

**AGENDA**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**December 19, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**OPEN FORUM**

**CONSENT AGENDA**

1. **Approval of Minutes** for the October 17, 2019 Historic Preservation Advisory Board (HPAB) meeting.

**PUBLIC HEARING ITEMS**

2. **H2019-017 (Korey)**  
Hold a public hearing to discuss and consider a request by Rick Cawthon for a Certificate of Appropriateness (COA) for exterior modifications to a Non-Contributing Property identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 205 N. Clark Street, and take any action necessary.
3. **H2019-018 (Korey)**  
Hold a public hearing to discuss and consider a request by Rick Cawthon for a Small Matching Grant allowing exterior modifications to a Non-Contributing Property being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.
4. **H2019-019 (Korey)**  
Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a Certificate of Appropriateness (COA) for the construction of a new office building on a 0.4590-acre Non-Contributing Property identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50), situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street, and take any action necessary.

**DISCUSSION ITEMS**

5. Update from Historic Preservation Officer (HPO) regarding historic projects. **(Ryan)**

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 13<sup>th</sup> day of December 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**MINUTES**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**October 17, 2019**  
**6:00 P.M.**

**I. CALL TO ORDER**

The meeting was called to order by Chairman Nichols at 6:03 p.m. Board members present were Dick Clark, Carolyn Francisco, Jay Odom, Mike Mishler, Beverly Bowlin and Maurice Thompson. Staff members present were Planning Director, Ryan Miller, Planning Manager David Gonzales and Planning Coordinator, Laura Morales.

**II. OPEN FORUM**

Chairman Nichols explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward to speak Chairman Nichols closed the open forum.

**III. CONSENT AGENDA**

1. Approval of Minutes for the September 19, 2019 Historic Preservation Advisory Board (HPAB) meeting.

Board member Francisco made a motion to approve the consent agenda. Board member Thompson seconded the motion which passed by a vote of 7-0.

**IV. PUBLIC HEARING ITEMS**

2. H2019-011

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Certificate of Appropriateness (COA) for exterior modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

Planning Director, Ryan Miller, provided a brief explanation of the request. Michael Cheatham of WillowCreek Custom Homes is bringing a request forward on behalf of the owners Jim and Peggy Ricketts for a Certificate of Appropriateness for exterior modifications to a High Contributing Property requesting approval of a Certificate of Appropriateness in conjunction with a building permit fee waiver and a small neighborhood matching grant to allow the expansion of a single-family home by adding a garage and breezeway. The subject property was annexed prior to 1959, zoned Single-Family 7 District, and is situated within the Historic Overlay District. The subject property is recognized as a High Contributing Property, which indicates the property retains a high degree of architectural and physical integrity and possesses strong associations concerning the structure's historic context. The home is approximately 2,447 square feet and based on the 2017 Historic Resources Survey the main area was considered to have been constructed in the Folk Victorian style in 1905. On June 16, 2016, the Historic Preservation Advisory Board approved a Certificate of Appropriateness to allow renovations and expansion of the existing home on the subject property. On September 21, 2017, staff initiated a Reconsideration of Contributing Status request after reviewing the progress of the renovation and recognizing that the High Contributing designation may no longer be appropriate for the property. Following a review, the Historic Preservation Advisory Board passed a motion to allow the subject property to maintain its high-contributing designation and on December 20, 2018, the Historic Preservation Advisory Board approved a Certificate of Appropriateness in conjunction with a small neighborhood matching grant and a building permit fee waiver for the replacement of a fence. The applicant is requesting approval of a Certificate of Appropriateness in

conjunction with a building permit fee waiver and a small neighborhood matching grant to allow the expansion of a single-family home by adding a garage and breezeway.

Mr. Miller advised the Board that the applicant was present and available for questions as well as staff.

Chairman Nichols opened up the public hearing and asked the applicant to come forward.

James Ricketts  
401 N. Fannin Street  
Rockwall, TX

Mr. Ricketts came forward and provided additional comments in reference to the request.

Chairman Nichols asked if anyone wished to speak to come forward and do so, there being no one indicating such, Chairman Nichols closed the public hearing and brought the item back to the Board for discussion or action.

After brief discussion, Board member Clark made a motion to approve H2019-011 with staff recommendations. Board member Francisco seconded the motion which passed by a vote of 7-0.

3. H2019-012

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Building Permit Fee Waiver for exterior modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

Planning Director, Ryan Miller, provided a brief explanation of the request.

Chairman Nichols opened up the public hearing and asked if anyone wished to speak to come forward and do so, there being no one wishing to do so Chairman Nichols closed the public hearing and brought the item back to the Board for discussion or action.

Chairman Nichols made a motion to approve H2019-012 with staff recommendations. Board member Thompson seconded the motion which passed by a vote of 7-0.

4. H2019-013

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Small Matching Grant for exterior modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

Planning Director, Ryan Miller, provided a brief explanation of the request and indicated both the applicant and staff would be available for questions.

Chairman Nichols opened up the public hearing and asked if anyone wished to speak to come forward and do so, there being no one indicating such Chairman Nichols closed the public hearing and brought the item back to the Board for discussion or action.

Board member Mishler made a motion to award a \$500 grant to case H2019-013 with staff recommendations. Board member Clark seconded the motion which passed by a vote of 7-0.

V. DISCUSSION ITEMS

5. Update from Historic Preservation Officer (HPO) regarding historic projects.

Planning Director, Ryan Miller, indicated currently there are no ongoing historic projects.

121 VI. ADJOURNMENT

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123 Chairman Nichols adjourned the meeting at 6:31 p.m.

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127 PASSED AND APPROVED BY THE HISTORICAL PRESERVATION ADVISORY BOARD OF THE  
128 CITY OF ROCKWALL, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2019.

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*DANIEL NICHOLS, CHAIRMAN*

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*ATTEST: LAURA MORALES, PLANNING COORDINATOR*

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# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Historic Preservation Advisory Board  
**DATE:** November 21, 2019  
**APPLICANT:** Rick Cawthon  
**CASE NUMBER:** H2019-017; *Certificate of Appropriateness (COA)*

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### **SUMMARY**

Hold a public hearing to discuss and consider a request by Rick Cawthon for a Certificate of Appropriateness (COA) allowing exterior modifications to a *Non-Contributing Property* being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1959 and classified as a *Non-Contributing* property according to the 2017 Historic Resources Survey. Existing on the subject property is a single-family home that was constructed in 1980 -- *according to the Rockwall Central Appraisal District (RCAD)*. The existing home is approximately 1,146 SF, one (1) story in height, and is clad with cementitious lap siding.

### **PURPOSE**

The applicant is requesting approval of a Certificate of Appropriateness (COA) for the purpose of expanding the existing single-family home on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located 205 N. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is W. Interurban Street, which is identified as a residential street on the City's Master Thoroughfare Plan. Beyond this, there is one (1) *Non-Contributing* and one (1) *High-Contributing* property. Following this is Williams Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this there is one (1) *High-Contributing* property, which delineates the northern boundary of the Old Town Rockwall (OTR) Historic District. These areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property, there are several *Non-Contributing* properties followed by E. Kaufman Street, which is identified as a residential street on the City's Master Thoroughfare Plan. Beyond this there are three (3) *Non-Contributing* and one (1) *High-Contributing* property. These areas are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is N. Clark Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Following this there is one (1) *Non-Contributing* and one (1) *High-Contributing* property that delineates the eastern boundary of the historic district. These areas are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property, there are several *Non-Contributing* properties followed by the western boundary of the historic district. These areas are zoned Single-Family 7 (SF-7) District.

## **CHARACTERISTICS OF THE PROJECT**

The applicant is proposing to add a total of 1,400 SF of living space to the rear of the home. In addition to the expansion to the rear of the home, the applicant is proposing to modify the front of the home by widening the existing front porch, replacing the existing wrought-iron posts with wood posts, and adding a front-facing gable above the porch. According to the applicant, the new roof will match the existing roofs' overhang and fascia. Additionally, the applicant is proposing to remove the existing siding and replace with a new cementitious lap siding.

## **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

According to Subsection 6.03, *Historic Overlay (HO) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), a *Non-Contributing* structure is a building, site, structure, or an object which does not add to the historical architectural qualities, historical associations, or archaeological value for which a property or district is significant. In this case, the subject property is considered to be *Non-Contributing* because the home was constructed in 1980 and was not present during a period of significance. According to Section 6.2.G, *Standards of Approval*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) the Historic Preservation Advisory Board (HPAB) must approve an application for a Certificate of Appropriateness (COA) if it determines that the application will not adversely affect the character of the adjacent historic properties, and the proposed work is consistent with the regulations contained in the Unified Development Code (UDC). Although the home is not considered to be historic and does not have to adhere to the Historic Preservation Guidelines outlined in the Unified Development Code (UDC), the home is located within 300-feet of a *High Contributing* property (*i.e. 202 N. Clark Street*). As a result, the Historic Preservation Advisory Board (HPAB) is tasked with determining if the addition is compatible with the historic district and will not adversely affect the adjacent *High Contributing* property. In this case, the proposed addition will be located mostly to the rear of the home and only small portions of the expansion will be visible from Clark Street. Additionally, the addition appears to match the design and roofline of the existing home, and if approved the proposed scope of work does not appear to impair the historical integrity of the adjacent historical property; however, approval of a Certificate of Appropriateness (COA) is a discretionary decision for the Historic Preservation Advisory Board (HPAB).

## **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Appropriateness (COA), staff would propose the following conditions of approval:

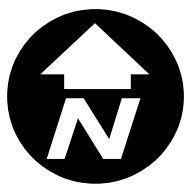
- (1) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



10/19/2019

Rick and Paulette Cawthon

205 North Clark

Rockwall Texas 75087

[Rickgcawthon@gmail.com](mailto:Rickgcawthon@gmail.com)

214-726-5559

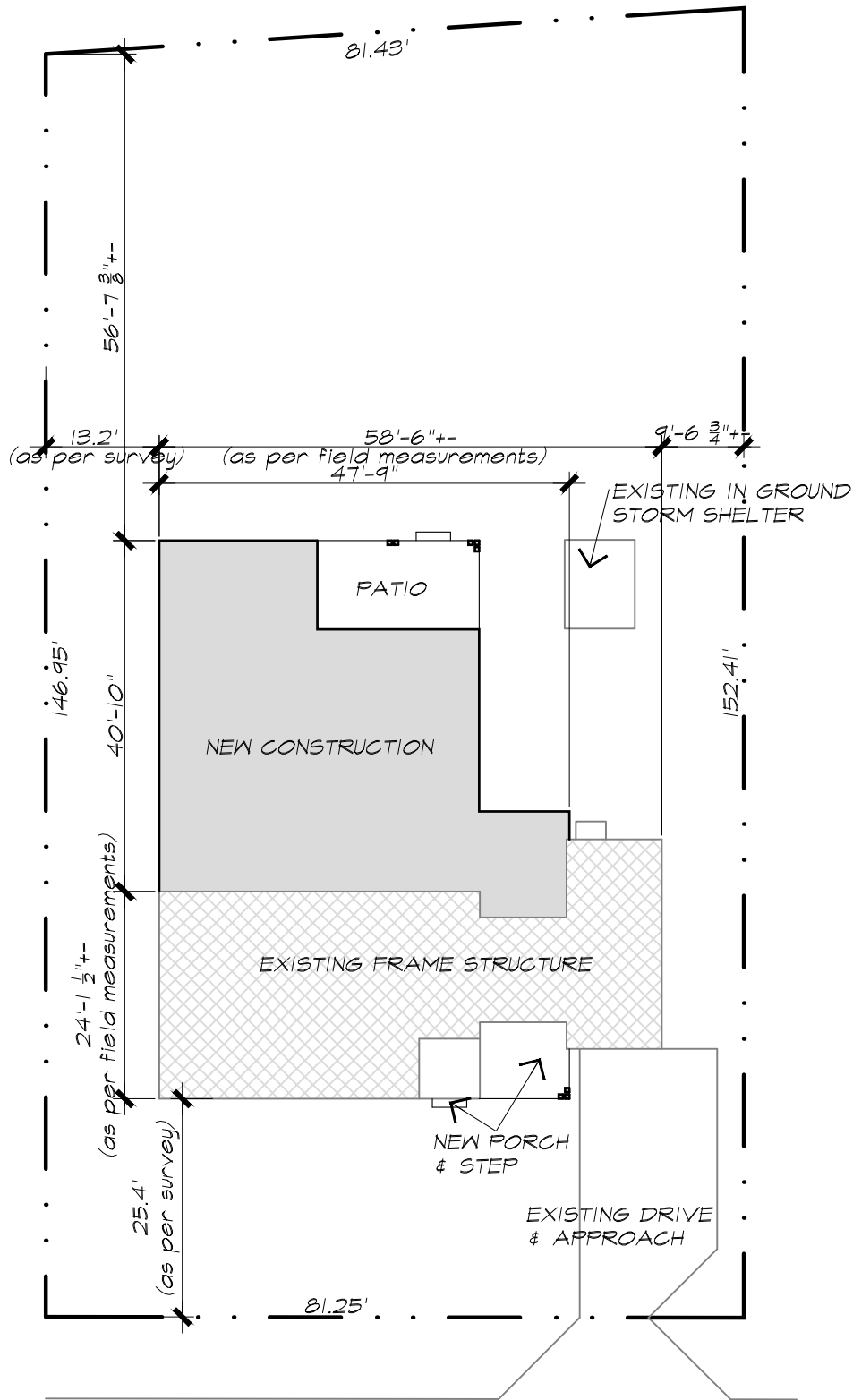
To whom it may concern at the City of Rockwall.

We are requesting a COA to add approximately 1400 square feet to our house located at the above address. Please review the attached site plan, survey, elevation drawings, material list and photographs.

Please let me know if you have additional questions.

Sincerely,

Rick and Paulette



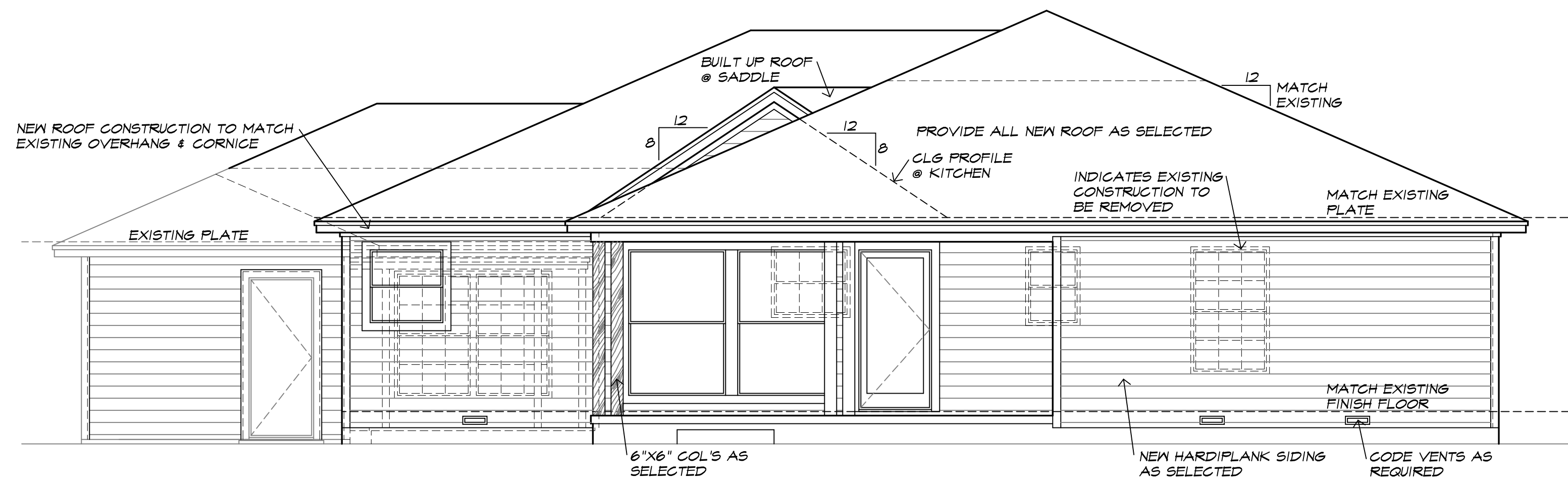
205 N. CLARK ST.

LOT AREA = 12,161.73 SF  
LOT COVERAGE = 24.8%

PLAN # C 2431  
DATE: 10/17/2019

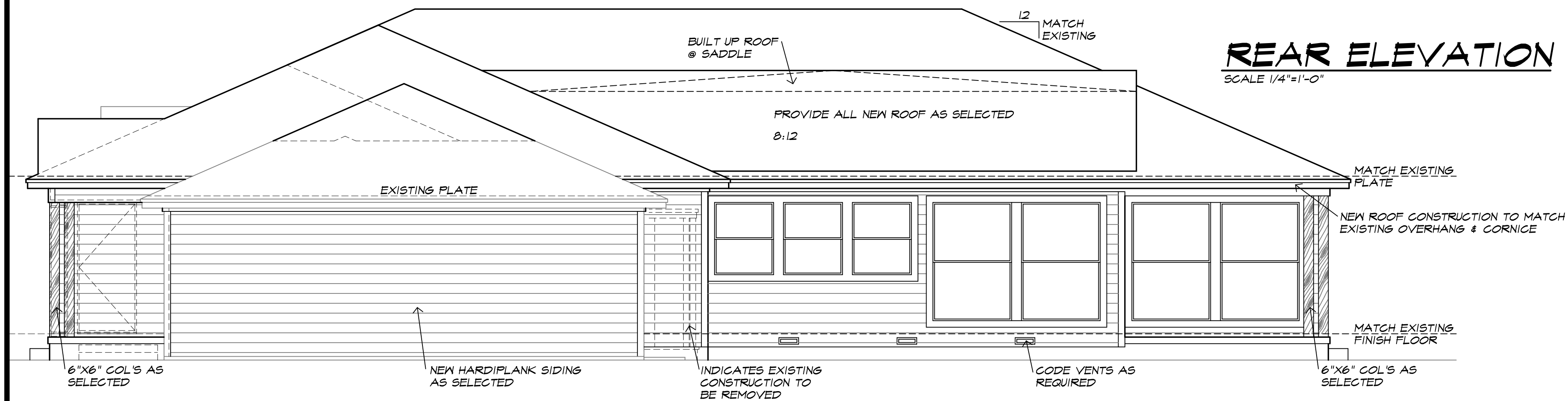
<b>SITE PLAN</b>	<i>M. Rouse Designs</i>
PART OF BLOCK 22	2307 HIGH RIDGE
THE FARMERS AND MERCHANTS NATION BANK ADDITION	SACHSE, TEXAS 75048
ROCKWALL, TEXAS	(214) 801-9944 mrousedesigns.com "WHERE DESIGN EXCELLENCE BEGINS"

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.

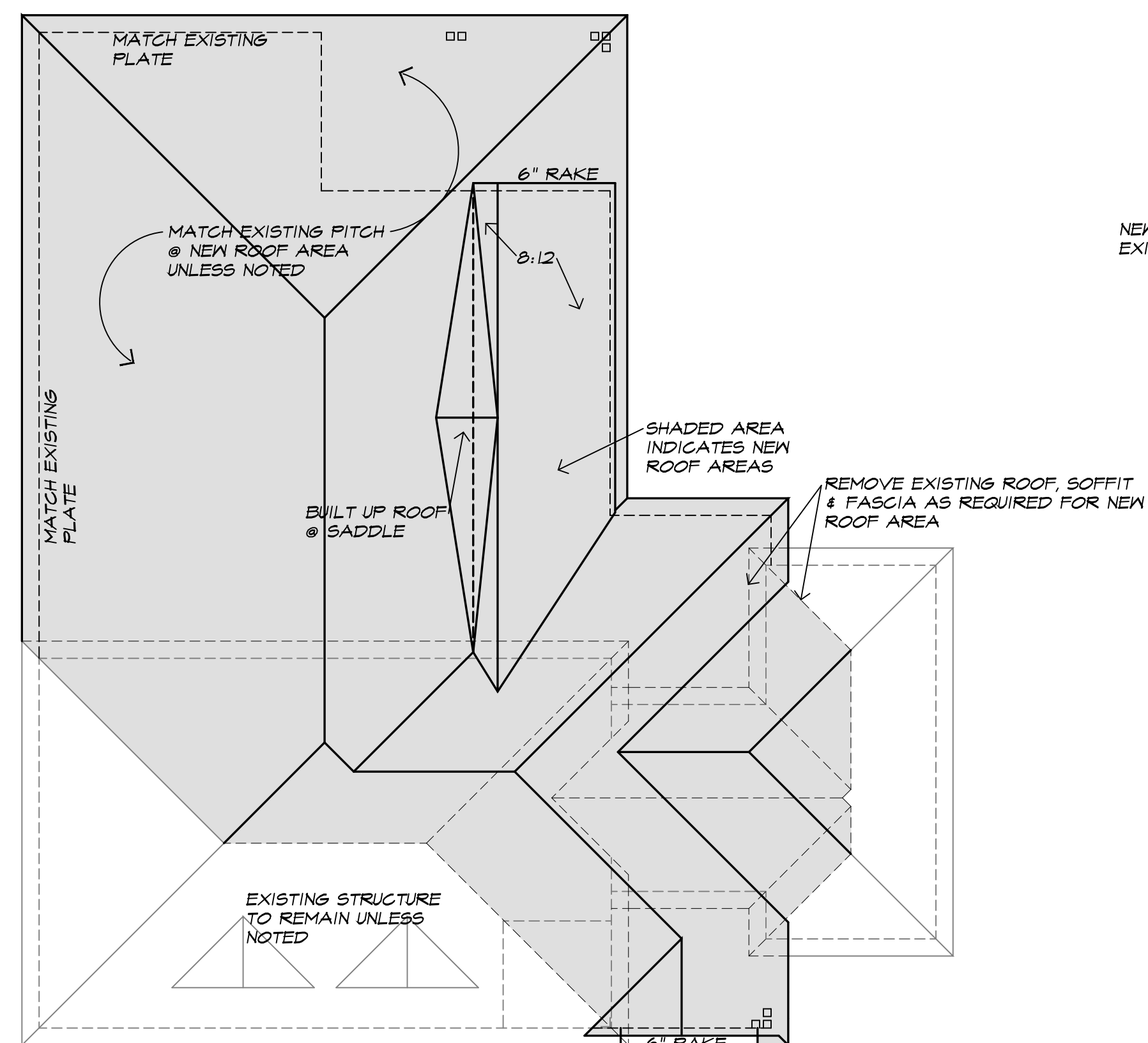


## REAR ELEVATION

SCALE 1/4"=1'-0"

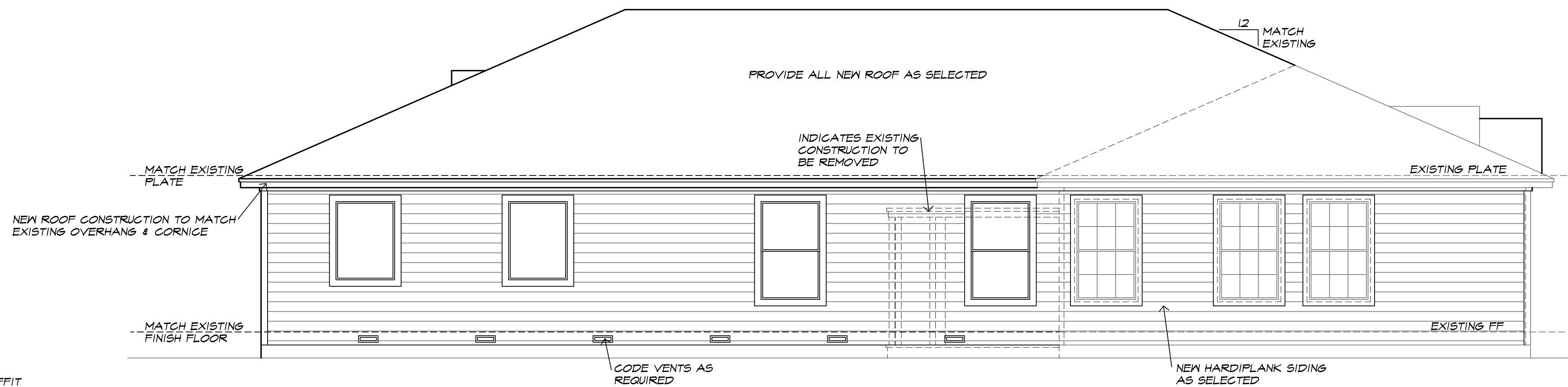


**RIGHT SIDE ELEVATION**  
SCALE 1/4"=1'-0"

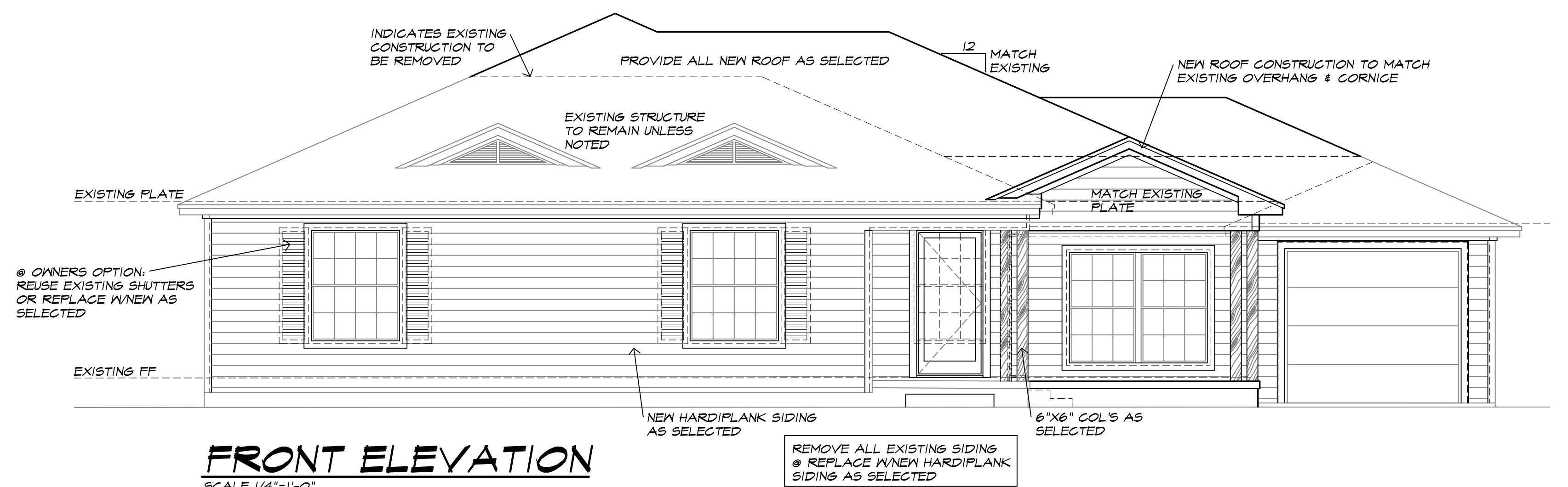


ROOF PLAN

- \* SCALE 1/8"=1'-0"
- \* PROVIDE ALL NEW ROOF AS SELECTED
- \* PROVIDE CORNICE VENTS AS PER CODE WHERE APPLICABLE
- \* ROOF VENTILATION AS PER CODE
- \* MATCH EXISTING PITCH UNLESS NOTED
- \* NEW ROOF CONSTRUCTION TO MATCH EXISTING OVERHANG & CORNICE



LEFT SIDE ELEVATION  
SCALE 1/4"=1'-0"



**A RENOVATION FOR  
205 N. CLARK  
ROCKWALL, TEXAS**

***McRae Designs***  
2307 HIGHRIDGE  
SACHSE TEXAS 75048

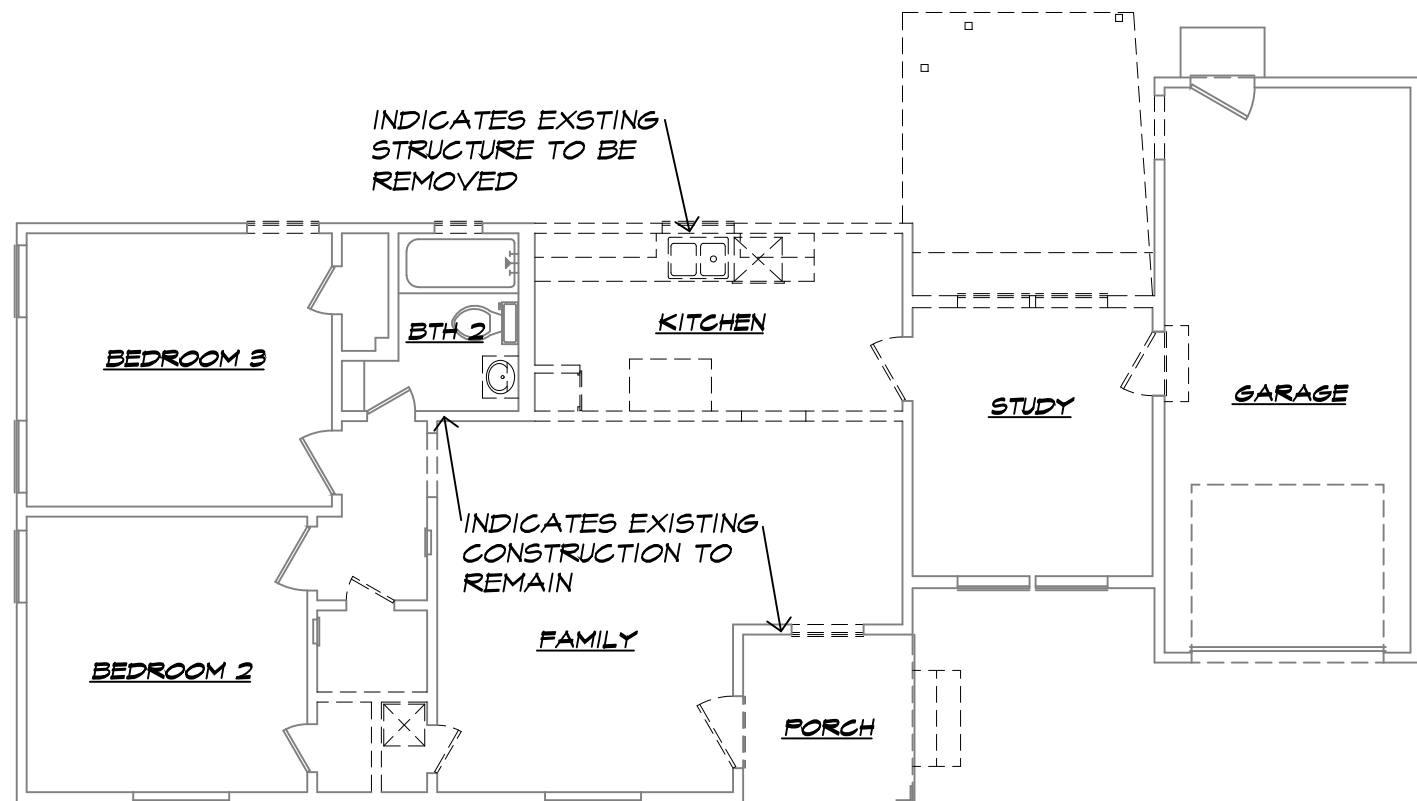
COPYRIGHT 2019 - MRouse Designs - ALL RIGHTS RESERVED

REVISED	DATE
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**SHEET**  
**A2**

DESIGN NUMBER  
C 2431

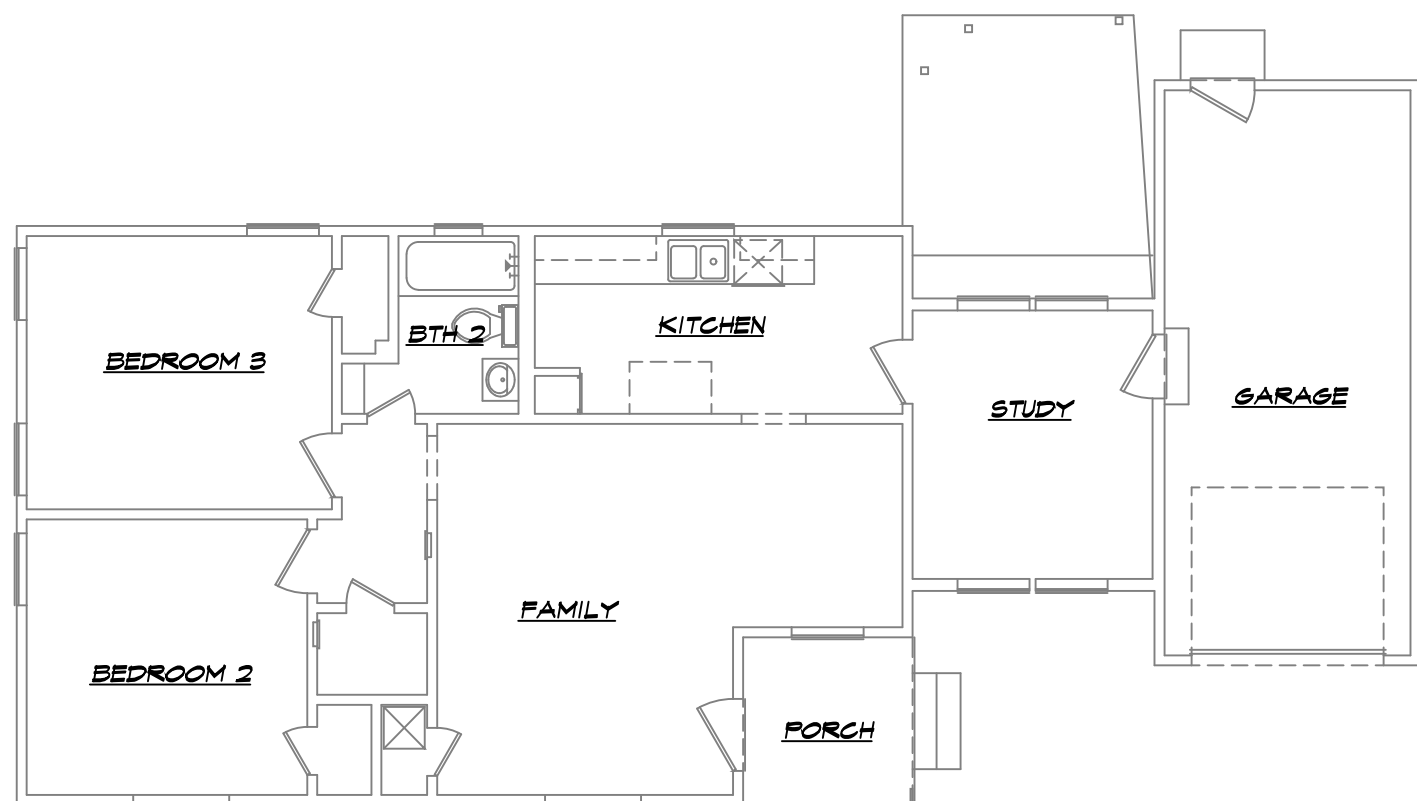




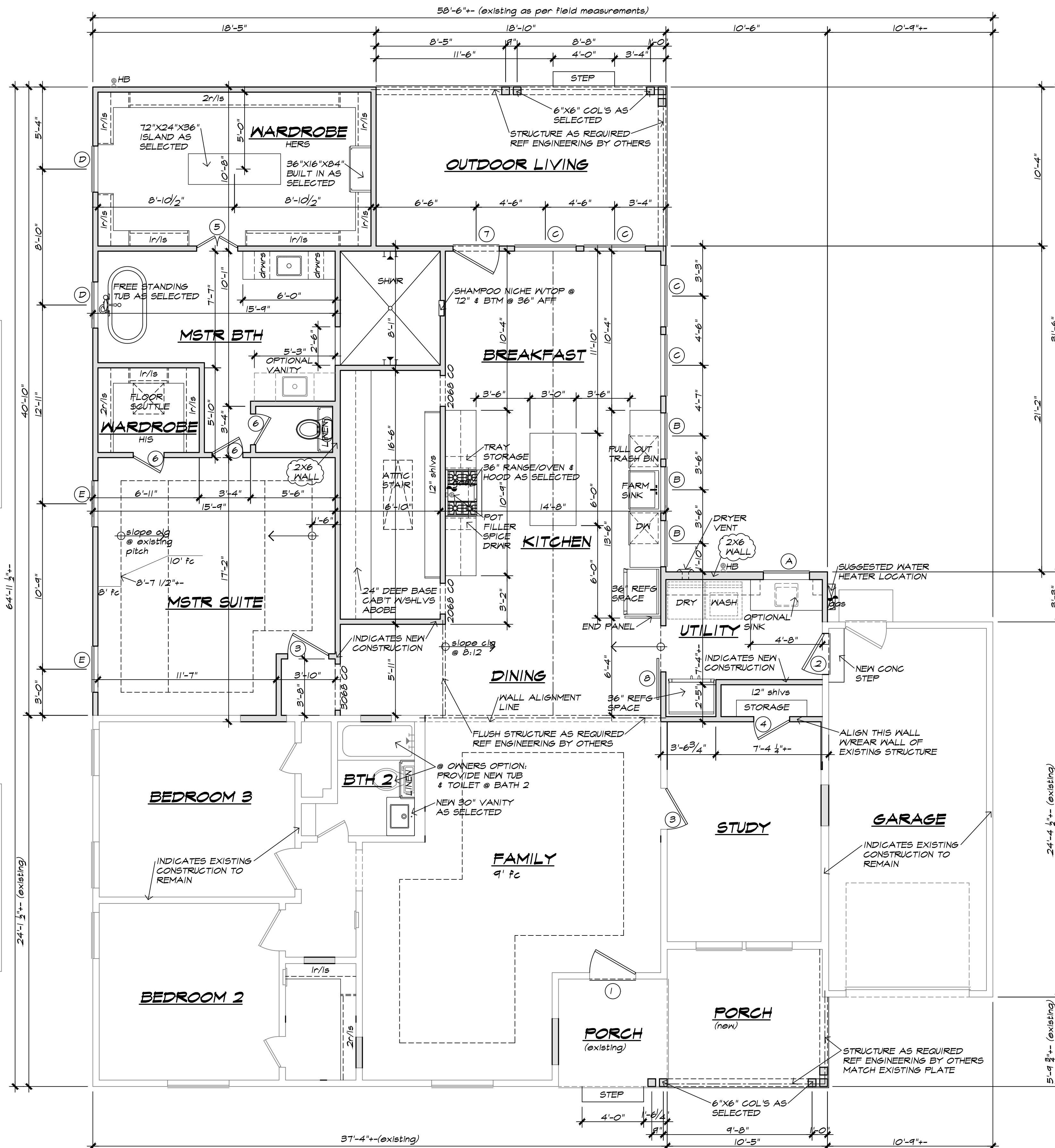
**DEMO PLAN**  
SCALE 1/8"=1'-0"

**DEMOLITION NOTES**

- \* CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION OF EXISTING WALLS & RELATED STRUCTURES REQUIRED FOR NEW CONSTRUCTION & ALL WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES
- \* CONSTRUCTION DEBRIS SHALL NOT BE ALLOWED TO COLLECT IN EXCESS @ JOB SITE
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF UNSABLE ITEMS



**AS BUILT PLAN**  
SCALE 1/8"=1'-0"



**NEW FLOOR PLAN**  
SCALE 1/4"=1'-0"

**DOOR SCHEDULE**  
(\*in existing window opening)

TYPE	SIZE	DESCRIPTION	#
1	SOLID CORE 3'-0" X 6'-8"	EXTERIOR AS SELECTED	1
2	SOLID CORE 2'-8" X 6'-8"	INTERIOR AS SELECTED W/THRESHOLD	1
3	SOLID CORE 2'-8" X 6'-8"	INTERIOR AS SELECTED	2
4	SOLID CORE 2'-4" X 6'-8"	INTERIOR AS SELECTED	1
5	SOLID CORE FR 1'-4" X 6'-8"	INTERIOR AS SELECTED	1
6	SOLID CORE 2'-0" X 6'-8"	INTERIOR AS SELECTED	3
7	SOLID CORE 3'-0" X 6'-8"	EXTERIOR FULL GLASS	1
8	SOLID CORE 3'-0" X 6'-8"	BARN TYPE AS SELECTED	1

**WINDOW SCHEDULE**

TYPE	SIZE	DESCRIPTION	#
A	SINGLE HUNG 3'-0" X 3'-0"	@ 6'-8" HDR	1
B	SINGLE HUNG 3'-6" X 3'-8"	@ 6'-8" HDR	3
C	SINGLE HUNG 4'-0" X 6'-0"	@ 6'-8" HDR	4
D	FIXED 3'-0" X 3'-0"	OBSURE @ 6'-8" HDR	2
E	SINGLE HUNG 3'-0" X 5'-0"	@ 6'-8" HDR	2

**AREAS**

EXISTING LIVING (A/C)	979.05	SQ. FT.
NEW LIVING (A/C)	1452.34	SQ. FT.
TOTAL LIVING (A/C)	2431.39	SQ. FT.
EXISTING FRONT PORCH	44.24	SQ. FT.
NEW FRONT PORCH	42.78	SQ. FT.
TOTAL FRONT PORCH	142.07	SQ. FT.
EXISTING GARAGE	265.13	SQ. FT.
NEW OUTDOOR LIVING	188.33	SQ. FT.
TOTAL COVERAGE	3026.92	SQ. FT.

**GENERAL NOTES:**

- \* ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
- \* ALL PLATE LINES ARE EXISTING
- \* ALL NEW FINISHED CEILING HEIGHTS TO MATCH EXISTING
- \* CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
- \* ALL WINDOW HEADERS ARE EXISTING UNLESS NOTED
- \* WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED
- \* ALL EXISTING INTERIOR FINISHES TO BE REMOVED AS/IF REQUIRED & AS SELECTED WHERE APPLICABLE
- \* ALL NEW INTERIOR FINISHES TO BE AS SELECTED REQUIRED & AS SELECTED WHERE APPLICABLE
- \* FINAL DESIGN AND AMENITIES @ ALL CABINETS AS PER OWNER/BUILDER
- \* ALL VANITIES TO BE 36" HIGH
- \* TYPICAL INTERIOR STUD WALLS ARE 1/2" GYP. BD. EACH SIDE OF 2X4 WOOD STUDS AT 16" O.C.: TAPE, BD, TEXTURE, UNLESS NOTED OTHERWISE
- \* ALL DOORS TO BE SET (HINDGE SIDE) 4" OFF NEAREST PERPENDICULAR WALL OR CENTERED IN OPENING AS SHOWN, UNLESS NOTED OTHERWISE
- \* SEE OWNER/BUILDER FOR USE OF GAS IF AVAILABLE & WHERE APPLICABLE
- \* FLOORED ATTIC AREA @ NEW CONSTRUCTION, WHERE APPLICABLE, TO BE AS PER OWNER/BUILDER

**RENOVATION GENERAL NOTES**

- \* SHADED WALLS INDICATE NEW CONSTRUCTION
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERIOR & EXTERIOR FINISHES & MILLWORK NOT NOTED ON PLANS
- \* CONTRACTOR TO VERIFY & ADJUST (IF NEEDED) ANY DIMENSIONS @ JOBSITE
- \* NEW HVAC UNIT DESIGN, SIZING & ALL RELATED PARTS, SHALL BE INSTALLED BY A QUALIFIED, LICENSED MECHANICAL CONTRACTOR & SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION OF EXISTING WALLS & RELATED STRUCTURES REQUIRED FOR NEW CONSTRUCTION & ALL WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES
- \* CONSTRUCTION DEBRIS SHALL NOT BE ALLOWED TO COLLECT IN EXCESS @ JOB SITE
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF UNSABLE ITEMS AS REQUIRED
- \* ALIGN NEW FILL WALL SURFACES WITH EXISTING WHERE APPLICABLE

**INDOOR AIR QUALITY MEASURES**

- \* ALL AIR-HANDLING EQUIPMENT & DUCTWORK WILL BE LOCATED OUTSIDE THE FIRE-RATED ENVELOPE OF THE GARAGE
- \* SURFACES BETWEEN CONDITIONED SPACE & AN ATTACHED GARAGE WILL BE TIGHTLY SEALED
- \* FOR CONDITIONED SPACES NEXT TO THE GARAGE, ALL PENETRATIONS WILL BE SEALED, ALL DOORS WILL BE WEATHERED STRIPPED & ALL CRACKS @ THE BASE OF THE WALL WILL BE SEALED
- \* AIR FILTERS MUST BE INSTALLED WITH A (MERV) VALUE EQUAL TO OR GREATER THAN 8
- \* AIR HANDLERS INSTALLED WILL BE ABLE TO MAINTAIN ADEQUATE AIR PRESSURE & AIR FLOW
- \* AIR FILTER WILL BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE

Adopted Construction Codes:  
 2018 International Residential Code with local amendments  
 2015 International Building Code with local amendments  
 2015 International Plumbing Code with local amendments  
 2015 International Fuel Gas Code with local amendments  
 2015 International Mechanical Code with local amendments  
 2015 International Energy Conservation Code with local Amendments  
 2015 International Existing Building Code with local amendments  
 2014 National Electrical Code with local amendments

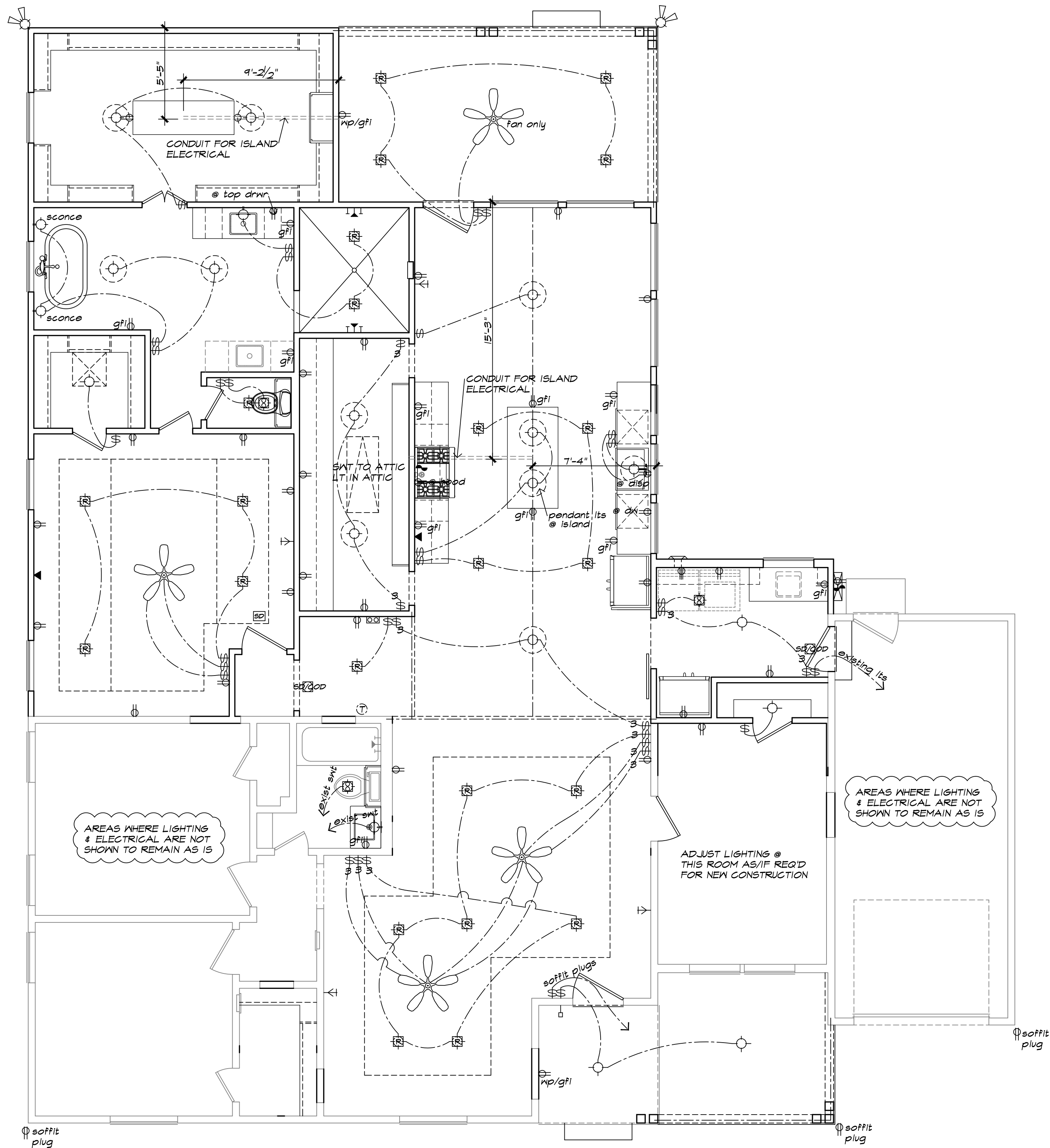
**A RENOVATION FOR  
205 N. CLARK  
ROCKWALL, TEXAS**

**M Rouse Design**  
 2307 HIGHRISE  
 SACHSE, TEXAS 75048  
 (214) 801-9944  
 mrousedesigns.com  
 \*PLEASE DESIGN WITH ALL RIGHTS RESERVED  
 COPYRIGHT 2019 - M Rouse Designs - ALL RIGHTS RESERVED

REVISED DATE  
10/17/2019

SHEET  
A/I

DESIGN NUMBER  
C 243I



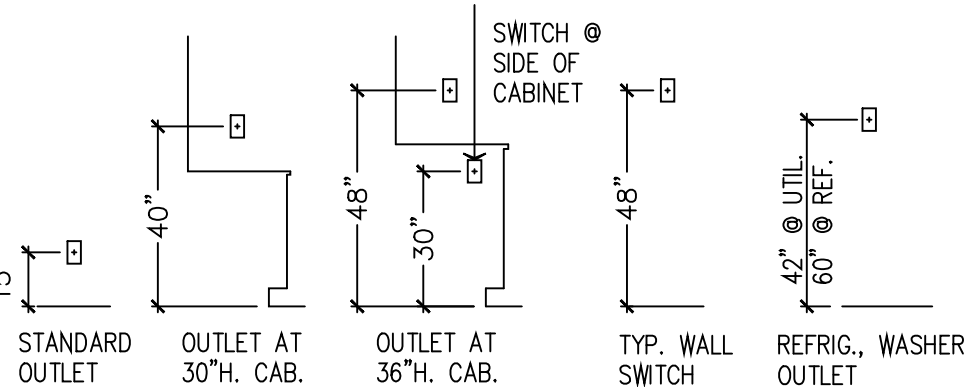
# LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"

NOTE:  
FINAL SELECTION & PLACEMENT OF ALL INTERIOR &  
EXTERIOR LIGHTING & ELECTRICAL AS PER OWNER

LIGHTING & ELECTRICAL LEGEND	
	LANDLINE - OPTIONAL
	SWITCH
	6"Ø RECESSED LIGHT UNLESS NOTED
	SURFACE MOUNT LIGHT
	RECESSED EXHAUST FAN
	SURFACE MOUNTED WALL LIGHT
	HANGING LIGHT
	DUPLEX RECEPTACLE
	220 RECEPTACLE
	DUPLEX WEATHER PROOFED GROUND
	GROUND FAULT INTERRUPTER
	DUPLEX GROUND FAULT INTERRUPTER
	TV OUTLET (CAT 5ø)
	SMOKE DETECTOR
	DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
	CEILING FAN W/LIGHT KIT UNLESS NOTED
	SMOKE/CARBON MONOXIDE DETECTOR
	THERMOSTAT
	PUSH BUTTON TO CHIME
	CHIME
NOTE ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER BUILDER	
ELECTRICAL NOTES (where applicable)	
THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR/POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.	

- NOTE:  
\* RELOCATE, REMOVE &/OR REMARK ALL EXISTING LIGHTING & ELECTRICAL AS REQUIRED FOR DEMOLITION & NEW CONSTRUCTION  
\* ALL LIGHTING & ELECTRICAL NOT SHOWN IS EXISTING & TO REMAIN AS IS



## ELECTRICAL OUTLET LOCATIONS (where applicable)

A RENOVATION FOR  
205 N. CLARK  
ROCKWALL, TEXAS

M Rouse Designs  
2307 HIGHBRIDGE  
SACHSE, TEXAS 75048  
(214) 801-9944  
mrousedesigns.com

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DESIGN NUMBER  
C 2431























# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Historic Preservation Advisory Board  
**DATE:** November 21, 2019  
**APPLICANT:** Rick Cawthon  
**CASE NUMBER:** H2019-018; *Small Matching Grant*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Rick Cawthon for a Small Matching Grant allowing exterior modifications to a *Non-Contributing Property* being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1959 and classified as a *Non-Contributing* property according to the 2017 Historic Resources Survey. Existing on the subject property is a single-family home that was constructed in 1980 -- *according to the Rockwall Central Appraisal District (RCAD)*. The existing home is approximately 1,146 SF, one (1) story in height, and is clad with cementitious lap siding. The applicant is requesting a small matching grant in conjunction with a request for a Certificate of Appropriateness (COA) [Case No. H2019-017] to allow exterior modifications to a single-family home on the subject property.

### **CONFORMANCE TO THE SMALL MATCHING GRANTS REQUIREMENTS**

According to Section 8, *Small Matching Grants*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), residential properties located within the Old Town Rockwall (OTR) Historic or the Southside Residential Neighborhood Overlay (SRO) District are eligible for matching funds of 50% of the total project. The maximum grant amount for a *Non-Contributing Property* is \$500.00 and the project must include improvements that are visible from the street. In this case, the subject property is located within the Old Town Rockwall (OTR) District and is classified as a *High Contributing Property*. The project includes improvements that will be visible from the street (*i.e. an addition to the home*) and based on the applicant's scope of work, the property is eligible for matching funds. Based on the scope of work and the total valuation of \$110,000.00, the replacement of the cementitious lap siding qualifies for a small matching grant of up to \$500.00; however, approval of this request is discretionary for the Historic Preservation Advisory Board (HPAB).

As of November 18, 2019, the Historic Preservation Advisory Board (HPAB) has approved one (1) small matching grants for FY2019. Should this request be approved, the Small Matching Grants Fund would be reduced to \$3,500.

### **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Small Matching Grant, staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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10/19/2019

Rick and Paulette Cawthon

205 North Clark

Rockwall Texas 75087

[Rickgcawthon@gmail.com](mailto:Rickgcawthon@gmail.com)

214-726-5559

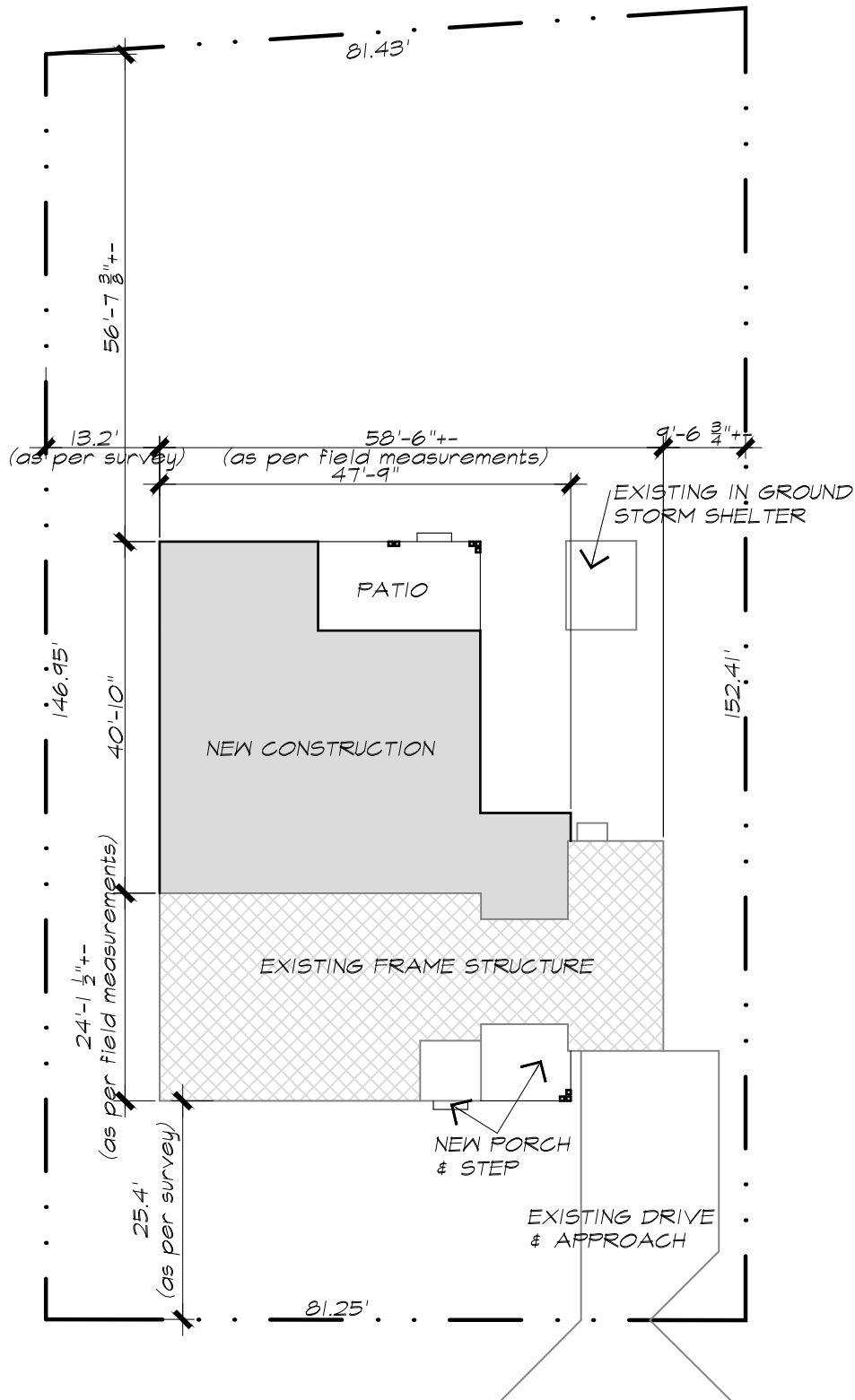
To whom it may concern at the City of Rockwall.

We are requesting a COA to add approximately 1400 square feet to our house located at the above address. Please review the attached site plan, survey, elevation drawings, material list and photographs.

Please let me know if you have additional questions.

Sincerely,

Rick and Paulette



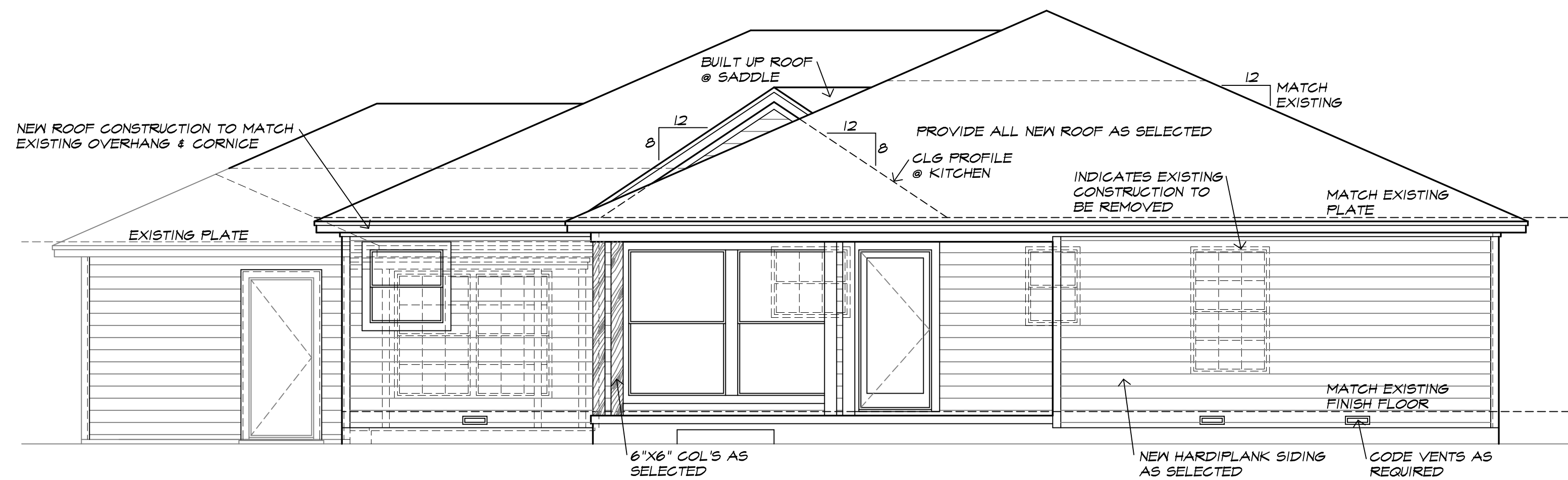
205 N. CLARK ST.

LOT AREA = 12,161.73 SF  
LOT COVERAGE = 24.8%

PLAN # C 2431  
DATE: 10/17/2019

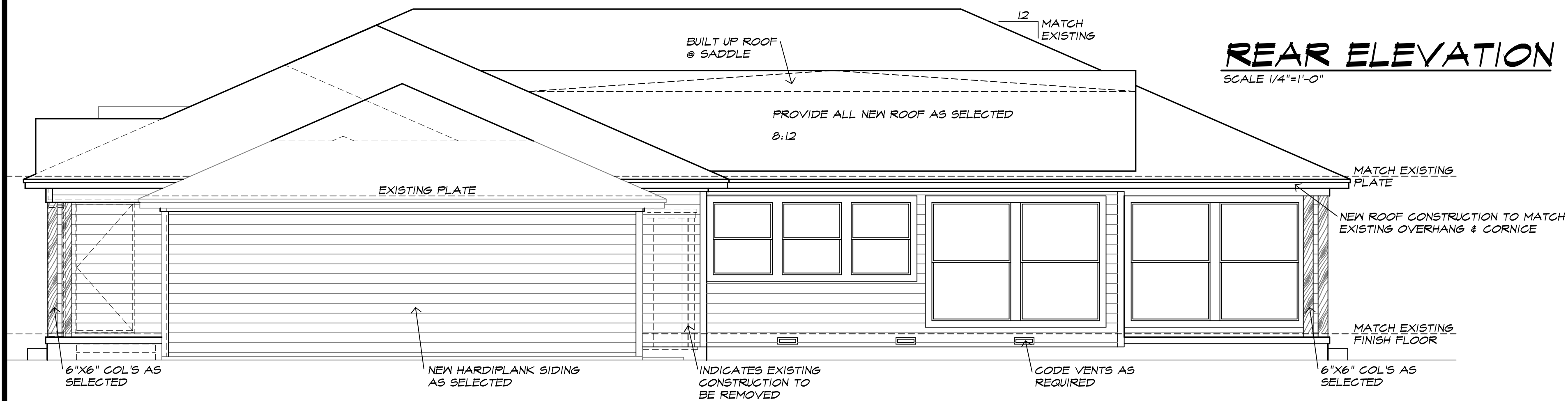
<b>SITE PLAN</b>	<i>M. Rouse Designs</i>
PART OF BLOCK 22	2307 HIGH RIDGE
THE FARMERS AND MERCHANTS NATION BANK ADDITION	SACHSE, TEXAS 75048
ROCKWALL, TEXAS	(214) 801-9944 mrousedesigns.com "WHERE DESIGN EXCELLENCE BEGINS"

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.

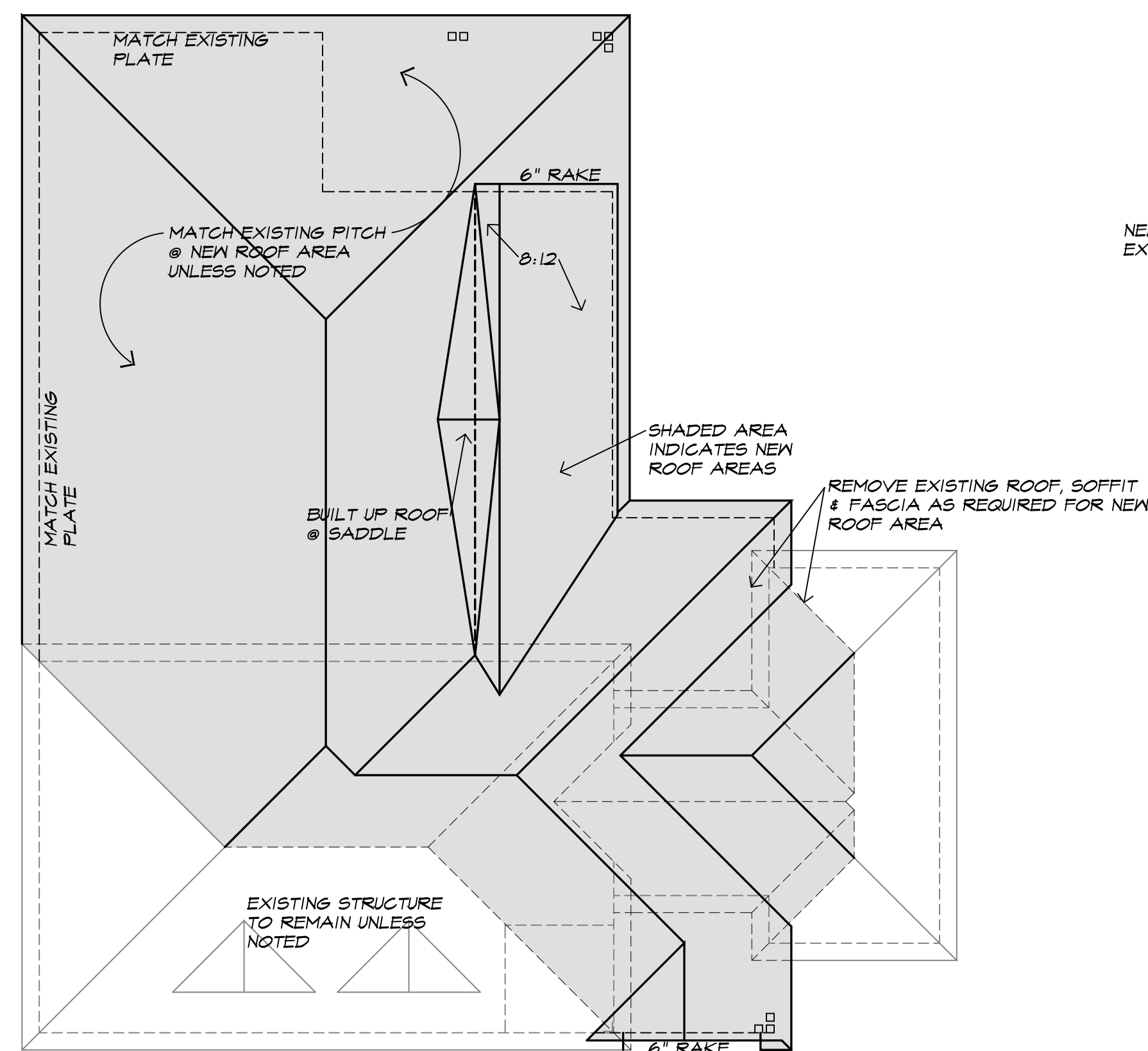


## REAR ELEVATION

SCALE 1/4"=1'-0"

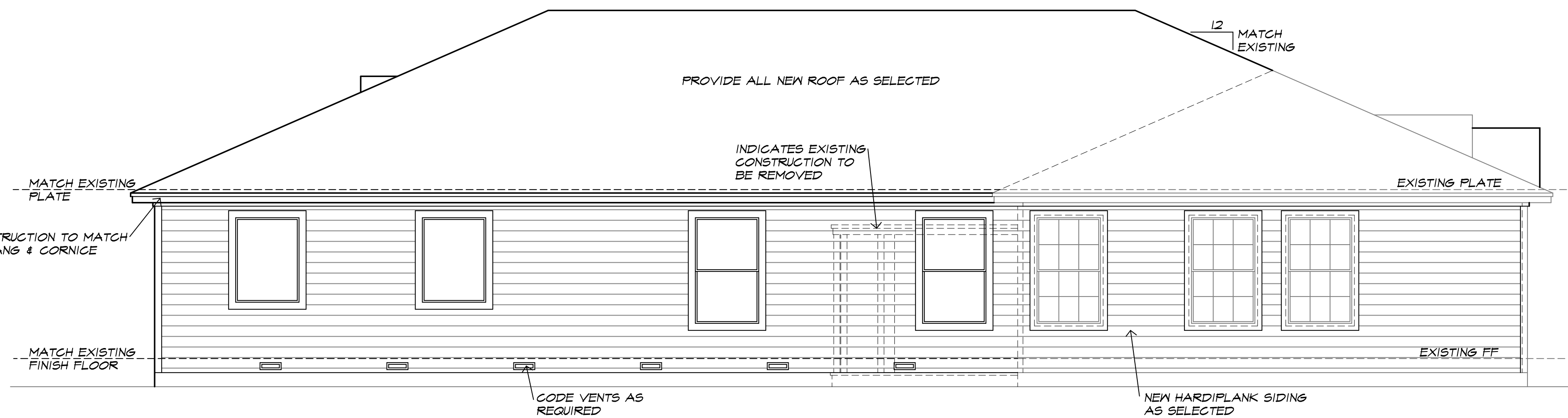


**RIGHT SIDE ELEVATION**  
SCALE 1/4"=1'-0"

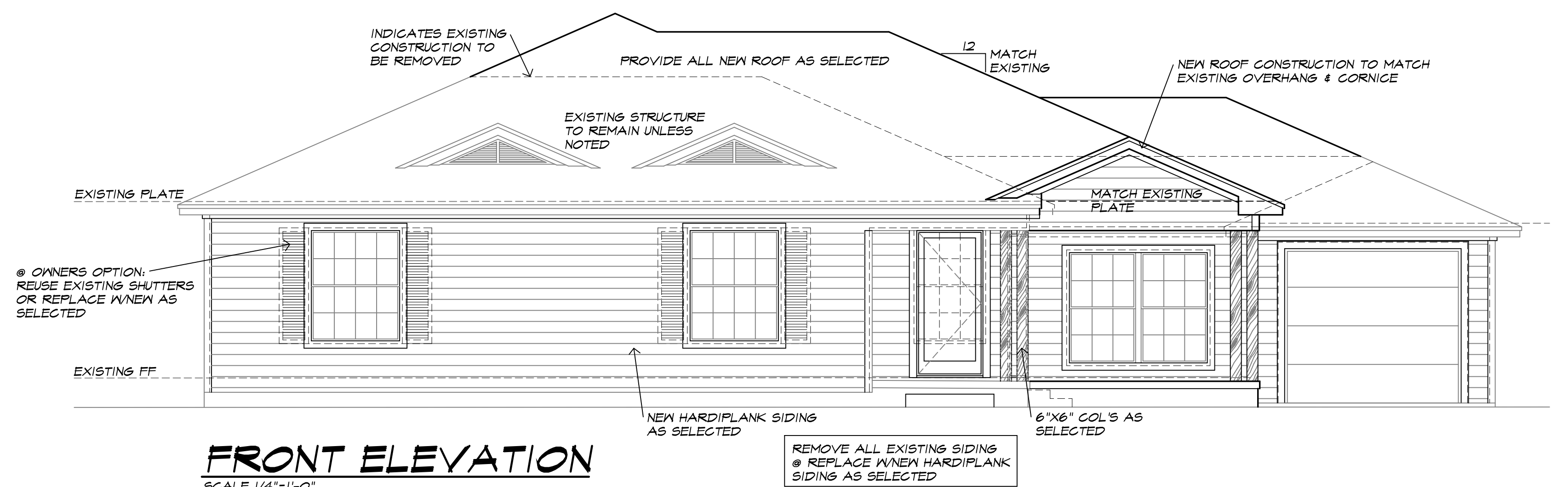


ROOF PLAN

- \* PROVIDE ALL NEW ROOF AS SELECTED
- \* PROVIDE CORNICE VENTS AS PER CODE WHERE APPLICABLE
- \* ROOF VENTILATION AS PER CODE
- \* MATCH EXISTING PITCH UNLESS NOTED
- \* NEW ROOF CONSTRUCTION TO MATCH EXISTING OVERHANG & CORNICE



LEFT SIDE ELEVATION  
SCALE 1/4"=1'-0"



**A RENOVATION FOR  
205 N. CLARK  
ROCKWALL, TEXAS**

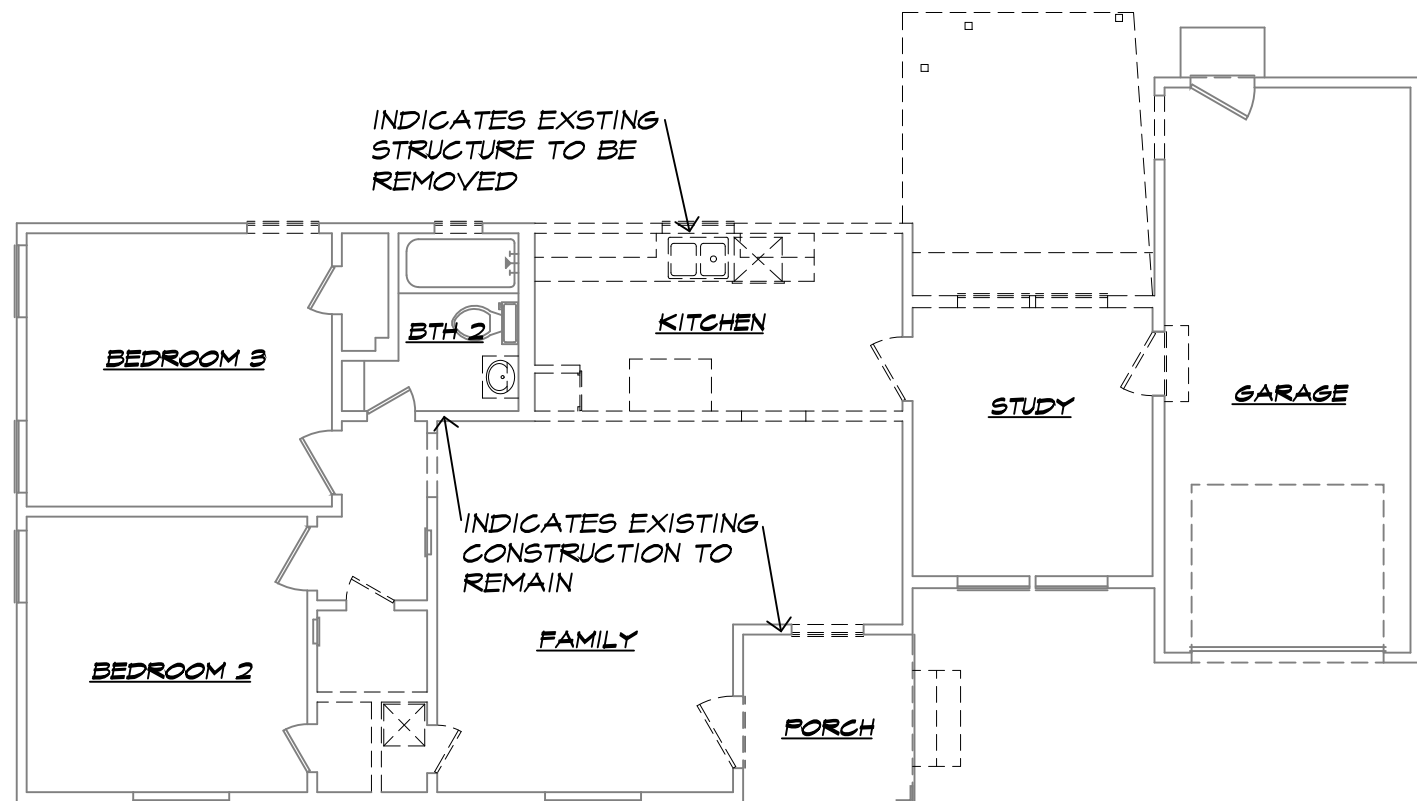
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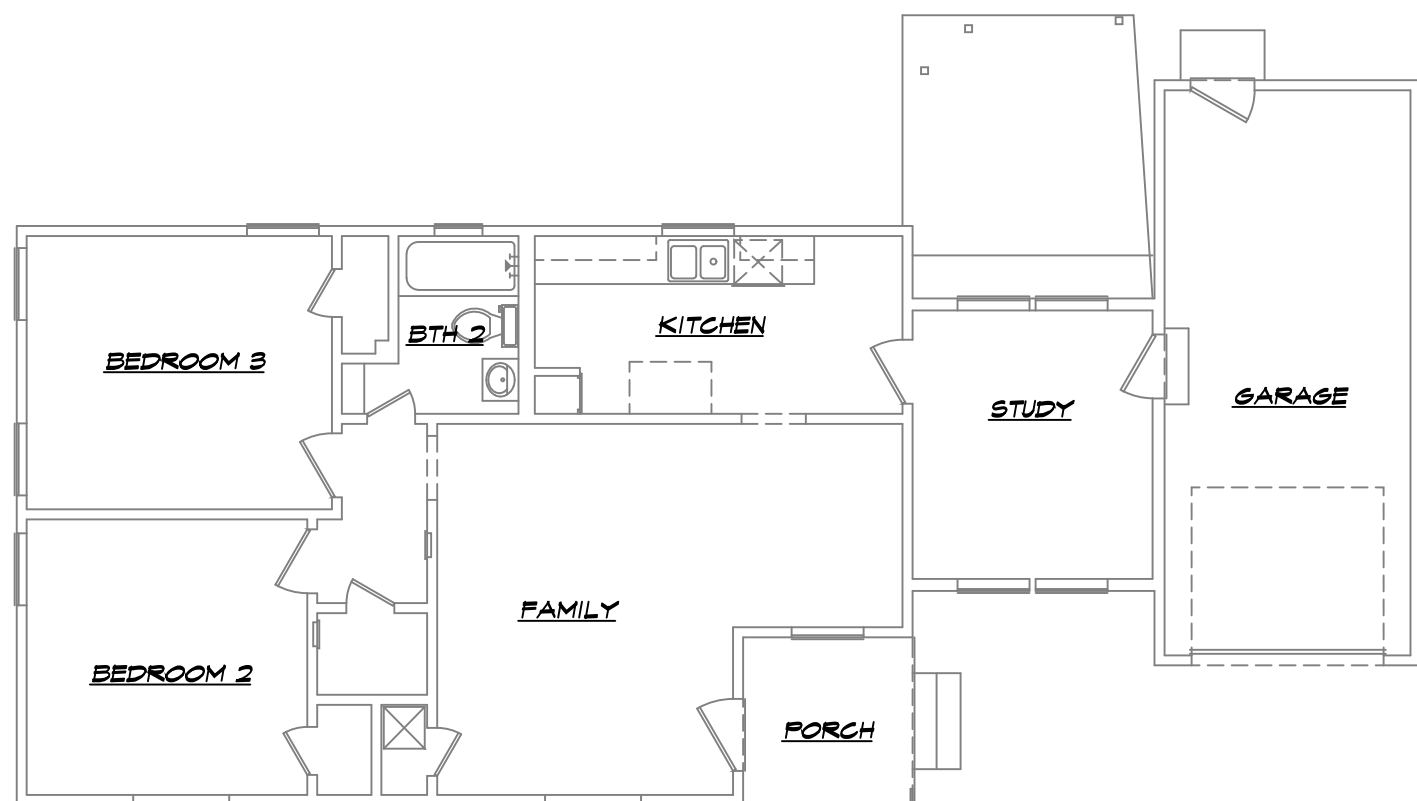
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C 2431



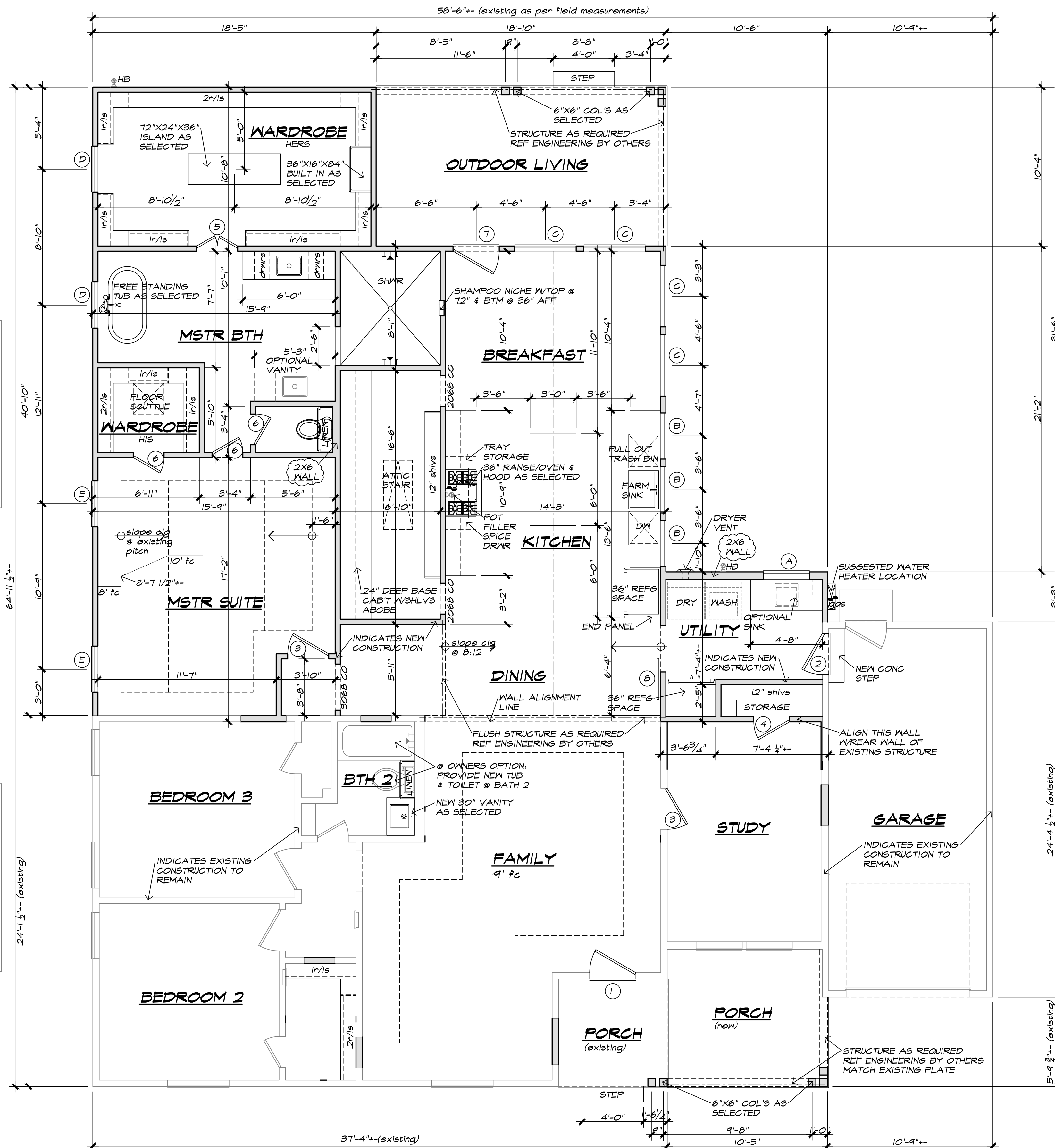
**DEMO PLAN**  
SCALE 1/8"=1'-0"

**DEMOLITION NOTES**

- \* CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION OF EXISTING WALLS & RELATED STRUCTURES REQUIRED FOR NEW CONSTRUCTION & ALL WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES
- \* CONSTRUCTION DEBRIS SHALL NOT BE ALLOWED TO COLLECT IN EXCESS @ JOB SITE
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF UNSABLE ITEMS



**AS BUILT PLAN**  
SCALE 1/8"=1'-0"



**NEW FLOOR PLAN**  
SCALE 1/4"=1'-0"

**DOOR SCHEDULE**  
(\*in existing window opening)

TYPE	SIZE	DESCRIPTION	#
1	SOLID CORE 3'-0" X 6'-8"	EXTERIOR AS SELECTED	1
2	SOLID CORE 2'-8" X 6'-8"	INTERIOR AS SELECTED W/THRESHOLD	1
3	SOLID CORE 2'-8" X 6'-8"	INTERIOR AS SELECTED	2
4	SOLID CORE 2'-4" X 6'-8"	INTERIOR AS SELECTED	1
5	SOLID CORE FR 1'-4" X 6'-8"	INTERIOR AS SELECTED	1
6	SOLID CORE 2'-0" X 6'-8"	INTERIOR AS SELECTED	3
7	SOLID CORE 3'-0" X 6'-8"	EXTERIOR FULL GLASS	1
8	SOLID CORE 3'-0" X 6'-8"	BARN TYPE AS SELECTED	1

**WINDOW SCHEDULE**

TYPE	SIZE	DESCRIPTION	#
A	SINGLE HUNG 3'-0" X 3'-0"	@ 6'-8" HDR	1
B	SINGLE HUNG 3'-6" X 3'-8"	@ 6'-8" HDR	3
C	SINGLE HUNG 4'-0" X 6'-0"	@ 6'-8" HDR	4
D	FIXED 3'-0" X 3'-0"	OBSURE @ 6'-8" HDR	2
E	SINