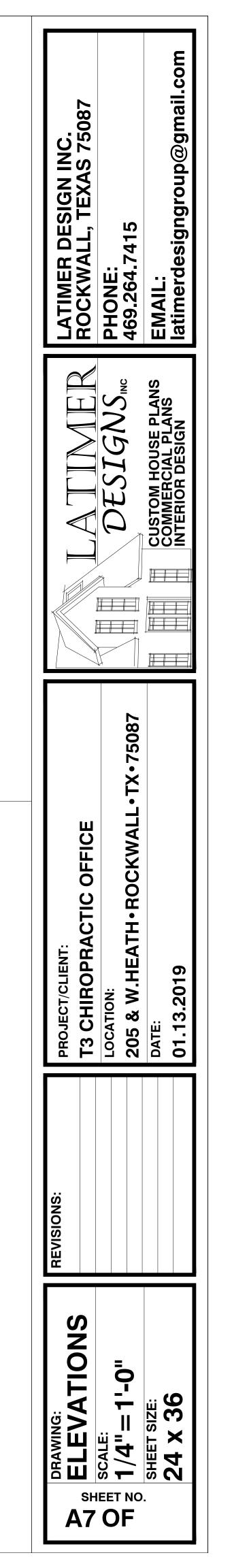


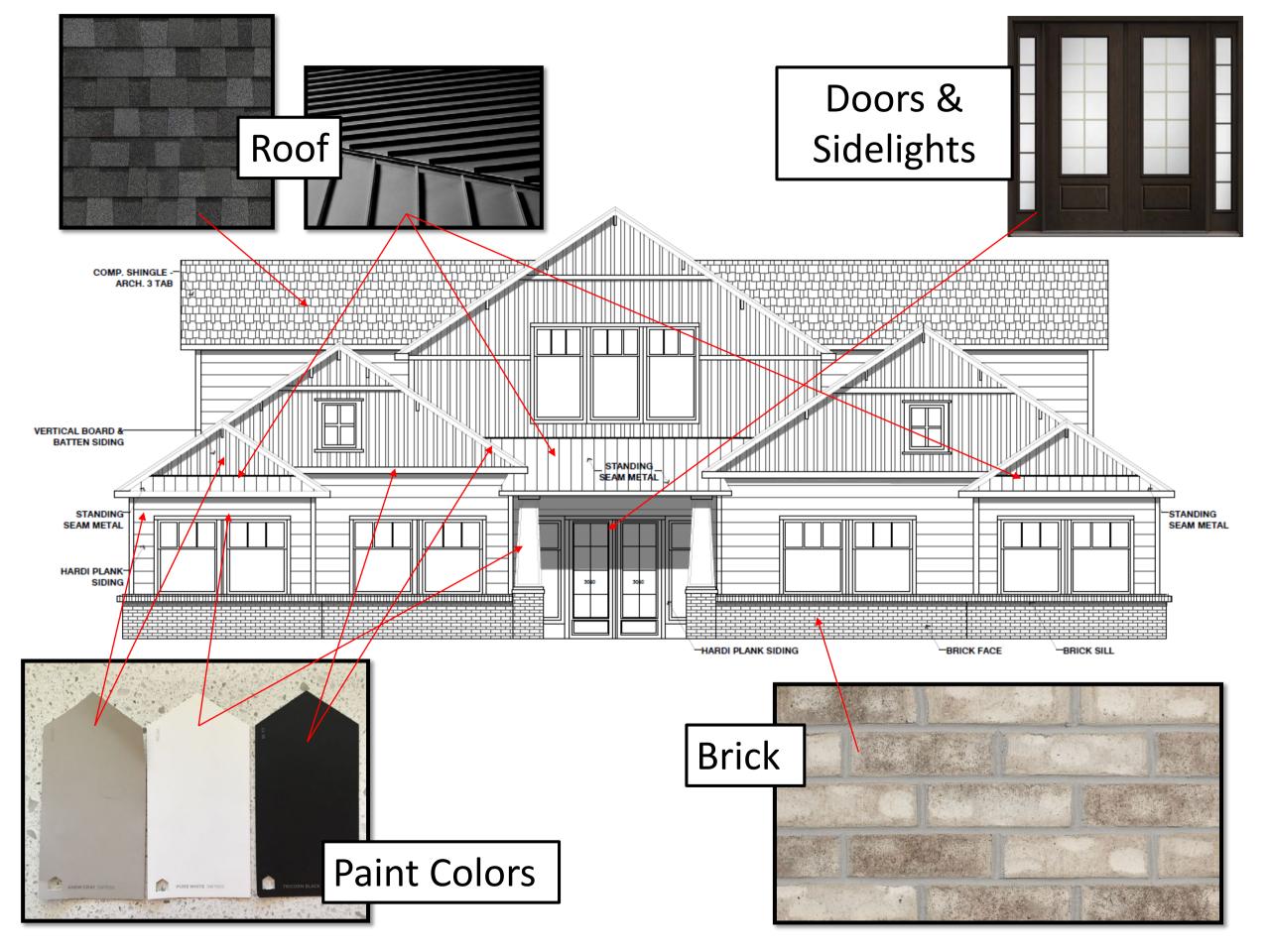


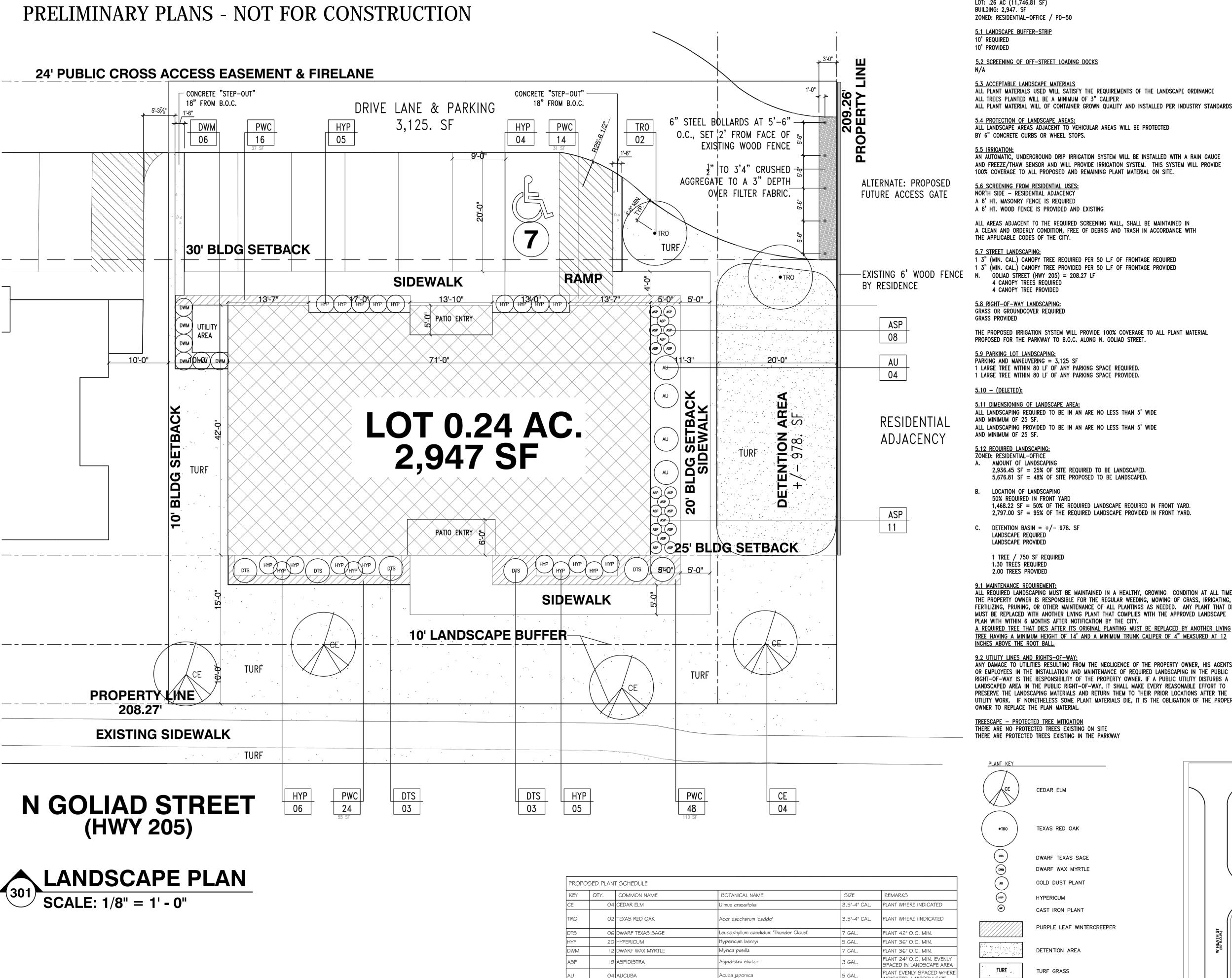
PRELIMINARY PLANS - NOT FOR CONSTRUCTION











- COMMON BERMUDA GRASS

ynodon dactylon

LANDSCAPE TABULATION LOT: .26 AC (11,746.81 SF) BUILDING: 2,947. SF ZONED: RESIDENTIAL-OFFICE / PD-50

5.1 LANDSCAPE BUFFER-STRIP 10' REQUIRED 10' PROVIDED

5.2 SCREENING OF OFF-STREET LOADING DOCKS

5.3 ACCEPTABLE LANDSCAPE MATERIALS ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER

5.4 PROTECTION OF LANDSCAPE AREAS:
ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED

BY 6" CONCRETE CURBS OR WHEEL STOPS.

5.5 IRRIGATION: AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.

5.6 SCREENING FROM RESIDENTIAL USES: NORTH SIDE - RESIDENTIAL ADJACENCY A 6' HT. MASONRY FENCE IS REQUIRED

ALL AREAS ADJACENT TO THE REQUIRED SCREENING WALL, SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH

1 3" (MIN. CAL.) CANOPY TREE REQUIRED PER 50 L.F OF FRONTAGE REQUIRED 1 3" (MIN. CAL.) CANOPY TREE PROVIDED PER 50 L.F OF FRONTAGE PROVIDED GOLIAD STREET (HWY 205) = 208.27 LF

4 CANOPY TREES REQUIRED 4 CANOPY TREE PROVIDED

5.8 RIGHT-OF-WAY LANDSCAPING: GRASS OR GROUNDCOVER REQUIRED

THE PROPOSED IRRIGATION SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PLANT MATERIAL PROPOSED FOR THE PARKWAY TO B.O.C. ALONG N. GOLIAD STREET.

5.9 PARKING LOT LANDSCAPING: PARKING AND MANEUVERING = 3,125 SF

1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED. 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.

<u>5.10 – (DELETED):</u>

5.11 DIMENSIONING OF LANDSCAPE AREA: ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.

ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.

ZONED: RESIDENTIAL-OFFICE

2,936.45 SF = 25% OF SITE REQUIRED TO BE LANDSCAPED. 5,676.81 SF = 48% OF SITE PROPOSED TO BE LANDSCAPED.

B. LOCATION OF LANDSCAPING 50% REQUIRED IN FRONT YARD

1,468.22 SF = 50% OF THE REQUIRED LANDSCAPE REQUIRED IN FRONT YARD. 2,797.00 SF = 95% OF THE REQUIRED LANDSCAPE PROVIDED IN FRONT YARD.

C. DETENTION BASIN = $\pm /-$ 978. SF LANDSCAPE PROVIDED

> 1 TREE / 750 SF REQUIRED 1.30 TRÉES REQUIRED 2.00 TREES PROVIDED

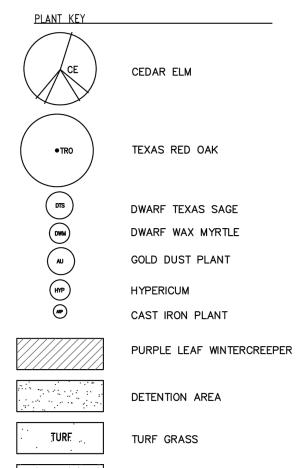
9.1 MAINTENANCE REQUIREMENT:

ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITH WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY. A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING

TREE HAVING A MINIMUM HEIGHT OF 14' AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.

9.2 UTILITY LINES AND RIGHTS-OF-WAY:
ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLAN MATERIAL.

TREESCAPE - PROTECTED TREE MITIGATION
THERE ARE NO PROTECTED TREES EXISTING ON SITE THERE ARE PROTECTED TREES EXISTING IN THE PARKWAY

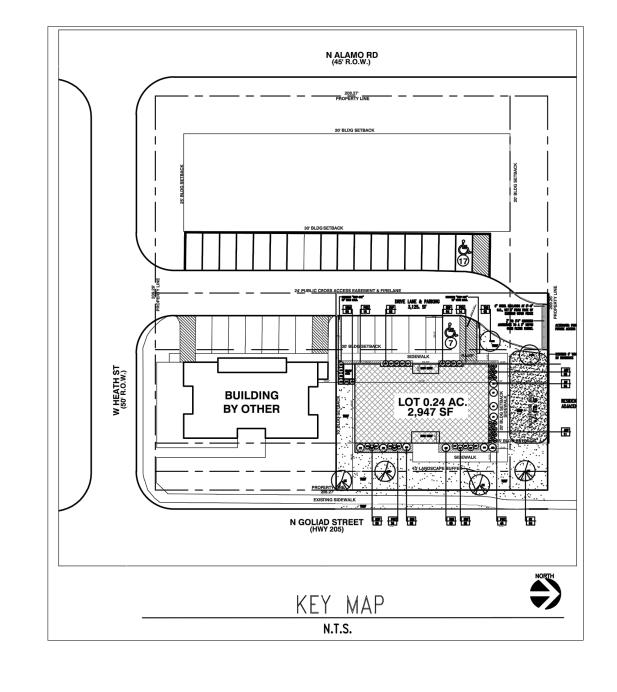


CONCRETE "STEP-OUT"

CRUSHED AGGREGATE

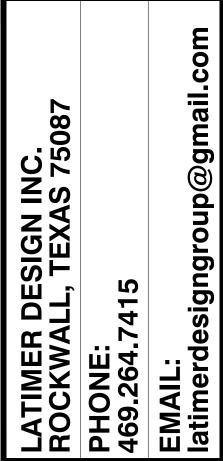
EVEL SUB GRADE AND ROLL

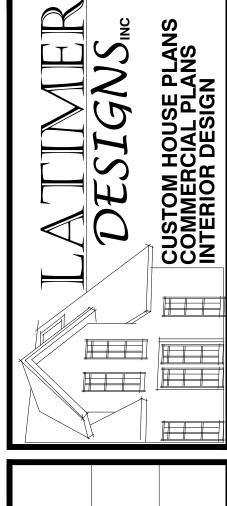
NTO PLACE.

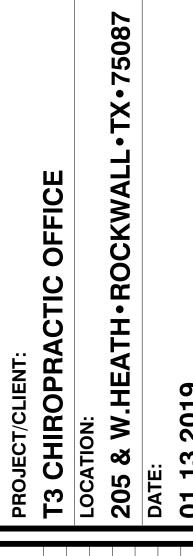


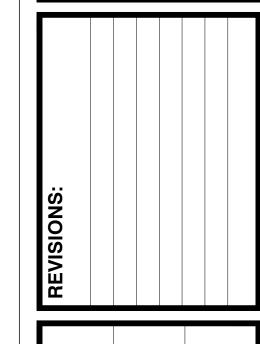


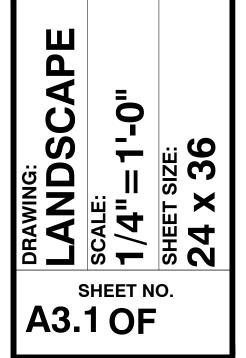
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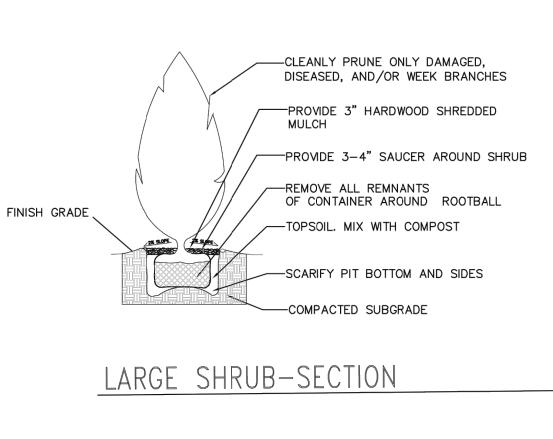


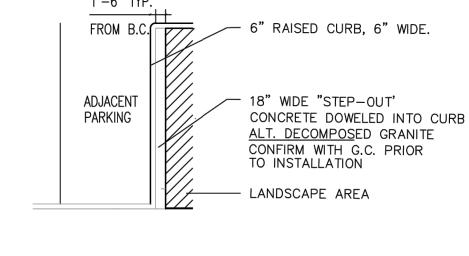






PRELIMINARY PLANS - NOT FOR CONSTRUCTION

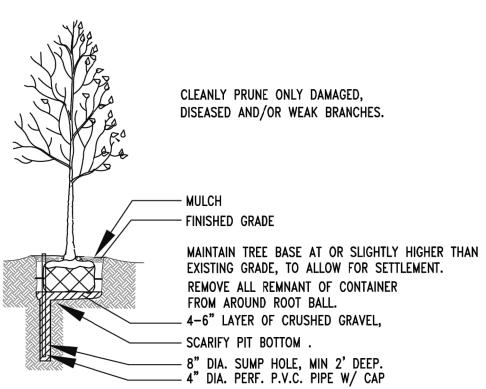




AND SIDES
DE

N.T.S.

TYPICAL PARKING ISLAND-PLAN



SPECIFICATIONS:

1. USE 4" DIA. PERF., PVC PIPE WITH SUMP.

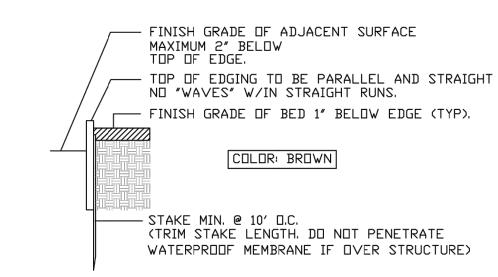
2. LINE BOTTOM OF PIT WITH 4-6" LAYER OF CRUSHED GRAVEL,

1/2" CRUSHED AGGREGATE, FREE OF FINES.3. DRILL 8" SUMP HOLE AT LOW SIDE OF PIT, SLOPE PIT BASE TO HOLE. FILL HOLE WITH 1/2" CRUSHED AGGREGATE, FREE OF FINES.

N.T.S.

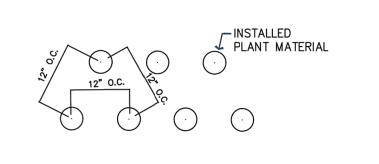
N.T.S.

LADOF CANODY TOFF CECTION



STEEL EDGE-SECTION

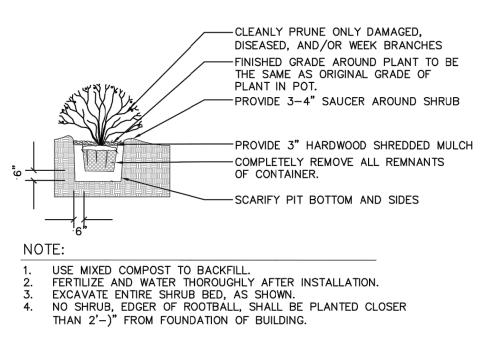
MUST INSTALL SUMP



NOTE:

I. THE "ON CENTER" MAY VARY PER PLANT TYPE.
REFER TO PLANT SCHEDULE, FOR
VARIOUS "ON CENTERS".

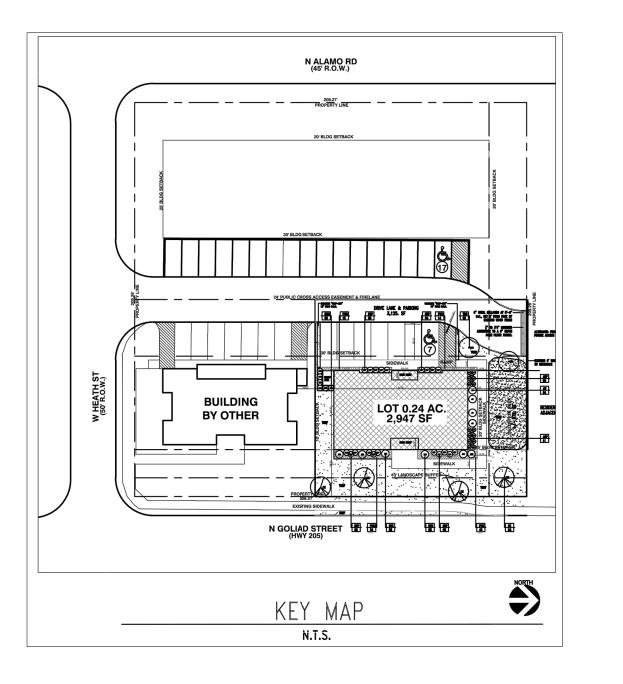
GROUNDCOVER PLANTING-PLAN



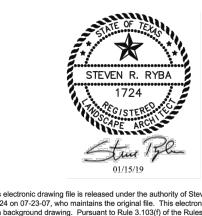
SHRUB PLANTING-SECTION

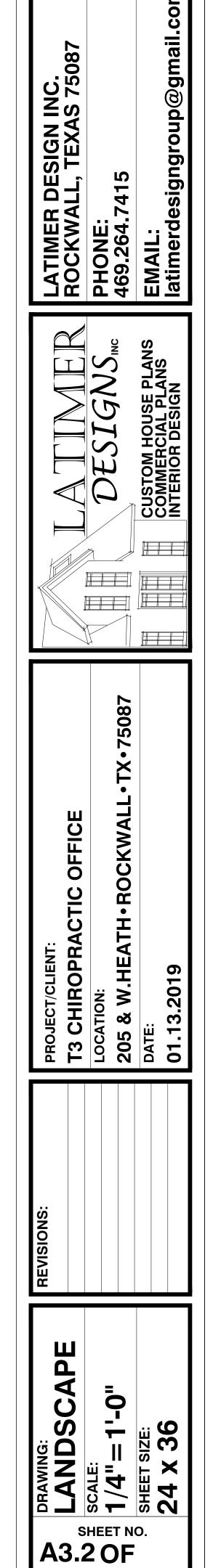
GENERAL PLANTING NOTES:

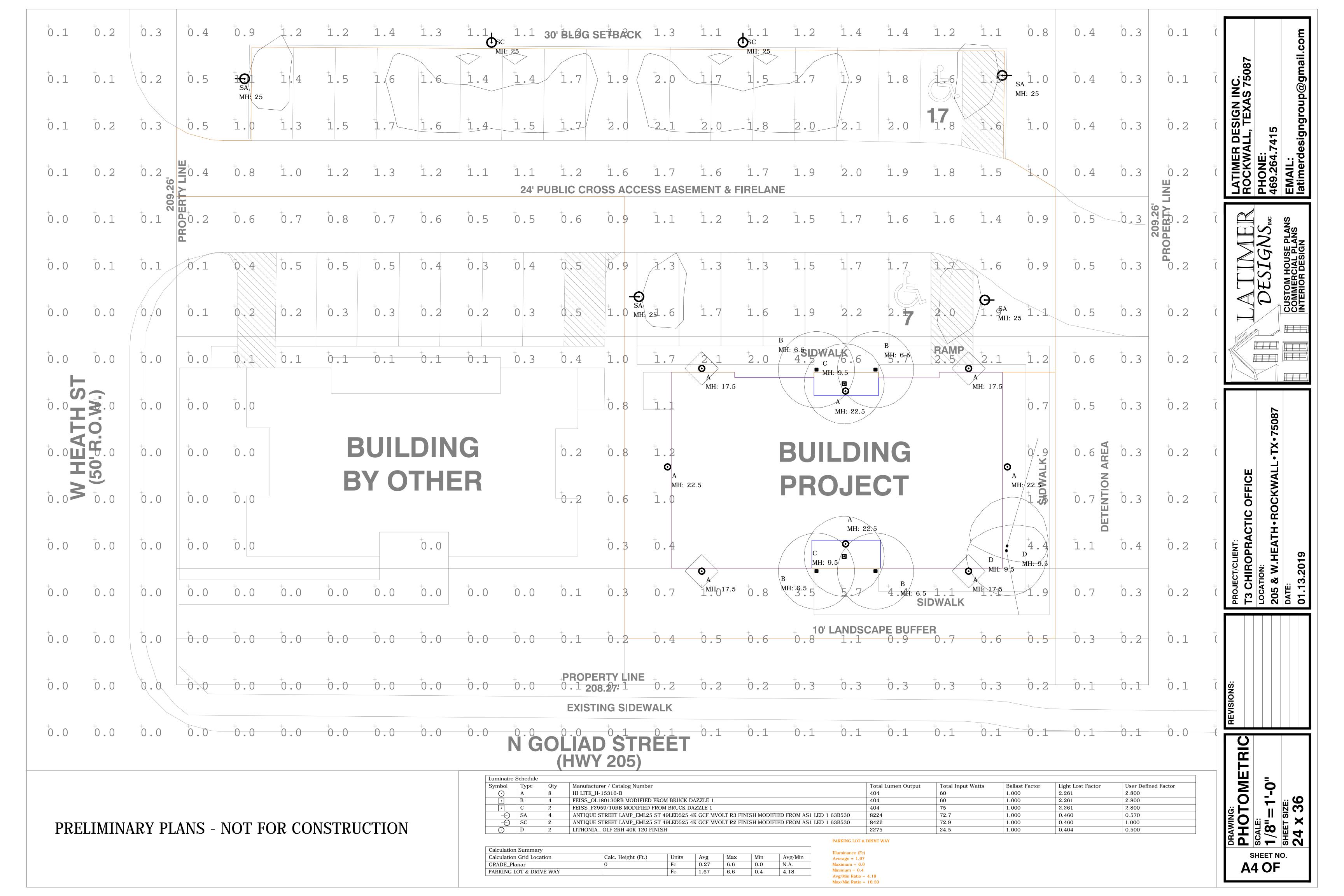
- 1. QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.
- 2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- 3. SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL. TO GRADE.
- 4. TREE HOLES TO BE EXCAVATED 2' GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED INN#3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- 5. SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- 6. MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINI. 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- 7. BED EDGING TO BE STEEL EDGING 12G, X 5.5" AS MANUFACTURED BY COL-MET, COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AND ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
- 8. ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- 9. ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- 10. ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- 11. GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN
- 12. LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- 13. THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- 14. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION.
- 15. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- 16. GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.

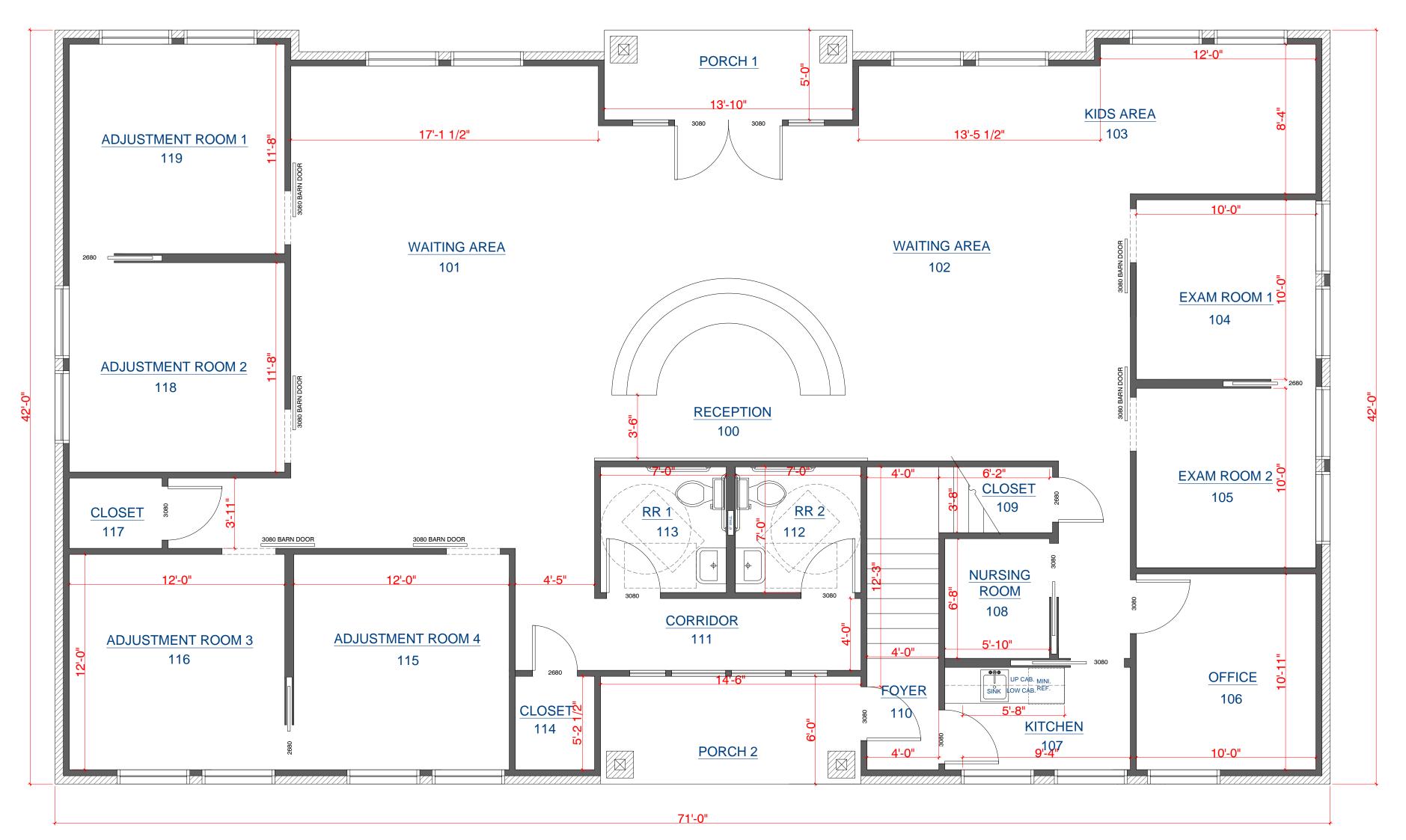


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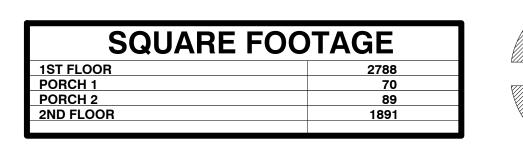






N. GOLIAD STREET







RACTIC OFFICE RACTIC OFFICE RACTIC OFFICE RACTIC OFFICE	SATH-ROCKWALL-TX-75087 \bigcirc	CUSTOM HOUSE PLANS EMAIL: COMMERCIAL PLANS COMMERCIAL PLANS INTERIOR DESIGN
REVISIONS: T3 CHIROPRACTIC OFFICE	LOCATION: 205 & W.HEATH•ROCKWAL	DATE: 01.13.2019
LOOR PLAN	ALE: 4"=1'-0"	24 x 36

A5 OF

City of Rockwall



LM

1/18/2019

Applied

Closed

Expired

Status

Approved

Project Plan Review History

T&C MAIN STREET HOLDINGS, LLC

T&C MAIN STREET HOLDINGS, LLC

SP2019-002

Type SITE PLAN

Subtype

Project Number

Project Name

Status Staff Review

Site Address City, State Zip

108 St. Mary

108 ST MARY ROCKWALL, TX 75087 Zoning

Subdivision Tract Block Lot No Parcel No General Plan

Owner

Applicant

ST MARYS PLACE NULL 80C NULL 3140-080C-0000-00-0R

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
BUILDING	Russell McDowell	1/18/2019	1/25/2019	1/22/2019	4 APPROVED	
ENGINEERING	Sarah Hager	1/18/2019	1/25/2019	1/25/2019	7 COMMENTS	

(1/25/2019 10:56 AM SH)

- Is the building shown existing?
- Parking to be 20'x9' minimum
- Must have 15'x24' turnaround.
- Are you planning to include a cross access easement?
- Must label TW and BW elevations in all locations.
- Calculations will not be reviewed until plans are submitted for engineering review.
- Add note to Landscape Plans, "No trees within 5' of utilities."

The following is for your information for engineering review.

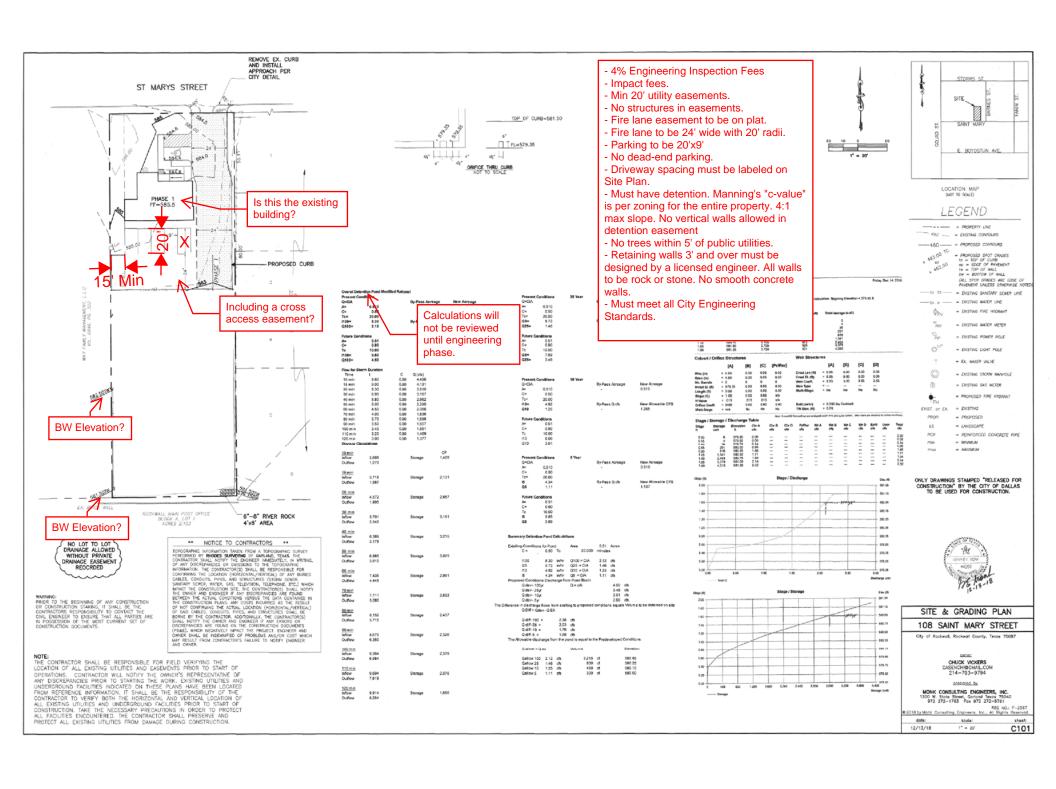
- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii.
- Parking to be 20'x9'
- No dead-end parking.
- Driveway spacing must be labeled on Site Plan.
- Must have detention. Manning's "c-value" is per zoning for the entire property. 4:1 max slope. No vertical walls allowed in detention easement
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must meet all City Engineering Standards.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
FIRE	Ariana Hargrove	1/18/2019	1/25/2019	1/24/2019	6 APPROVED	
GIS	Lance Singleton	1/18/2019	1/25/2019	1/22/2019	4 APPROVED	
PLANNING	Korey Brooks		1/25/2019		7 COMMENTS	Comments

SP2019-002 Site Plan for 108 St Mary: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

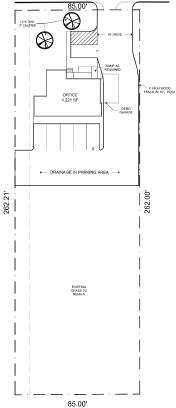
- ? This is a request by Chuck Vickers of T & C Main Street Holdings, LLC for the approval of a site plan for an office building on a 0.50-acre parcel of land identified as Block 80B of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street.
- ? For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- ? For reference, include the case number (SP2019-002) in the lower right hand corner of all pages on future submittals.
- ? Site Plan. Please provide a Site Plan instead of a "Site and Grading Plan". That needs to be submitted with your Civils later on. Without the correct drawing I can provide limited comments.
- ? Site Plan. Please note that the subject property will not be able to be subdivided.
- ? Site Plan. Please move all parking to rear of building.
- ? Site Plan. ADA will more than likely need to be moved to the rear of building.
- ? Site Plan. Please provide cross/access to RO property to the west.
- ? Site Plan. Please note that parking spaces to not appear to meet engineering standards of design
- ? Landscape Plan. Please show centerlines of adjacent roadways.
- ? Landscape Plan. Please provide site data table as shown on landscape plan. Also, please check the site plan checklist that shows additional information to be added to site data table (e.g. pervious vs. impervious percentage, landscape percentage, etc.)
- ? Landscape Plan. Please utilize engineering scale and show adjacent properties.
- ? Landscape Plan. Please check the tree requirements along Goliad—There seems to be 1 or 2 trees missing.
- ? Landscape Plan. Please note that no parking space shall be 80-feet from a tree. Provide 80-foot buffer at 1 or 2 trees to show compliance.
- ? Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
- ? Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
- ? Landscape Plan. Please show heavy landscape screening from the adjacent residential property
- ? Landscape Plan. Please provide engineering information on all plans (e.g turning radii, easements, utilities, etc). Also provide visibility triangle.
- ? Photometric Plan. If any additional lighting is being provided, please provide a photometric plan.
- ? Building Elevations. Please provide dimensions.
- ? Building Elevations. Is the wainscot existing?
- Provide Site data Table as provided on other sheets.
- ? Building Elevations. Please note any changes being made to the exterior.
- The Architectural Review Board (ARB) meeting for this case will be held on January 29, 2019 at 5:00 p.m.
- ? Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2019. The Planning and Zoning Worksession for this case will be January 29, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be February 12, 2019

Project Reviews.rpt Page 2 of 2



Add note: No trees within 5' of utilities.





SITE DAT	A TABLE
SITE AREA	0.51 ACRES (22,279 SF)
ZONING	COMMERCIAL OFFICE
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA- TOTAL AREA:	1,221 SF
EXISTING BUILDING AREA- TOTAL AREA:	1,423 SF
LOT COVERAGE	5.48%
FLOOR TO AREA RATIO	0.0548 : 1
BUILDING HEIGHT	30 ft. MAX

PARKIN	NG TABLE
PROPOSED PARKING- TOTAL PARKING:	1:300 = 5 SPACES
PARKING REQUIRED	5 (1 ADA)
PARKING PROVIDED	6 (1 ADA)

108 Saint Marys Street LEGAL DESCRIPTION AND OR ADDRESS:

H.W. Boydston Addition Rockwall, Texas Volume 3024, Page 225 of Deed Records of Rockwall County, Texas 0.51 Acres

Chuck Vickers 2475 Riding Club Rd. Rockwall, TX 75087

Carroll Architects, INC
750 E. Interstate 30 #110
Rockwall, TX 75087
Ph: 972-732-6085 Email: jc@carrollarch.com









PROFESSIONAL OFFICES 108 Saint Mary Street Rockwall, Texas 75087 INTERIOR REMODEL FOR

VICKERS CONSTRUCTION



SITE PLAN/ LANDSCAPE PLAN

JULY 2018 PROJECT NO:

A100

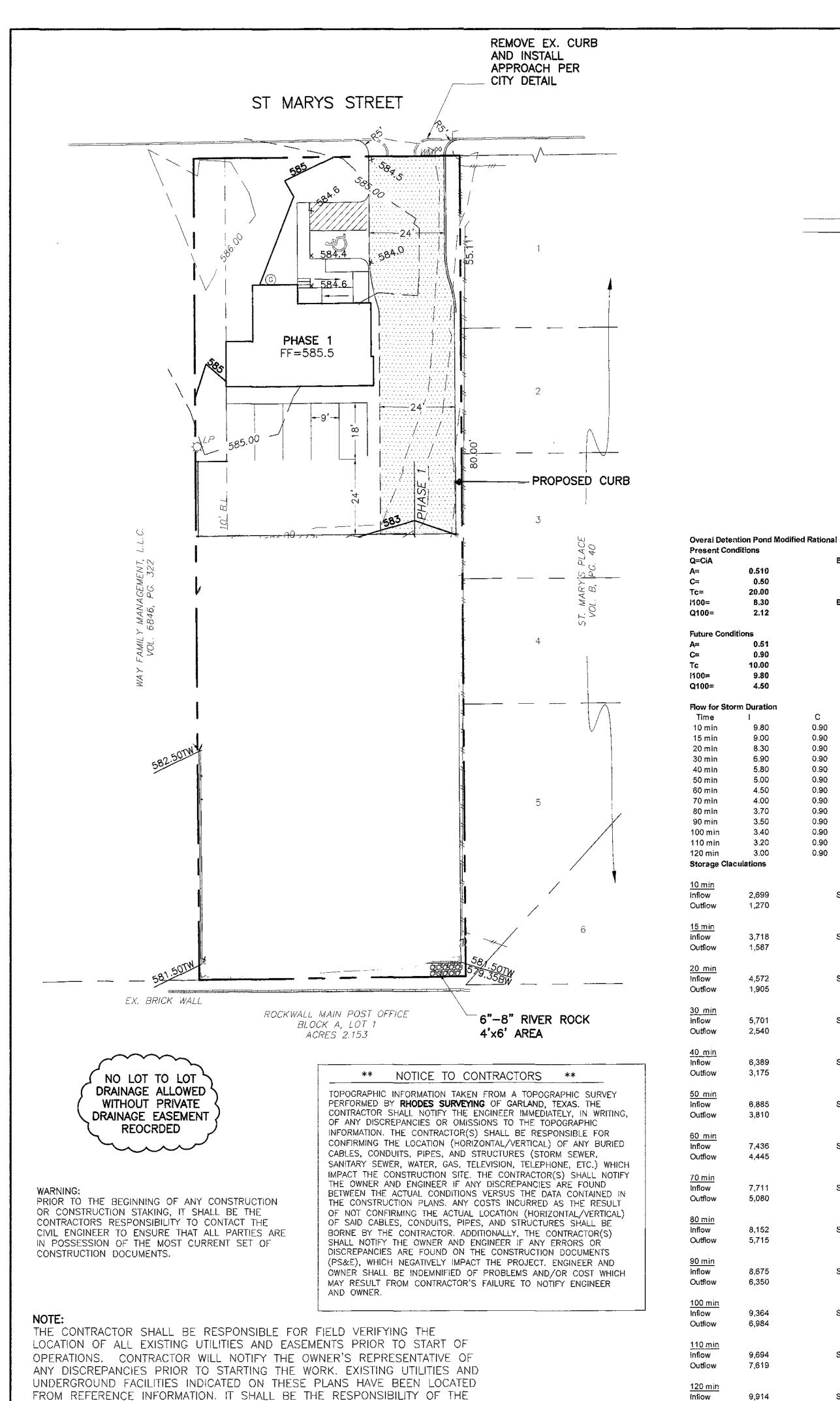




City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



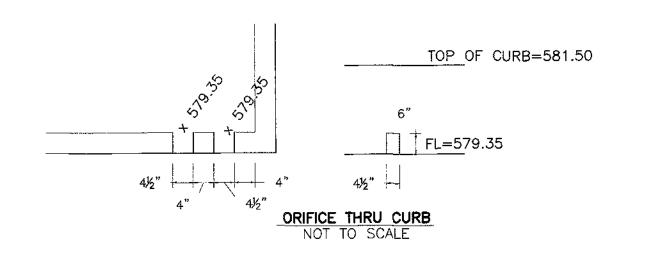


CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF

ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT

ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND

PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



0.50

20.00

8.30

2.12

0.90

10.00

9.80

4.50

9.00

8.30

6.90

5.80

5.00

4.50

4.00

9,364

6,984

9,694

7,619

9,914

8,254

Outflow

2,379

2,075

1,660

Storage

Storage

Storage

By-Pass Q cfs

Q (cfs)

0.90

0.90

0.90

0.90

0.90

0.90

0.90

0.90

4.498

4.131

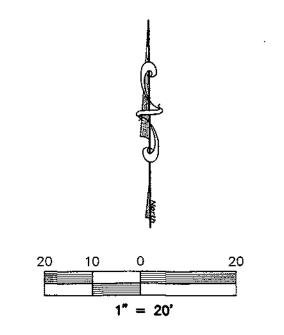
3.810

3.167

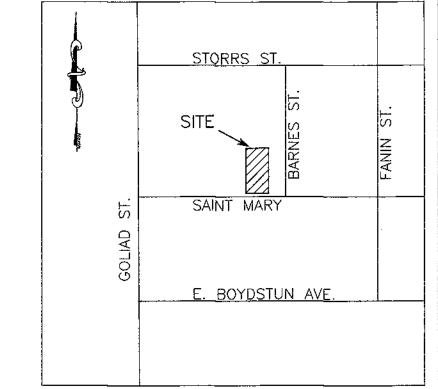
2.066

1.836

2.12



Friday, Dec 14, 2018



LOCATION MAP (NOT TO SCALE)

LEGEND

--- = PROPERTY LINE 460 = EXISTING CONTOURS

----460 ---- = PROPOSED CONTOURS

= PROPOSED SPOT GRADES tc = TOP OF CURB ep = EDGE OF PAVEMENT

tw = TOP OF WALLbw = BOTTOM OF WALL (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTE

EX. SS = EXISTING SANITARY SEWER LINE ----EX. W ---- = EXISTING WATER LINE

> = EXISTING FIRE HYDRANT = EXISTING WATER METER

= EXISTING POWER POLE = EXISTING LIGHT POLE

= EX. WATER VALVE

= EXISTING STORM MANHOLE

= EXISTING GAS METER = PROPOSED FIRE HYDRANT

EXIST. or EX. = EXISTING= PROPOSED

= LANDSCAPE = REINFORCED CONCRETE PIPE = MINIMUM

= MAXIMUM

ONLY DRAWINGS STAMPED "RELEASED FOR

CONSTRUCTION" BY THE CITY OF DALLAS

TO BE USED FOR CONSTRUCTION.

max



SITE & GRADING PLAN

108 SAINT MARY STREET

City of Rockwall, Rockwall County, Texas 75087

<u>owner</u> CHUCK VICKERS CASENCHI@GMAIL.COM 214-793-9794

<u>prepared</u> by

MONK CONSULTING ENGINEERS, INC. 1200 W. State Street, Garland Texas 75040 972 272-1763 Fax 972 272-8761

© 2018 by Monk Consulting Engineers, Inc., All Rights Reserved. sheet: scale:

C101

12/13/18 1" = 20'

580.95

580.25

580.10

580.00

3,215 cf

800 cf

450 cf

300 cf

Pond Report

Pond Data

Span (in)

No. Barrels

Invert El. (ft)

Slope (%)

Multi-Stage

N-Value

0.15

0.40 0.65

New Acreage

New Acreage

1.255

New Allowable CFS

New Allowable CFS

0.510

Hydraflow Hydrographs by Intelisolve v9.01

579.50 579.75

Pond No. 1 - St Mary Street

Culvert / Orifice Structures

= 679.35

= 0.50

≈ 1.00

= .013

= n/a

579,50

579.75

580.00

3.70 0.90 1.698 **Future Conditions** 3.50 0.90 1.607 0.51 3.40 0.90 1.561 C= 0.90 3.20 0.90 1.469 10.00 3.00 0.90 1.377 110 6.56 Q10 3.01 2,699 1,429 5 Year Present Conditions Storage 1,270 Q=CiA New Acreage By-Pass Acreage A= 0.510 0.510 C= 0.50 3,718 Тс≂ 2,131 20.00 Storage 1,587 4.34 By-Pass Q cfs New Allowable CFS Q5 1.107 1.11 4,572 2,667 **Future Conditions** Storage 1,905 0.51 C= 0.90 10.00 5,701 3,161 5.85 Storage 2,540 Q5 2.69 6,389 3,215 Summary Detention Pond Calculations Storage 3,175 0.51 Acres Exisiting Conditions for Pond 20.000 minutes 0.50 Tc 6,885 3,075 Storage 3,810 1100 8.30 in/hr Q100 = CiA 2.12 cfs 125 5.72 in/hr Q25 = CiA 1.46 cfs 4.92 in/hr Q10 = CiA 1.25 cfs 4.34 in/hr Q5 = CiA 7,436 2,991 1.11 cfs Storage Proposed Conditions Discharge from Pond Basin 4,445 4.50 cfs Q dev - 100yr 3.48 cfs Q dev - 25yr 3.01 cfs 7,711 2,632 Storage Q dev - 10yr 5,080 Q dev - 5yr 2.69 cfs The Difference in discharge flows from exsiting to proposed conditions equals Volume to be detained on site Q Diff = Qdev - Q EX 8,152 2,437 Storage Q diff-100 =5,715 2.38 cfs Q diff -25 = 2.03 cfs Q diff -10 =1.76 cfs 8,675 Qdiff-5 = 1.58 cfs 2,326 Storage 6,350 The Allowable discharge from the pond is equal to the Predeveloped Conditions Q allow = Q ex Elevation

Qallow 100 2.12 cfs

Qallow 25 1.46 cfs

Qallow 10 1.25 cfs

Qallow 5 1.11 cfs

25 Year

By-Pass Acreage

By-Pass Q cfs

Present Conditions

Future Conditions

Present Conditions

0.510

0.50

20.00

5.72

0.51

0.90

10.00

7.59

0.510

0.50

20.00

1.25

Q=CiA

A=

C=

Tc=

125=

C=

J**25**=

Q=CiA

C=

Tc=

Q10

Q25=

(ft)				St	age / Di	scharge						Elev (ft)
00 T	·····			, , , , , , , , , , , , , , , , , , , 	T					[- 581.35
30 🕌			~_ 									- 581.15
30				<u> </u>		·····			100	Y		- 58D.95
10												~ 580,75
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)Q	مور ده مغیرت در اسی مسید دراید.			***		سبحبيب						- 580.35
30 ——	,					···		<u></u>				- 580.15
sa								·		·		- 579,95
10												- 579.75
20												- 579.55
00.0		0.50	1.1		1.5		2.0 2.0			<u> </u>	3.0	579.35

Contours - User-defined contour areas, Average end area method used for volume calculation. Begining Elevation = 579.35 ft

[C] [PrfRsr]

0.00

0.00

0.00

0.00

0.00

0.00

0.00

0.00 n/a

.013 n/a

0.60 0.60

No No

0.00

0.00

0.00

.013

913 925 931

Crest El. (ft)

Weir Coeff.

Multi-Stage

Exfil.(in/hr)

TW Elev. (ft) = 0.00

CIV C PHRST WEA WEB WEC

Weir Structures

20.00 ≈

≈ 3.33

= 0.000 (by Contour)

Note: Culvert/Drifice cuttlows are analyzed under inflot and cuttet control. Weir risers are checked for onlice conditions.

\$ ----

0.00

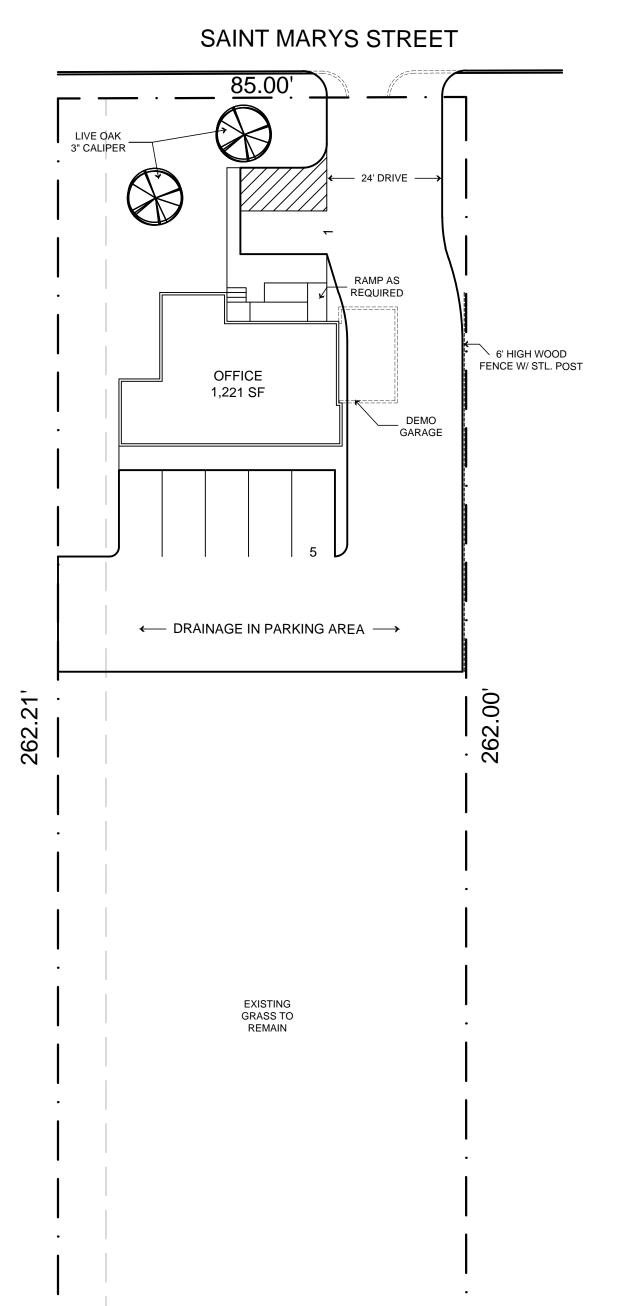
3.33

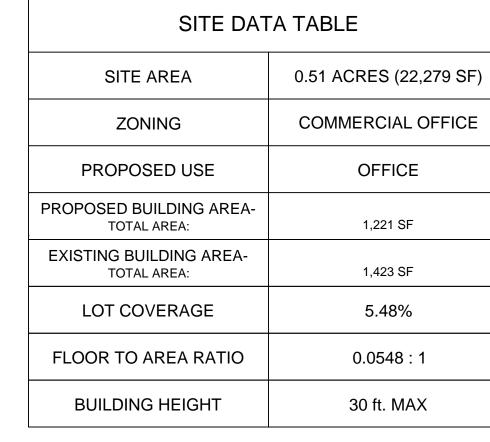
0.00

3.33

3.33

1			Sta	ge / Stor	age					Elev (ft
		T	<u> </u>							581.35
								A STATE OF STREET	The second of th	581.15
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	the section of the se							ļ	<u> </u>	560.15
- Johnson					<u> </u> 		<u></u>	ļ	ļ	579.95
J. Walley								ļ	<u> </u>	579.75
				 						579.55
				<u> </u>	<u></u>		<u> </u>	<u> </u>	<u> </u>	579.35
0 400	B00 1,	200 1,	600 2,	000 2.	400 2,	800 3.	200 3.	600 4,		400 orage (cuft)





PARKIN	G TABLE
PROPOSED PARKING- TOTAL PARKING:	1:300 = 5 SPACES
PARKING REQUIRED	5 (1 ADA)
PARKING PROVIDED	6 (1 ADA)

LEGAL DESCRIPTION AND OR ADDRESS:

H.W. Boydston Addition Rockwall, Texas Volume 3024, Page 225 of Deed Records of Rockwall County, Texas 0.51 Acres

OWNER
Chuck Vickers
2475 Riding Club Rd.
Rockwall, TX 75087

APPLICANT
Carroll Architects, INC
750 E. Interstate 30 #110
Rockwall, TX 75087
Ph: 972-732-6085 Email: jc@c.

Email: jc@carrollarch.com

CASE NUMBER
2019XXX

108 Saint Marys Street

CARROIL architects

VICKERS CONSTRUCTION

SITE PLAN/ LANDSCAPE PLAN

SSION/

Saint

108 Sa Rockwa

DATE: SHEET N

JULY 2018

PROJECT NO: 2018009

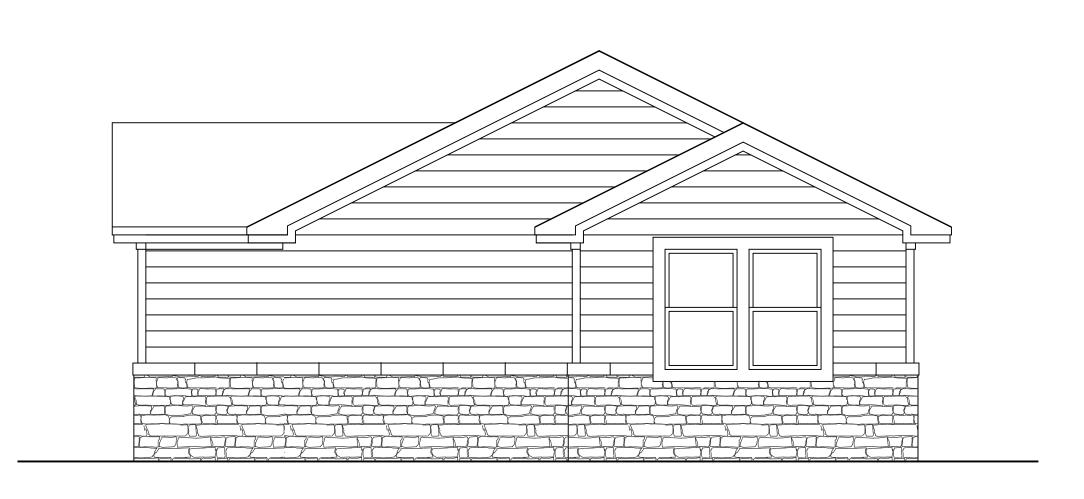
DRAWN BY:

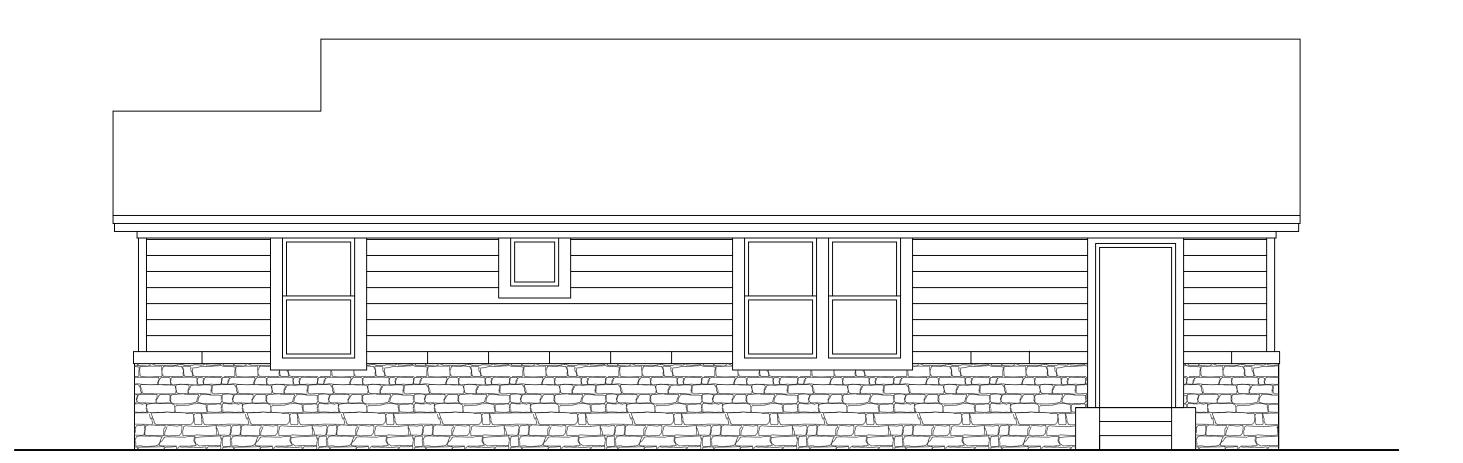
CHECKED BY:

A100

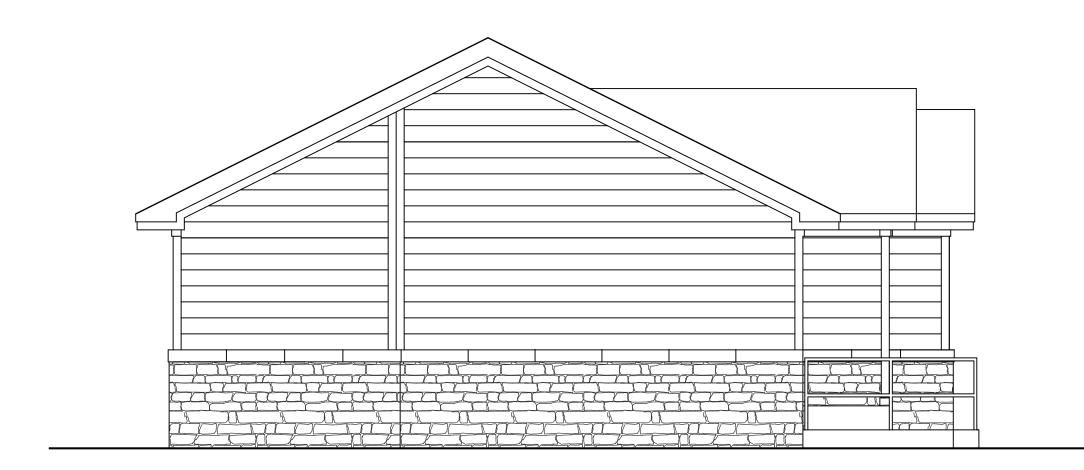
1 SITE PLAN / LANDSCAPE PLAN
SCALE: 1:20

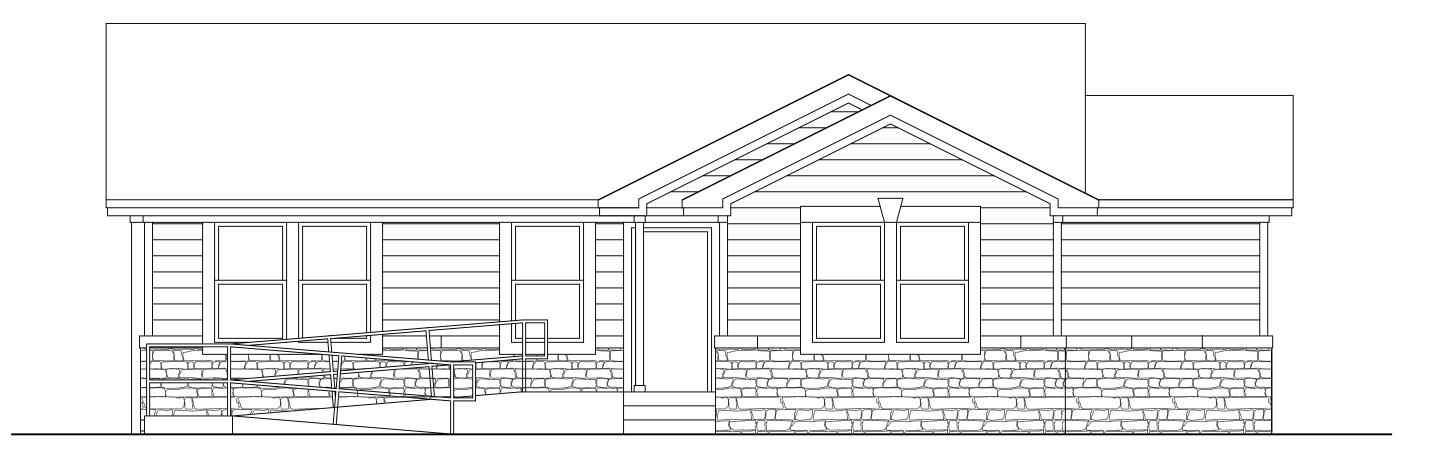
85.00'





3 BACK ELEVATION
SCALE: 1/4"=1'-0"





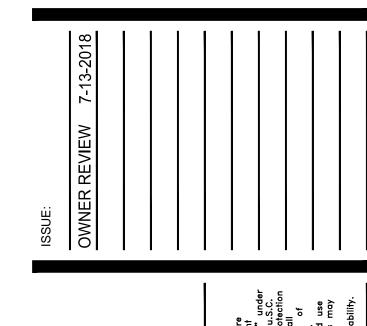
2 LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

4 RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

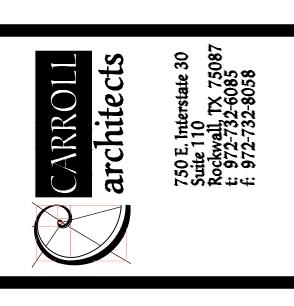
1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



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INTERIOR REMODEL FOR 108 SAINT MARY STREET



ELEVATIONS

DATE: SHEET NO:

JULY 2018

PROJECT NO:

201802

DRAWN BY:

CHECKED BY:

City of Rockwall



1/18/2019 LM

Project Plan Review History

JT ALLIANCE, INC.

Owner

Applicant

Project Number Project Name SP2019-003

Ranch Trail Development

Туре

SITE PLAN

Subtype

Status Staff Review

Site Address

City, State Zip

405 RANCH TRAIL Rockwall, TX 75032

Subdivision

Tract

Block

Lot No

CLAYMOORE ENGINEERING, INC.

Parcel No

Zoning

Applied

Closed

Expired

Status

Approved

General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed S	itatus	Remarks
BUILDING	Russell McDowell	1/18/2019	1/25/2019	1/22/2019	4 A	APPROVED	
ENGINEERING	Sarah Hager	1/18/2019	1/25/2019	1/25/2019	7 C	COMMENTS	See comments.

- No grate inlets allowed. Must be curb inlets for paving.
- Dumpsters to drain to oil/water separator prior to entering the storm system.
- Drainage must be in sheet flow condition before crossing the property line from detention.
- Landscape Plan, add note, "8. No trees within 5' of utilities."

The following is for your information for engineering plan review.

- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height).
- Parking to be 20'x9'
- 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.
- 8" sewer in Ranch Trl.
- Sewer pro-rata of \$432.74/acre.
- Must install 5' sidewalk along County Line.
- Dumpster area to drain to oil/water separator or grease trap, depending on use.
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must have detention. Manning's "c-value" is per zoning for the entire property.
- If using the pond for detention, it must be over the existing level.
- Must have a waters of the US Study if touching the pond.
- Detention outfall must reach sheet flow conditions prior to crossing the property line.
- Must meet all City Engineering Standards.

FIRE Ariana Hargrove 1/18/2019 1/25/2019 1/24/2019 6 COMMENTS See comment (1/24/2019 6:31 PM AA)

Any building with a total floor area of 5,000 square feet or greater shall be protected by automatic fire sprinklers. The total floor area is calculated by adding the square footage of all floor levels within the exterior walls including mezzanines, and under the horizontal projections of the roof of a building.

GIS 1/18/2019 1/25/2019 1/22/2019 4 APPROVED **Lance Singleton** See comments

Project Reviews.rpt Page 2 of 5

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks			
(1/22/2019 2:36 PM	1 LS)								
Address assignmen	Address assignment:								
The complex addre	The complex address will be 405 Ranch Trail, Rockwall, TX 75032.								
Each building shoul	d be given a letter de	signation such a	is A, B, C						
In each building - t	In each building - the units / suits can be assigned at the time of permitting and should be given a number such as 101,103, 105 or 102,104,106 allowing number								
gaps for future der	mising walls. (200+ nu	mbers designat	e two+ story	buildings etc.) Ex	cample: 405 Ranch Trail	B-101, Rockwall, TX 75032.			
PLANNING	Korey Brooks	1/18/2019	1/25/2019	1/25/2019	7 COMMENTS	Comments			

Project Reviews.rpt Page 3 of 5

SP2019-003 Site Plan for Multi-Tenant Office/Warehouse on 403 Ranch Trail: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

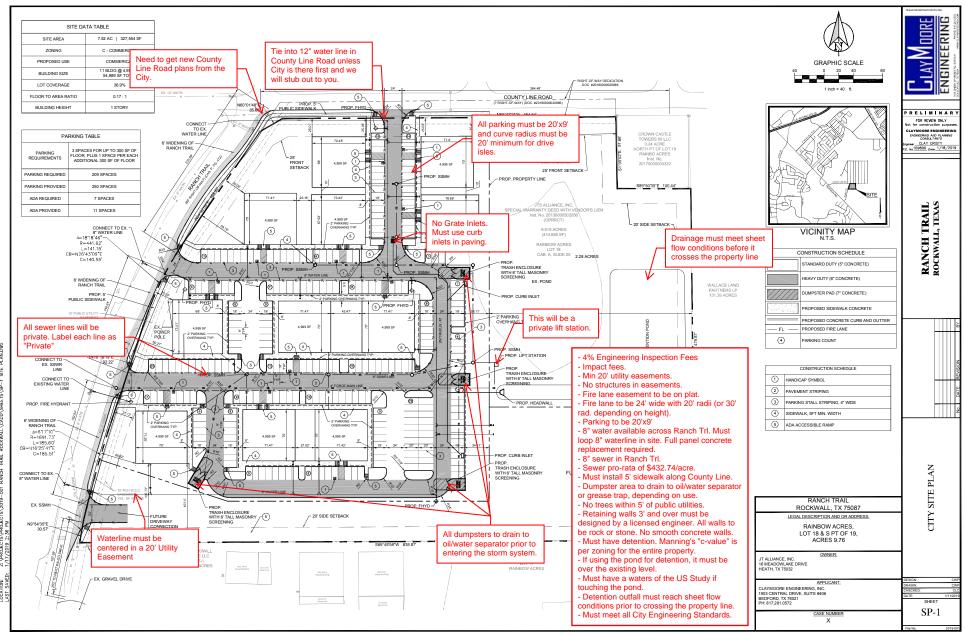
- ? This is a request by Matt Moore of ClayMoore Engineering, Inc. for the approval of a site plan for a multi-tenant office/warehouse complex on a 7.52-acre portion of a larger 9.76-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trai
- ? For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- ? For reference, include the case number (SP2019-003) in the lower right hand corner of all pages on future submittals.
- ? Site Plan. Please note, there is missing information on the Site Data Table (e.g. pervious vs impervious, landscape percentage, etc). Please check the Site Plan Checklist..
- ? Site Plan. Please check driveway spacing with the Engineering Department and the "Future Driveway Connection"
- ? Site Plan. Please note that at 5,000 SF, the buildings will need to have a sprinkler system. The Fire Department may already require a sprinkler due to the type of use.
- ? Site Plan. Please note, there will need to be heavy landscape screening at the property lines
- ? Site Plan. Please show any rollup doors on the building (i.e. provide a notch or something that indicates where the doors are located)
- ? Site Plan. Please note that roll-up door should not be visible from the street.
- ? Site Plan. Please show easements
- ? Site Plan. In order to clean-up the plan, please remove the ADA symbols and callouts. Also, for other items, try to limit callouts and maybe utilize hatching/shading and provide information in a legend.
- ? Site Plan. Please provide SF of office and SF of warehouse for each building.
- Site Plan. Perhaps, number the buildings (for site planning purposing only) so that they are easier to refer to.
- ? Site Plan. Please utilize a combination of lineweights, especially adjacent to Ranch Trail. Things seem to get lost and its difficult to see centerline of Ranch Trail vidimensions, etc.
- ? Site Plan. Please label each lot. For instance, there appears to be three different lots. Numbering the lots makes it easier to refer to.
- ? Site Plan. Please provide visibility triangles where driveways meet the street.
- ? Site Plan. Please provide centerlines of all adjacent roadways. (It may be there already but difficult to see.)
- ? Some of the buildings have lines in the middle of them, which are not dimension lines. For clarity, what are these lines?
- ? Site Plan. Please note, parking spaces should be 20 x 9 (unless a clear 2-foot overhang, which you show). Just check with Engineering to be sure those spaces are ok. Please dimension typical parking spaces and head to head space.
- ? Site Plan. Please note that the dumpster cannot directly face the street. Perhaps they can be angled?
- ? Site Plan. Is the footprint of each building going to be perfectly square, rectangle, etc? If not, please show the building footprint as it would actually appear.
- ? Site Plan. Please greyscale pond.
- Site Plan. Please show setbacks.
- ? Site Plan. "Construction Schedule" does not necessarily call out the ADA Symbol and pavement striping. The sidewalk could be a hatch pattern in the legend that shows the hatch and states the width of sidewalk. ADA accessible ramp could be shown as a symbol in a symbol legend.
- ? Site Plan. Show fire hydrants as symbol and provide in legend.
- ? Site Plan. The existing firelane symbol is difficult to read. Perhaps the firelane could be shown as a stippling pattern (or some other hatch)?
- ? Site Plan. Add a note that the dumpster enclosure shall have an opaque, self-latching gate. Also, check the minimum dimensions of the enclosure to ensure compliance—they seem tobe slightly undersized.
- ? Site Plan. The substitution of symbols in a legend rather than call outs would be helpful.
- ? Site Plan. Show and label landscape buffers adjacent to roadways (perhaps in greyscale).
- ? Site Plan. Please remove the footprints of the buildings on the adjacent property to the south. Also any information not related to this site should be removed.

Project Reviews.rpt Page 4 of 5

For example, in the lower lefthand corner next to the future driveway there is a light pole and a power pole showing in addition to "Ex. Gravel Drive".

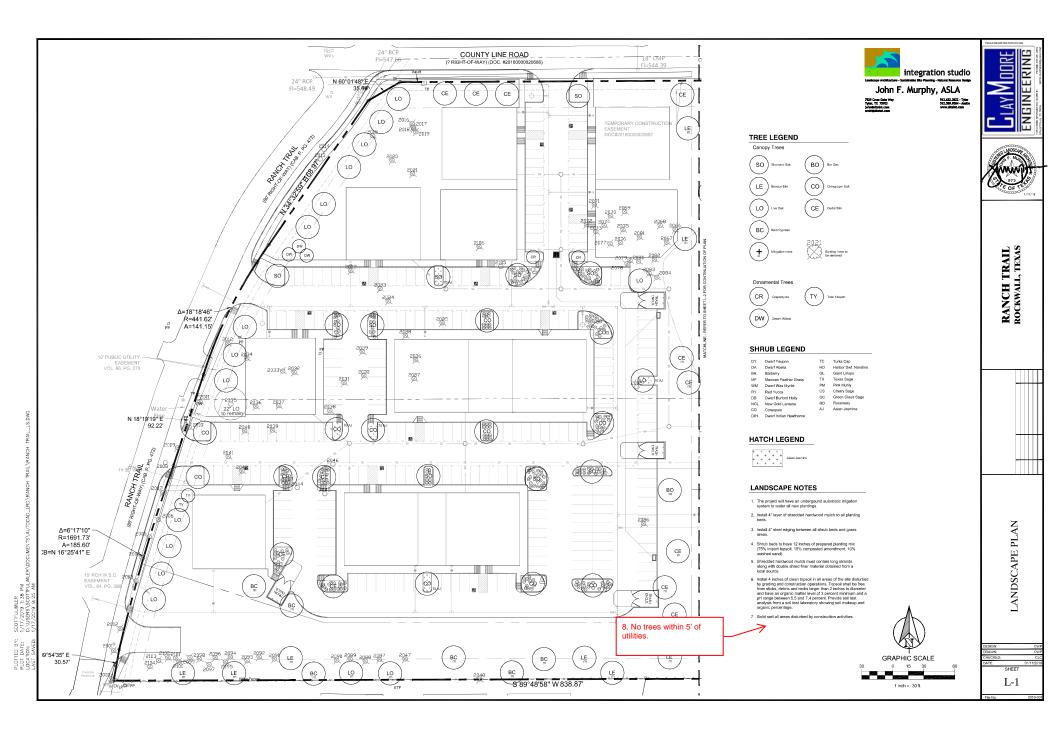
- ? Site Plan. The drive approaches for the properties across the roadways do not need to be shown
- ? Site Plan. The adjacent roadway labels should be more noticeable.
- ? Site Plan. The parking spaces need to be behind the front façade of the buildings. There are two or three parking spaces located at the drive aisle off county line road that will need to be moved.
- ? Site Plan. The parking space closest to the dumpster enclosure at the east property line may have to be eliminated due to lack of backing out space.
- ? Site Plan. Please note our updated screening requirements for residential adjacency.
- ? Site Plan. Will the detention be regional? If so, indicate.
- ? Landscape Plan. Please show centerlines of adjacent roadways.
- ? Landscape Plan. Please provide site data table as shown on landscape plan. Also, please check the site plan checklist that shows additional information to be added to site data table (e.g. pervious vs. impervious percentage, landscape percentage, etc.)
- ? Landscape Plan. Please check trees along the property line to ensure that they are not within 5-feet of a utility.
- ? Landscape Plan. Please check the tree requirements along Goliad—There seems to be 1 or 2 trees missing. Also, please show and label landscape buffer adjacent to roadways.
- ? Landscape Plan. Please note that no parking space shall be 80-feet from a tree. Provide 80-foot buffer at 1 or 2 trees to show compliance. Also, dimension a typical parking space as well as typical head to head.
- ? Landscape Plan. Please show any easements.
- ? Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
- ? Landscape Plan. Please show heavy landscape screening from the adjacent residential property
- ? Landscape Plan. Please provide engineering information on all plans (e.g turning radii, easements, utilities, etc). Also provide visibility triangle.
- ? Landscape Plan. What is the square black box in the middle of the drive aisle off County Line Road? Please indicate in legend.
- ? Landscape Plan. There are a number of trees that show "70 AJ" or similar. What is that?
- ? Landscape Plan. Please label pond. Also you may have to check to see if this is Waters of the U.S.
- ? Landscape Plan. Please label detention pond.
- ? Landscape Plan. Please indicate the number of caliper inches and percentage of caliper inches that is being paid into the tree fund.
- ? Landscape Plan. Am I correct that only one tree is being preserved? Just as a note,
- ? Photometric Plan. If any additional lighting is being provided, please provide a photometric plan.
- ? Building Elevations. Please provide updated drawings showing the proposed wainscot and material percentages.
- ? Building Elevations. Staff recommends that all facades visible from a public street by full masonry
- ? Building Elevations. Provide Site data Table as provided on other sheets.
- ? Photometric Plan. Please provide cut sheets.
- ? The Architectural Review Board (ARB) meeting for this case will be held on January 29, 2019 at 5:00 p.m.
- ? Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2019. The Planning and Zoning Worksession for this case will be January 29, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be February 12, 2019

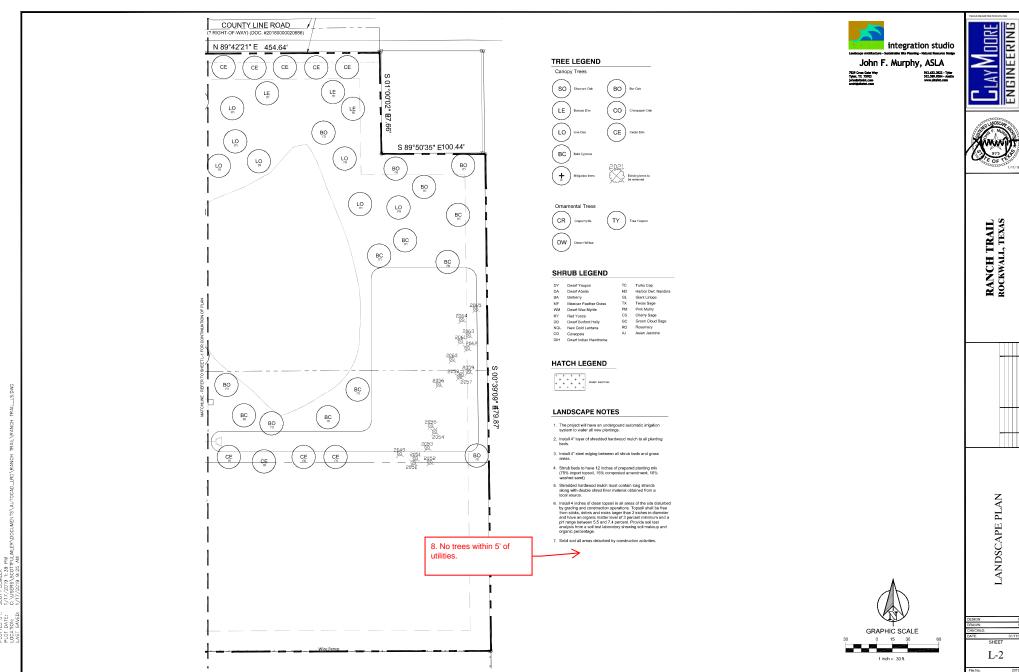
Project Reviews.rpt Page 5 of 5



1/17/2019 2:37 PM Z: \PROJECTS\PROJECTS\2019-001 RANCH TRAIL ROCKWALL

OTTED BY: LYNN RO OT DATE: 1/17/201 CATION: Z:\PROJE





PLOTTED BY: PLOT DATE: LOCATION:

integration studio

DORE

JLAY

RANCH TRAIL ROCKWALL, TEXAS

ENGINEERING

John F. Murphy, ASLA

812.632.3622 - Tyler 512.589.9584 - Austin

City of Rockwall, Texas LANDSCAPE CALCULATIONS

Total Lot Area	414,665 SF	Required	Provided	
Landscape Area 10%		41,467 SF	135,609 SF	(32%)
Street Buffer Trees	1 Shade tree 3" cal. per 50 LF of frontage	Required	Provided	
Ranch Trail	618.51 LF	13	13	
County Line Road	454.64 LF	9	9	
Parking Lot Landsca	ре	Required	Provided	
Parking Spaces 1 tree per 10 space	257	26	26	

Tree Mitigation

Primary tree inches removed - 38.5" Secondary tree inches removed - 967 / 2 =483.5" Total protected inches removed - 522"

New mitigation inches provided - 150" Remainder mitigation to be paid into tree fund

EXISTING TREE LIST Number Size Type

>	k =	PRE	SEF	SVED	TRI	ΞΕ

	LXIOI	1110 111	LL LIO		- I IVE	DEIXVED II	INCL.
	Number	Size	Туре] [Number	Size	Type
	2000	8" 8"	Hackberry	1	2054	8"	Hackberry
	2001	13"	Cedar	1 1	2055	10" 17"	Hackberry
	2002	7" 10" 10"	Cedar	1 1	2056	7" 9"	Ash
	2003	16"	Cedar	1 1	2057	11"	Hackberry
	2004	17"	Cedar	1 1	2058	8"	Hackberry
	2005	15"	Cedar	1 1	2059	8"	Hackberry
	2006	12"	Cedar	1 1	2060	8"	Hackberry
	2007	16"	Cedar	1 1	2061	7"	Hackberry
	2008	26"	Cedar	1 1	2062	8"	Hackberry
	2009	10" 13" 18"	Cedar	1 1	2063	8"	Hackberry
	2010	10"	Cedar	1 1	2064	10"	Hackberry
	2011	8"	Oak	1 1	2065	8"	Hackberry
	2012	12"	Hackberry	1 1	2066	16"	Hackberry
	2013	10"	Cedar	1 1	2067	8" 8" 10"	Hackberry
	2014	14" 20"	Cedar	1 1	2068	16"	Hackberry
	2015	15" 14"	Cedar-Hackberry	1 1	2069	8" 8"	Hackberry
	2016	10"	Hackberry	1 1	2070	15"	Hackberry
	2017	10"	Hackberry	1 1	2071	10" 12"	Hackberry
	2018	10"	Hackberry		2072	13"	Hackberry
	2019	10"	Hackberry	1	2073	7" 9"	Hackberry
	2020	7" 10"	Hackberry	1	2074	13"	Hackberry
	2021	13"	Cedar	1	2075	13"	Hackberry
	2022	22"	Cedar	1	2076	11"	Hackberry
	2023	12" 16"	Cedar	1	2077	11"	Hackberry
	2024	16"	Cedar	1	2078	g"	Hackberry
	2025	15"	Cedar	1	2079	g"	Hackberry
	2026	12"	Hackberry	1	2080	12"	Hackberry
	2027	12"	Hackberry	1	2081	9"	Hackberry
	2028	11"	Cedar	1	2082	13"	Hackberry
	2029	22"	Hackberry	1	2083	8"	Hackberry
	2030	27"	Cedar	1	2084	13"	Hackberry
	2031	8"	Hackberry		2085	11"	Cedar
	2032	10"	Hackberry	1	2086	13"	Cedar
	2033	16"	Hackberry	1	2087	10"	Cedar
	2033	8"	Hackberry	1	2088	10"	Cedar
*	2035	22"	Live Oak		2089	10"	Cedar
*	2036	23"	Mulberry		2090	10"	Cedar
	2037	17"	Mulberry		2091	8"	Cedar
	2038	32"	Mulberry		2092	12"	Cedar
	2039	17"	Mulberry	1	2092	8" 12"	Cedar
	2039	15"	Mulberry	1	2093	8"	Cedar
	2041	18"	Oak	-	2095	10"	Cedar
	2042	8"	Cedar	1	2096	10"	Cedar
	2042	14"	Mulberry		2090	10"	Cedar
	2043	12"	Hackberry		2098	12"	Cedar
	2044	8" 10" 10"			2098	10"	Cedar
	2045	10"	Hackberry		2100	8"	Cedar
	2046	16"	Hackberry Cedar		2100	10"	Cedar
	2047	15"			2101	10"	
	2048	10"	Cedar		2102	8"	Cedar
	2049	10"	Hackberry		2103	15"	Cedar
		10" 10"	Hackberry				
	2051	10" 10"	Hackberry		2105 2106	10"	Hackberry
	2052		Hackberry		2106	10	Hackberry
	2053	8"	Hackberry	l			



PLANT LIST

 11
 LE
 Lacebark Elm

 24
 LO
 Live Oak

 11
 CO
 Chinquapin Oak

 22
 CE
 Cedar Elm

 13
 BC
 Bald Cypress

 10
 SO
 Shumard Oak

 8
 BO
 Bur Oak

ORNAMENTAL TREES 2 TY Tree Yaupon

2 CR Crapemyrtle 3 DW Desert Willow

SHRUBS & GROUNDCOVERS

DA Dwarf Abelia BA MF

WM Dwarf Wax Myrtle

Mexican Feather Grass

Dwarf Burford Holly

New Gold Lantana

Turks Cap Harbor Dwf. Nandina

Cherry Sage Green Cloud Sage

Rosemary Asian Jasmine

CO Coreopsis

DIH Dwarf Indian Hawthorne

Ulmus parviflora Quercus virginiana

Quercus muhlenbergia Ulmus crassifolia

Taxodium distichum

Quercus shumardii Quercus macrocarpa

Lagerstroemia indica 'Tuscarora' Chilopsis linearis 'Timeless Beauty'

Abelia x grandiflora 'Ed. Goucher' Berberis thunbergii

Nassella tenuissima

Lantana 'New Gold'

Coreopsis 'Early Sunrise'

Raphiolepis indica 'Pinkie'

Liriope gigantea Leucophyllum frutescens 'Silverado'

Malaviscua arboreus Nandina 'Harbor Dwarf'

Muhlenbergia capillaris

Salvia greggii Leucophyllum frutescens

Rosemarinus prostratus Trachelospermum asiaticu

Myrica pusilla Hesperaloe parviflora Ilex cornuta 'Burfordii'

llex vomitoria

3" cal. B&B 12' ht. 5' spread

3" cal. B&B 12' ht. 5' spread 3" cal. B&B 12' ht. 5' spread

30 gal. 8' ht. multi-trunk female

5 gal. 36" oc 5 gal. 36" oc

1 gal. 18" oc 5 gal. 36" oc

5 gal. 36* oc 5 gal. 36* oc

1 gal. 24" oc

1 gal. 24" oc

5 gal. 36" oc

1 gal. 24° oc 1 gal. 18° oc

3 gal. 36* oc 5 gal. 36* oc

1 gal. 30" oc

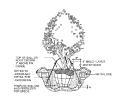
1 gal. 30° oc 5 gal. 36* oc

5 gal. 36* oc 1 gal. 18* oc

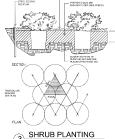
30 gal. 8' ht. 3 trunk 2 1/2" cal. min. 30 gal. 6' ht. 2 1/2" cal. min.

	CHORTM RELOW GRADE SAFETY STAN	OF THE ROOTBALL WITH	THE NAIL)	ROOT ANOHOR AFTER	REE IS ESTABLISHED.
ITEM #	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)	ITEM#	DESCRIPTION	NAIL LENGTH X 3PC (INCLUDED)
5 BG	5 GALLON OR 10" ROOTBALL	#4 X 24"	100 BG	95/100 GALLON OR 36" ROOTBALL	#5 X 48*
15 BG	10/15 GALLON OR 17" ROOTBALL	#4 X 36"	150 BG	150 GALLON OR 42' ROOTBALL	#5 X 60*
30 BG	20/30 GALLON OR 22" ROOTBALL	#4 X 36"	200 BG	200 GALLON OR 48° ROOTBALL	#5 X 72*
45/65 BG	45/65 GALLON OR 27-30" ROOTBALL	#4 X 48"	300 BG	300 GALLON OR 58" ROOTBALL	#5 X 72*

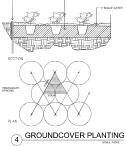
(1) CANOPY TREE PLANTING



MULTI-TRUNK PLANTING



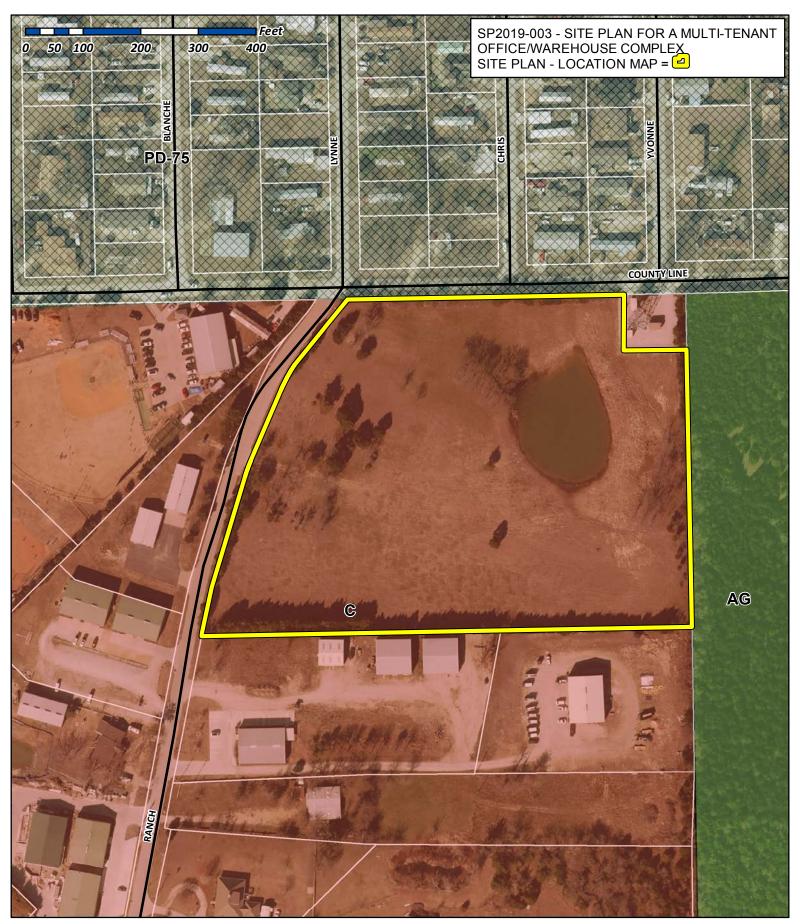
3 SHRUB PLANTING



12" DEPTH OF PLANTING MIX

SHEET L-3

LANDSCAPE DETAILS





City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



TEXAS REGISTRATION #14199 / DORE ERING SITE DATA TABLE 7.52 AC | 327,554 SF SITE AREA ZONING C - COMMERCIAL PROPOSED USE COMMERICAL AY **GRAPHIC SCALE** 11 BLDG @ 4,999 SF **BUILDING SIZE** 54,989 SF TOTAL 一 - RIGHT-OF-WAY DEDICATION DOC. #20180000020686 LOT COVERAGE 36.9% 1 inch = 40 ft. EX. 12" WATR FLOOR TO AREA RATIO 0.17:1 COUNTY LINE ROAD_ (? RIGHT-OF-WAY) (DOC. #20180000020686) **BUILDING HEIGHT** 1 STORY PRELIMINAR' N89°42'21"E 454.64' FOR REVIEW ONLY CONNECT Not for construction purpose TO EX. CLAYMOORE ENGINEERING WATER LINE, CROWN CASTLE 14 ENGINEERING AND PLANNING CONSULTANTS PARKING TABLE 71.4' TOWERS 09 LLC 72.45' 6' WIDENING OF gineer CLAY CRISTY 0.24 ACRE - TEMPORARY CONSTRUCTION PORTION OF RANCH TRAIL _{E. No.}109800 _{Date} 1/18/2019 NORTH PT OF LOT 19 3 SPACES FOR UP TO 300 SF OF RAINBOW ACRES PARKING RAINBO ACRES FLOOR, PLUS 1 SPACE PER EACH DOC#20180000020687 LOT 19 REQUIREMENTS Inst. No. ADDITIONAL 300 SF OF FLOOR Cab. A, Slide 20 FRONT 20170000004322 SETBACK 25' FRONT SETBACK -PARKING REQUIRED 209 SPACES - PROP. SSMH PROP. PROPERTY LINE S89°50'35"E 100.44' PARKING PROVIDED 250 SPACES 73.43' 71.41' ADA REQUIRED 7 SPACES 78.86' RANCH TRAIL ROCKWALL, TEXAS JTS ALLIANCE, INC. SPECIAL WARRANTY DEED WITH VENDOR'S LIEN ADA PROVIDED 11 SPACES Inst. No. 20130000502056 4,999 SF (OPRRCT) _ 2' PARKING — └ 20' SIDE SETBACK ¬ CONNECT TO EX. -OVERHANG TYP. **VICINITY MAP** 9.519 ACRES 8" WATER LINE - 2' PARKING (414,665 SF) ∆=18°18′46"[—] R = 441.62RAINBOW ACRES L=141.15' LOT 18 CAB. A, SLIDE 20 2.28 ACRES CONSTRUCTION SCHEDULE CB=N26°43'09"E C=140.55STANDARD DUTY (5" CONCRETE) TRASH ENCLOSURE WITH 6' TALL MASONRY SCREENING HEAVY DUTY (6" CONCRETE) 6' WIDENING OF -EX. POND RANCH TRAIL WALLACE LAND PARTNERS LP DUMPSTER PAD (7" CONCRETE) 131.39 ACRES PROP. CURB INLET 2' PARKING OVERHANG TYP. PUBLIC SIDEWALK PROP. FHYD PROPOSED SIDEWALK CONCRETE 71.41' 10' PUBLIC UTILITY EASEMENT PROPOSED CONCRETE CURB AND GUTTER VOL. 66, PG. 270 OVERHANG TYP. 4,999 SF 4,999 SF — FL —— PROPOSED FIRE LANE EX. SSMH -POWER PÓLE OVERHANG TYP. PARKING COUNT EX. POWER POLE /-\ PROP. SSMH 2' PARKING OVERHANG TYP. - PROP. LIFT STATION N18°1⁄9'19"E_ CONNECT TO -EX. SSWR CONSTRUCTION SCHEDULE LINE TRASH ENCLOSURE WITH 6' TALL MASONRY 1 HANDICAP SYMBOL CONNECT TO **EXISTING WATER** SCREENING 2 PAVEMENT STRIPING - PROP. PROPERTY LINE (3) PARKING STALL STRIPING, 4" WIDE ~ PROP. HEADWALL PROP. FIRE HYDRANT (4) SIDEWALK, 5FT MIN. WIDTH 6' WIDENING OF - 2' PARKING — - 2' PARKING -ADA ACCESSIBLE RAMP OVERHANG TYP. RANCH TRAIL OVERHANG TYP. Δ=6°17'10"-4,999 SF (4) 4,999 SF 4,999 SF R=1691.73' L=185.60' 71.43' CB=N16°25'41"E C=185.51' - PROP. CURB INLET 2.00 ACRE TRASH ENCLOSURE WITH 6' TALL MASONRY **FUTURE DEVELOPMENT** CONNECT TO EX. -SCREENING 8" WATER LINE SITE - 15' RCH W.S.C. 8" WATER LINE RANCH TRAIL EX. SSMH-PROP. FHYD -ROCKWALL, TX 75087 TRASH ENCLOSURE WITH 6' TALL MASONRY / (5) _ 20' SIDE SETBACK **LEGAL DESCRIPTION AND OR ADDRESS:** DRIVEWAY SCREENING N9°54'35"E CONNECTION RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.76 S89°48'58"W 838.87' **EPIC ROCKWALL EPIC ROCKWALL** VENTURE LLC - EX. POWER POLE VENTURE LLC JT ALLIANCE, INC. - EX. LIGHT POLE LOT 17-1 LOT 17 16 MEADOWLAKE DRIVE RAINBOW ACRES RAINBOW ACRES HEATH, TX 75032 One Story Metal Building One Story Metal Building EX. GRAVEL DRIVE <u>APPLICANT:</u> CLAYMOORE ENGINEERING, INC. CHECKED: 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 Concrete Pavement SHEET PH: 817.281.0572 CASE NUMBER

OFFICE/WAREHOUSE PROJECT for RANCH TRAIL DEVELOPMENT 407 RANCH TRAIL

RANCH TRAIL DEVELOPMENT

2 ESSEX COU HEATH, TX 750

750 E. Interstate 30 Suite 110 Rockwall, TX 75087 E. 972-732-6085 F. 972-732-8058

EXTERIOR ELEVATIONS CONCEPT A

DATE:

JAN 2019

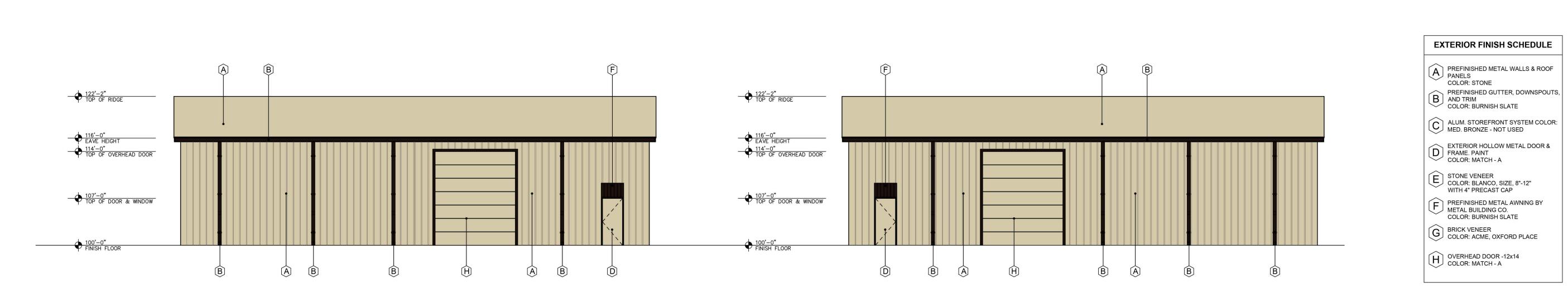
PROJECT NO:

2019001

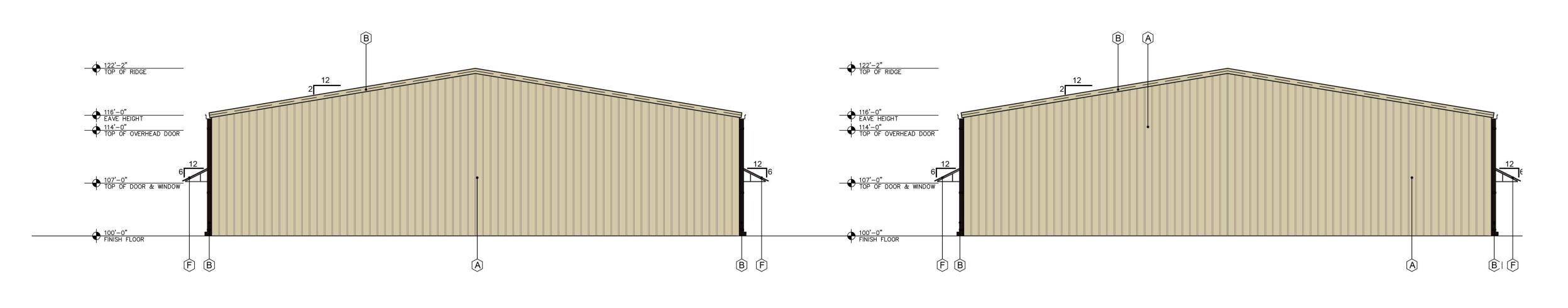
DRAWN BY:

A501

CHECKED BY:



3 NORTH ELEVATION - STREET SIDE SCALE: 3/16"=1'-0"



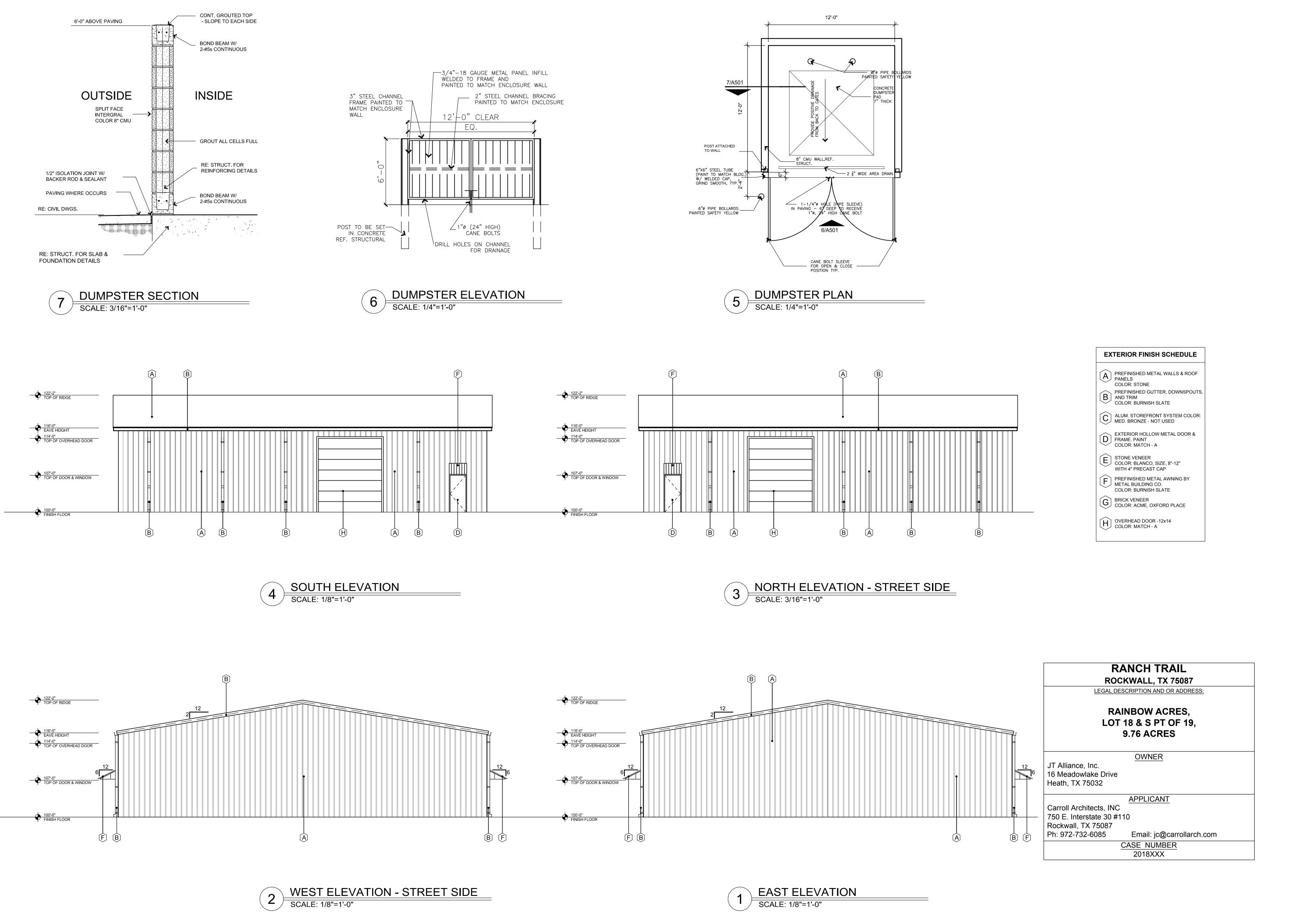
2 WEST ELEVATION - STREET SIDE

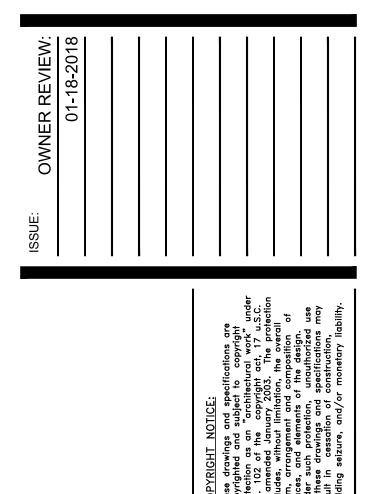
SCALE: 1/8"=1'-0"

SOUTH ELEVATION
SCALE: 1/8"=1'-0"

1 EAST ELEVATION

SCALE: 1/8"=1'-0"





VELOPMEN FICE/WAREHOUSE OF

EXTERIOR ELEVATIONS

CONCEPT A SHEET NO: JAN 2019 PROJECT NO: A501

CHECKED BY:



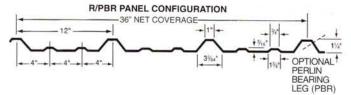


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The Weather XL™ Silicone Polyester coil coatings from Valspar are ideal for agricultureal, residential & commercial roofing, industrial applications, and pre-enginneered metal buildings.

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- · Custom Trim available.
- · Complete line of metal roofing and metal building components.
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- W UL 2218 Classified Steel.







valspar Weather



Koko Brown - SMP



HAWAIIAN BLUE - SMP



BURNISHED SLATE - SMP



RUSTIC RED - SMP



EVERGREEN - SMP

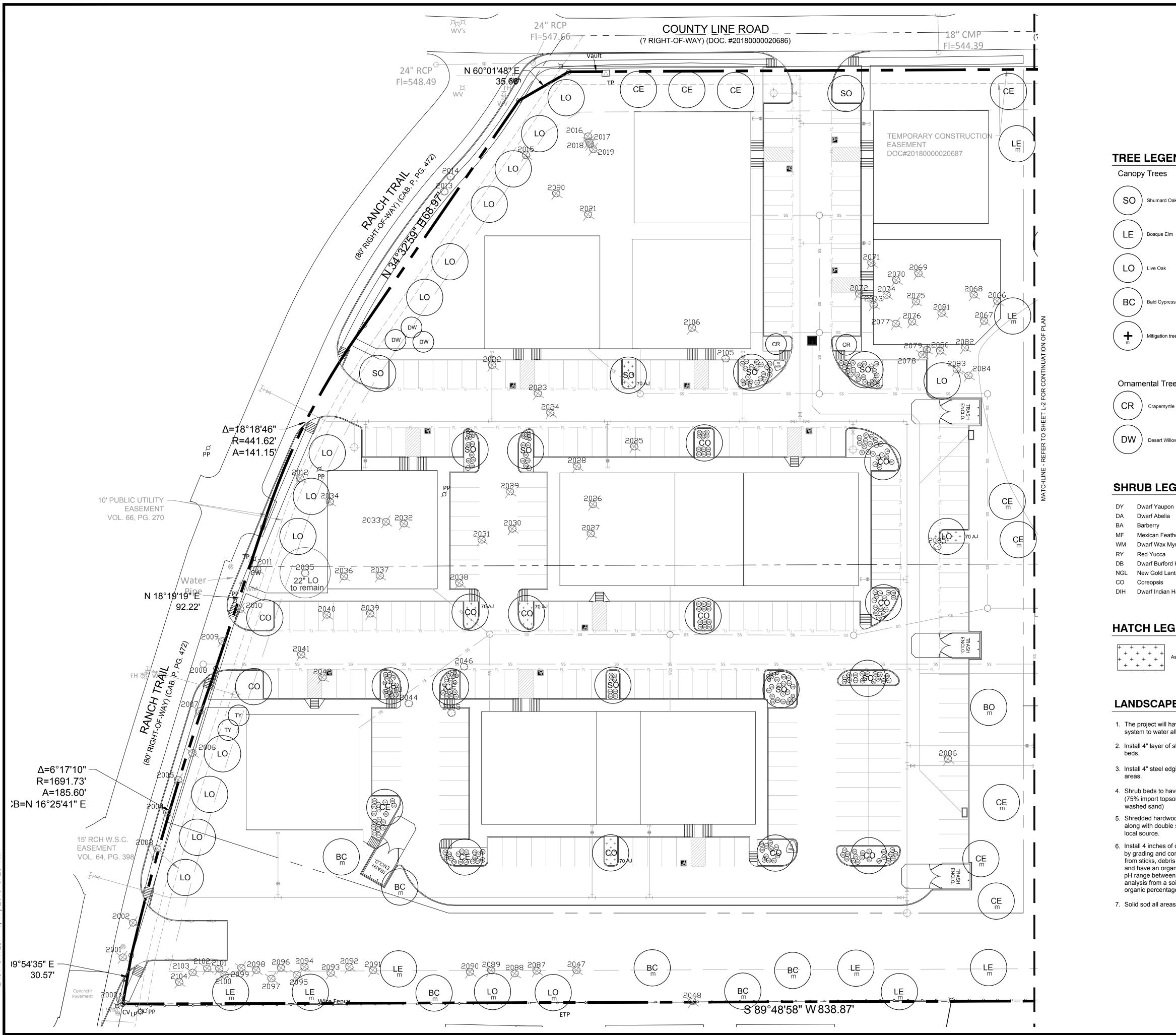


CHARCOAL GRAY - SMP



- * Color requires minimum order
- ✓ Poly based on availability

Color samples shown approximate actual paint colors as closely as possil



PLOTTED BY: PLOT DATE: LOCATION:



512.632.3822 - Tyler 512.589.9584 - Austin www.siteint.com

TREE LEGEND

Canopy Trees

SO) Shumard Oak

CO Chinquapin Oak

CE Cedar Elm

Ornamental Trees

DW) Desert Willow

SHRUB LEGEND

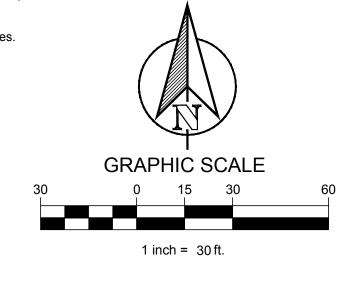
TC Turks Cap Harbor Dwf. Nandina AJ Asian Jasmine Coreopsis

HATCH LEGEND

+ + + + + + + + + + + +

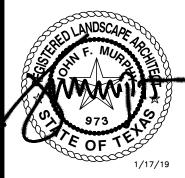
LANDSCAPE NOTES

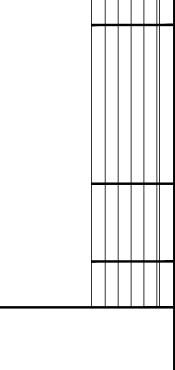
- 1. The project will have an undergound automatic irrigation system to water all new plantings.
- 2. Install 4" layer of shredded hardwood mulch to all planting
- 3. Install 4" steel edging between all shrub beds and grass
- 4. Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand)
- 5. Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
- 6. Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- 7. Solid sod all areas disturbed by construction activities.





TEXAS REGISTRATION #14199





ANDSCAPE

CHECKED: SHEET

TREE LEGEND

Canopy Trees

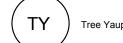
Shumard Oak

BO Bur Oak

CO Chinquapin Oak Bosque Elm

CE) Cedar Elm

Ornamental Trees



DW Desert Willow

SHRUB LEGEND

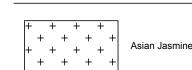
TC Turks Cap HD Harbor Dwf. Nandina

CS Cherry Sage GC Green Cloud Sage

Coreopsis

AJ Asian Jasmine DIH Dwarf Indian Hawthorne

HATCH LEGEND



LANDSCAPE NOTES

- 1. The project will have an undergound automatic irrigation system to water all new plantings.
- 2. Install 4" layer of shredded hardwood mulch to all planting
- 3. Install 4" steel edging between all shrub beds and grass
- 4. Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand)
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- 7. Solid sod all areas disturbed by construction activities.

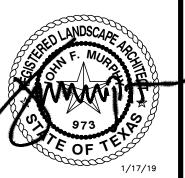


John F. Murphy, ASLA

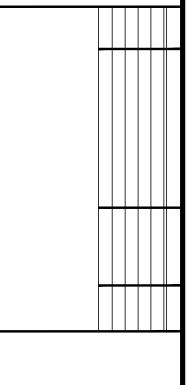
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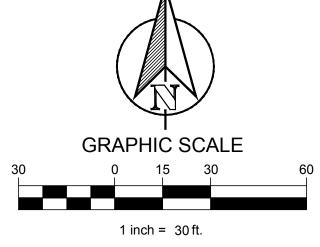
TEXAS REGISTRATION #14199



| RAIL | TEXAS |
|-------|--------|
| ICH T | KWALL, |
| RAI | ROCI |



CHECKED: SHEET



| 11 | LE | Lacebark Elm | Ulmus parviflora | 3" cal. B&B 12' ht. 5' spread |
|----|----|----------------|----------------------|-------------------------------|
| 24 | LO | Live Oak | Quercus virginiana | 3" cal. B&B 12' ht. 5' spread |
| 11 | CO | Chinquapin Oak | Quercus muhlenbergia | 3" cal. B&B 12' ht. 5' spread |
| 22 | CE | Cedar Elm | Ulmus crassifolia | 3" cal. B&B 12' ht. 5' spread |
| 13 | ВС | Bald Cypress | Taxodium distichum | 3" cal. B&B 12' ht. 5' spread |
| 10 | SO | Shumard Oak | Quercus shumardii | 3" cal. B&B 12' ht. 5' spread |
| 8 | ВО | Bur Oak | Quercus macrocarpa | 3" cal. B&B 12' ht. 5' spread |

| 2 | TY | Tree Yaupor |
|---|----|-------------|
| 2 | CR | Crapemyrtle |

| 3 | DW | Desert Willow | Chilopsis linearis 'Timeless Beauty' | 30 gal. 6' ht. 2 1/2" cal. min. | | |
|-----------------------|----|-----------------------|--------------------------------------|---------------------------------|--|--|
| SHRUBS & GROUNDCOVERS | | | | | | |
| 9 | DY | Dwarf Yaupon | llex vomitoria 'Nana' | 5 gal. 36" oc | | |
| 21 | DA | Dwarf Abelia | Abelia x grandiflora 'Ed. Goucher' | 5 gal. 36" oc | | |
| 12 | BA | Barberry | Berberis thunbergii | 5 gal. 36" oc | | |
| 25 | MF | Mexican Feather Grass | Nassella tenuissima | 1 gal. 18" oc | | |

llex vomitoria

Hesperaloe parviflora

Rosemarinus prostratus

Trachelospermum asiaticum

Myrica pusilla

Lagerstroemia indica 'Tuscarora'

| 5 | WM | Dwarf Wax Myrtle |
|----|-----|------------------------|
| 15 | RY | Red Yucca |
| 11 | DB | Dwarf Burford Holly |
| 20 | NGL | New Gold Lantana |
| 15 | CO | Coreopsis |
| 24 | DIH | Dwarf Indian Hawthorne |
| 14 | TC | Turks Cap |

32

14

14

23

23

CS

350 AJ Asian Jasmine

| Dwarf Burford Holly | llex cornuta 'Burfordii' |
|------------------------|-------------------------------------|
| New Gold Lantana | Lantana 'New Gold' |
| Coreopsis | Coreopsis 'Early Sunrise' |
| Dwarf Indian Hawthorne | Raphiolepis indica 'Pinkie' |
| Turks Cap | Malaviscua arboreus |
| Harbor Dwf. Nandina | Nandina 'Harbor Dwarf' |
| Giant Liriope | Liriope gigantea |
| Texas Sage | Leucophyllum frutescens 'Silverado' |
| Pink Muhly | Muhlenbergia capillaris |
| Cherry Sage | Salvia greggii |
| Green Cloud Sage | Leucophyllum frutescens |

City of Rockwall, Texas LANDSCAPE CALCULATIONS

| Total Lot Area
Landscape Area 10% | 414,665 SF | Required
41,467 SF | Provided
135,609 SF (32%) |
|--------------------------------------|---|-----------------------|------------------------------|
| Street Buffer Trees | 1 Shade tree 3" cal.
per 50 LF of frontage | Required | Provided |
| Ranch Trail | 618.51 LF | 13 | 13 |
| County Line Road | 454.64 LF | 9 | 9 |
| Parking Lot Landsca | pe | Required | Provided |
| Parking Spaces | 257 | 26 | 26 |

Tree Mitigation

1 tree per 10 spaces

Primary tree inches removed - 38.5" Secondary tree inches removed - 967 / 2 =483.5" Total protected inches removed - 522" New mitigation inches provided - 150"

Remainder mitigation to be paid into tree fund

EXISTING TREE LIST

* = PRESERVED TREE

integration studio

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John F. Murphy, ASLA

Hackberry

Hackberry Hackberry Hackberry Hackberry Hackberry Hackberry Hackberry Hackberry Hackberry Hackberry Hackberry Hackberry Hackberry

Hackberry Hackberry Hackberry Hackberry

Hackberry

Hackberry Hackberry

| | EXIS I | ING IR | EE LIS I | | * = PRES | SERVED T | REE |
|---|--------|-------------|-----------------|---|-----------------|-----------|----------------|
| | Number | Size | Туре | | Number | Size | Туре |
| | 2000 | 8" 8" | Hackberry | | 2054 | 8" | Hackber |
| | 2001 | 13" | Cedar | | 2055 | 10" 17" | Hackber |
| | 2002 | 7" 10" 10" | Cedar | | 2056 | 7" 9" | Ash |
| | 2003 | 16" | Cedar | | 2057 | 11" | Hackber |
| | 2004 | 17" | Cedar | | 2058 | 8" | Hackber |
| | 2005 | 15" | Cedar | | 2059 | 8" | Hackber |
| | 2006 | 12" | Cedar | | 2060 | 8" | Hackber |
| | 2007 | 16" | Cedar | | 2061 | 7" | Hackber |
| | 2008 | 26" | Cedar | | 2062 | 8" | Hackber |
| | 2009 | 10" 13" 18" | Cedar | | 2063 | 8" | Hackber |
| | 2010 | 10" | Cedar | | 2064 | 10" | Hackber |
| | 2011 | 8" | Oak | | 2065 | 8" | Hackber |
| | 2012 | 12" | Hackberry | | 2066 | 16" | Hackber |
| | 2013 | 10" | Cedar | | 2067 | 8" 8" 10" | Hackber |
| | 2014 | 14" 20" | Cedar | | 2068 | 16" | Hackber |
| | 2015 | 15" 14" | Cedar-Hackberry | | 2069 | 8" 8" | Hackber |
| | 2016 | 10" | Hackberry | | 2070 | 15" | Hackber |
| | 2017 | 10" | Hackberry | | 2071 | 10" 12" | Hackber |
| | 2018 | 10" | Hackberry | | 2072 | 13" | Hackber |
| | 2019 | 10" | Hackberry | | 2073 | 7" 9" | Hackber |
| | 2020 | 7" 10" | Hackberry | | 2074 | 13" | Hackber |
| | 2021 | 13" | Cedar | | 2075 | 13" | Hackber |
| | 2022 | 22" | Cedar | | 2076 | 11" | Hackber |
| | 2023 | 12" 16" | Cedar | | 2077 | 11" | Hackber |
| | 2024 | 16" | Cedar | | 2078 | 9" | Hackber |
| | 2025 | 15" | Cedar | | 2079 | 9" | Hackber |
| | 2026 | 12" | Hackberry | | 2080 | 12" | Hackber |
| | 2027 | 12" | Hackberry | | 2081 | 9" | Hackber |
| | 2028 | 11" | Cedar | | 2082 | 13" | Hackber |
| | 2029 | 22" | Hackberry | | 2083 | 8" | Hackber |
| | 2030 | 27" | Cedar | | 2084 | 13" | Hackber |
| | 2031 | 8" | Hackberry | | 2085 | 11" | Cedar |
| | 2032 | 10" | Hackberry | | 2086 | 13" | Cedar |
| | 2033 | 16" | Hackberry | | 2087 | 10" | Cedar |
| | 2034 | 8" | Hackberry | | 2088 | 10" | Cedar |
| | 2035 | 22" | Live Oak | | 2089 | 10" | Cedar |
| • | 2036 | 23" | Mulberry | - | 2090 | 10" | Cedar |
| | 2037 | 17" | Mulberry | | 2091 | 8" | Cedar |
| | 2037 | 32" | Mulberry | | 2092 | 12" | Cedar |
| | 2038 | 17" | Mulberry | | 2092 | 8" 12" | |
| | 2039 | 15" | - | - | 2093 | 8" | Cedar
Cedar |
| | 2040 | 18" | Mulberry
Oak | | 2094 | 10" | Cedar |
| | | 8" | | | | 10" | Cedar |
| | 2042 | 14" | Cedar | | 2096 | | |
| | 2043 | | Mulberry | | 2097 | 10" | Cedar |
| | 2044 | 12" | Hackberry | | 2098 | 12" | Cedar |
| | 2045 | 8" 10" 10" | Hackberry | | 2099 | 10" | Cedar |
| | 2046 | 10" | Hackberry | | 2100 | 8" | Cedar |
| | 2047 | 16" | Cedar | | 2101 | 10" | Cedar |
| | 2048 | 12" | Cedar | | 2102 | 10" | Cedar |
| | 2049 | 10" | Hackberry | | 2103 | 8" | Cedar |
| | 2050 | 10" | Hackberry | | 2104 | 15" | Cedar |
| | 2051 | 10" 10" | Hackberry | | 2105 | 10" | Hackber |
| | 2052 | 12" | Hackberry | | 2106 | 10" | Hackber |
| | 2052 | . 0!! | l III III I | | | 1 | |

Hackberry

- U-BRACKET



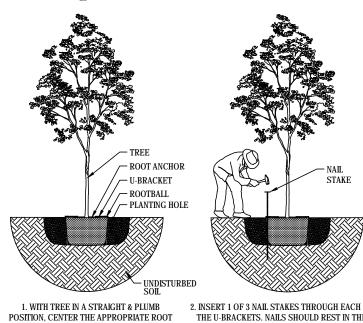
TREE STAKE SOLUTIONS LLC 9973 FM 521 ROAD ROSHARON, TX 77583 PHONE: (281) 778-1400 FAX: (281) 778-1425 www.treestakesolutions.com

__ ROOT ANCHOR

PLANTING HOLE

/_ U-BRACKET

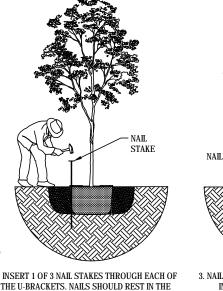
ROOTBALL



ANCHOR SAFETY STAKE AROUND THE TRUNK,

WITH RINGS LAYING FLAT AGAINST

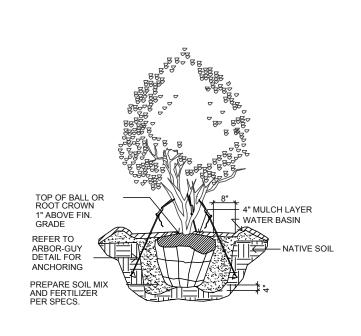
ROOTBALL, U-BRACKETS FACING UP.



| | SOIL |
|---|---|
| BED | |
| | |
| 2. INSERT 1 OF 3 NAIL STAKES THROUGH EACH OF | 3. NAIL STAKES SHOULD BE DRIVEN STRAIGHT DOWN |
| THE U-BRACKETS. NAILS SHOULD REST IN THE | INTO THE UNDISTURBED SOIL BELOW THE |
| UNDISTURBED SOIL AT THE BOTTOM OF THE TREE | ROOTBALL. THE NAILS ARE NOW CAGING THE |
| PIT. ALL NAILS SHOULD FIT SNUG AGAINST THE SIDE | ROOTBALL IN PLACE, WHILE THE TOP BRACKET PINS |
| OF THE ROOTBALL. | THE ROOTBALL DOWN. |
| (FOR HAND OR MACHINE DUG TREES, IT MAY BE | AFTER THE TREE STAKE IS INSTALLED, A LAYER OF |
| NECESSARY TO PENETRATE 1" - 4" OF OUTER AREA | MULCH CAN BE ADDED OVER THE STAKE. REMOVE |
| OF THE ROOTBALL WITH THE NAIL.) | ROOT ANCHOR AFTER TREE IS ESTABLISHED. |
| | |
| | |

| | | | OF THE ROOTBALL WITH THE NAIL.) | | ROOT ANCHOR AFTER TREE IS ESTABLISHED. | | |
|---|----------|---------------------------------|---------------------------------|--------|--|-------------------|--|
| ROOT ANCHORTM BELOW GRADE SAFETY STAKE SIZING CHART | | | | | | | |
| | ITEM # | DESCRIPTION | NAIL LENGTH X 3PC | ITEM# | DESCRIPTION | NAIL LENGTH X 3PC | |
| | | | (INCLUDED) | | | (INCLUDED) | |
| | 5 BG | 5 GALLON OR 10" ROOTBALL | #4 X 24" | 100 BG | 95/100 GALLON OR 36" ROOTBALL | #5 X 48" | |
| | 15 BG | 10/15 GALLON OR 17" ROOTBALL | #4 X 36" | 150 BG | 150 GALLON OR 42" ROOTBALL | #5 X 60" | |
| | 30 BG | 20/30 GALLON OR 22" ROOTBALL | #4 X 36" | 200 BG | 200 GALLON OR 48" ROOTBALL | #5 X 72" | |
| | 45/65 BG | 45/65 GALLON OR 27-30" ROOTBALL | #4 X 48" | 300 BG | 300 GALLON OR 58" ROOTBALL | #5 X 72" | |
| | | | | | | | |

CANOPY TREE PLANTING



30 gal. 8' ht. multi-trunk female

5 gal. 36" oc

5 gal. 36" oc

5 gal. 36" oc

1 gal. 24" oc

1 gal. 24" oc

5 gal. 36" oc

1 gal. 24" oc

1 gal. 18" oc

3 gal. 36" oc

5 gal. 36" oc

1 gal. 30" oc

1 gal. 30" oc

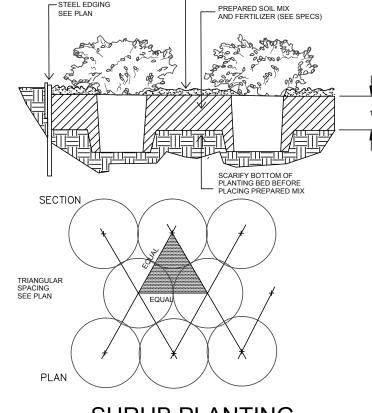
5 gal. 36" oc

5 gal. 36" oc

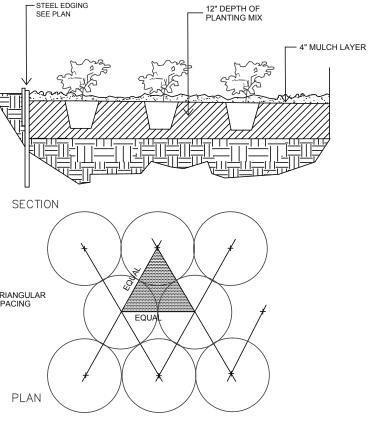
1 gal. 18" oc

30 gal. 8' ht. 3 trunk 2 1/2" cal. min.

| | MULTI-TRUNK PLANTING |
|-----|----------------------|
| (2/ | SCALE: NONE |





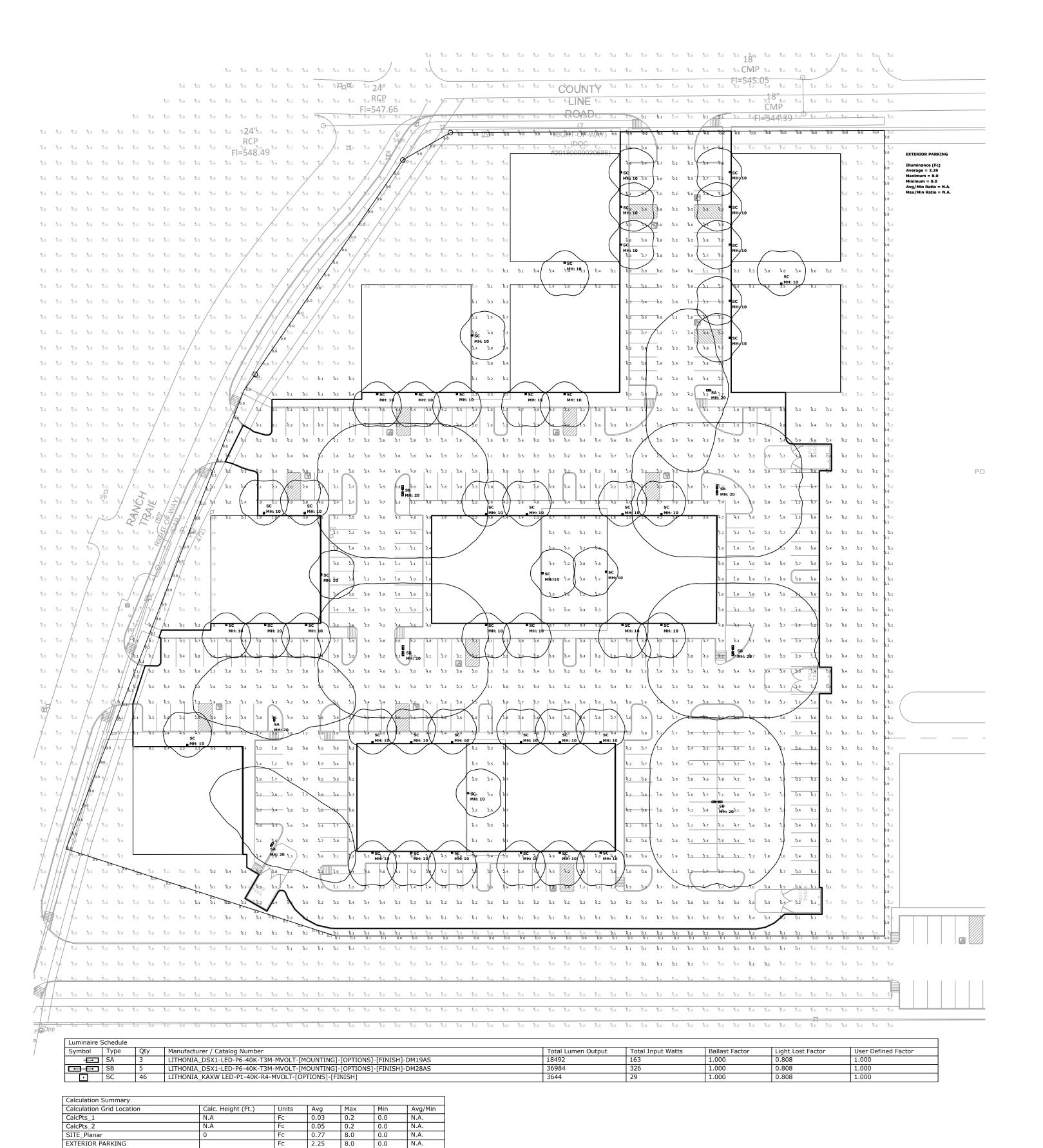


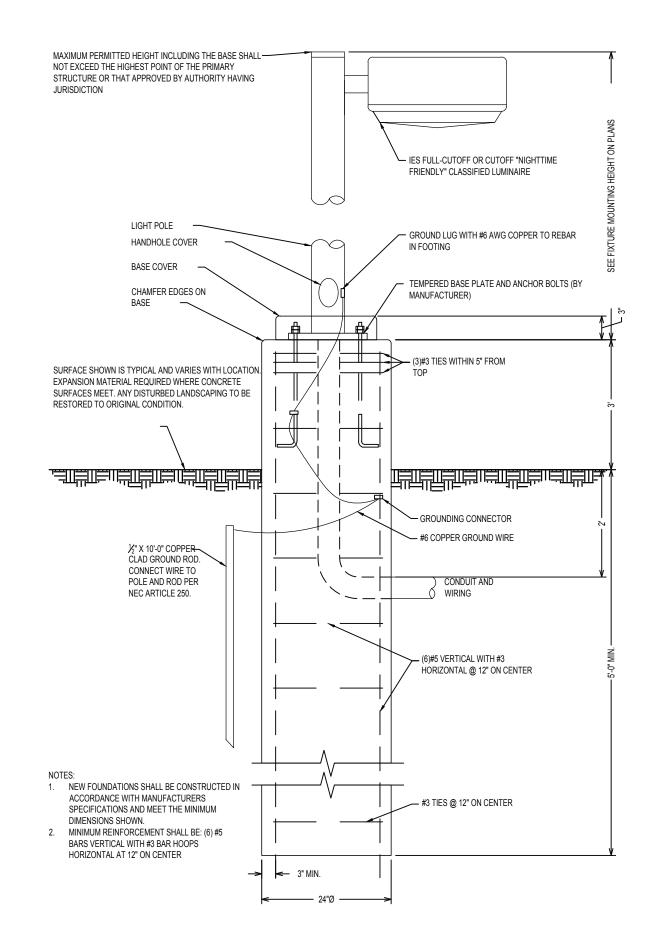
GROUNDCOVER PLANTING

| DESIGN: | | | CWF |
|----------|----|-----|------------|
| DRAWN: | | | CWF |
| CHECKED: | | | CLC |
| DATE: | | | 01/17/2019 |
| | SH | EET | |
| | T | 2 | |

TEXAS REGISTRATION #14199

RANCH TI ROCKWALL,





TYPICAL LIGHT POLE AND BASE

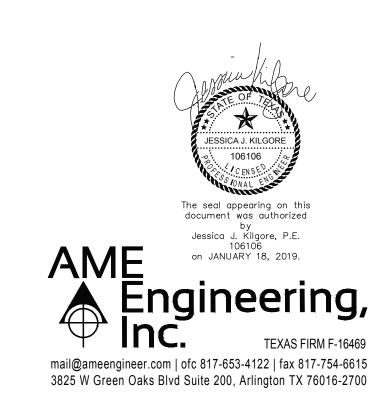
SITE PHOTOMETRIC NOTES

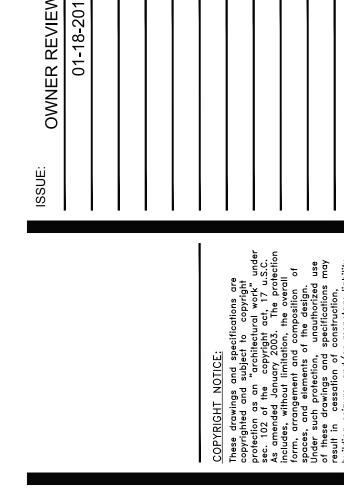
ADJACENT PROPERTIES.

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND IS ALSO RESPONSIBLE FOR REPORTING ANY CONFLICTS TO THE ENGINEER PRIOR TO THE START OF WORK.

2. THE PHOTOMETRIC ZONE IS CALCULATED AT 3 FEET ABOVE FINISH GRADE LEVEL AND SPACED EVERY 10FTx10FT

3. THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER, THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. VISUAL LIGHTING SOFTWARE WAS USED TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR CONTRIBUTION FROM OTHER (NEW/EXISTING) LIGHT SOURCES IN





RANCH TRAIL

ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS:

RAINBOW ACRES, LOT 18 & S PT OF 19,

9.76 ACRES

OWNER

APPLICANT Carroll Architects, INC 750 E. Interstate 30 #110

JT Alliance, Inc.

16 Meadowlake Drive Heath, TX 75032

Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com

CASE NUMBER 2018XXX

ELECTRICAL LIGHTING AND POWER NOTES

- ALL WORK SHALL MEET CURRENTLY ADOPTED IBC, IECC AND NEC CODE REQUIREMENTS AS WELL AS ANY CITY ADOPTED AMENDMENTS. 2. LOADING AND BREAKER LAYOUT SHOWN IS BASED ON BEST AVAILABLE DATA. SPECIALTY, MEDICAL OR IT EQUIPMENT AND APPLIANCES, ETC MAY NEED SEPARATE CIRCUITS. INSTALLING ELECTRICIAN TO VERIFY ACTUAL EQUIPMENT WATTAGES AND SUPPLY CORRECT EQUIPMENT AS NEEDED.
- ALL RECEPTACLES SHALL BE GFCI PROTECTED IF REQUIRED BY NEC OR AHJ. ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED WITH WEATHERPROOF IN-USE COVERS.
- 5. ALL RECEPTACLES IN AREAS GENERALLY OCCUPIED BY CHILDREN INCLUDING CLASSROOMS, PATIENT EXAM ROOMS, WAITING ROOMS, RESTROOMS, HALLWAYS AND GYMS TO BE TAMPER-RESISTANT.
- ELECTRICAL CONTRACTOR TO PROVIDE JUNCTION BOX FOR BUILDING SIGNAGE AND PHOTOCELL WITH TIME CLOCK NEXT TO BREAKER PANEL. ALL LIGHTING AND CONTROLS SHALL CONFORM TO CURRENT IECC SECTION C405.2
- EMERGENCY ELECTRICAL SYSTEM AS LOCATED ON THIS PLAN SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND AN INITIAL ILLUMINATION OF AN AVERAGE 1 FOOTCANDLE. EMERGENCY POWER SYSTEM TO BE IN COMPLIANCE WITH IBC SECTION 1006.
- ALUMINUM CONDUCTORS GREATER THAN 2/0 (APPROX 200 AMPS) CAN BE USED FOR THE INDIVIDUAL SERVICE.
- 10. OWNER MAY CHANGE EQUIPMENT MANUFACTURER BUT SHALL KEEP MINIMUM SPECIFICATIONS, UNLESS NOTED OTHERWISE. 11. CONTRACTOR TO CONTACT UNDERSIGNED ENGINEER WITH ANY DESIGN PLAN CHANGES.

MEP GENERAL NOTES

- 1. ALL CONSTRUCTION TO CONFORM TO INTERNATIONAL, STATE AND LOCAL CODES AND ORDINANCES CURRENTLY ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AHJ).
- CONTRACTORS TO CONFIRM ALL SPECIFICATIONS HEREIN WITH ACTUAL EQUIPMENT IN FIELD PRIOR TO INSTALLATION.
- REVIEW PLAN SHEET "MEPO MEP NOTES" PRIOR TO PERMITTING, BIDDING AND CONSTRUCTION. 4. THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL
- COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS. SEE CIVIL AND ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FIXTURES AND STRUCTURES.
- SEE ARCHITECTURAL FINISH OUT SCHEDULES FOR SPECIFIC MODELS, COLORS AND DESIGN NOT DEFINED HEREIN.
- WITH OWNER APPROVAL, CONTRACTOR MAY CHANGE SPECIFIED EQUIPMENT BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS. CONTRACTOR TO CONTACT AME ENGINEERING, INC. AT 817-653-4122 PRIOR TO ANY SIGNIFICANT DESIGN REVISIONS.
- DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATION OCCURRING ON THE PROJECT THAT ARE OR SIMILAR TO THOSE SPECIFICALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER OF RECORD.

JAN 2019 PROJECT NO: DRAWN BY: CHECKED BY: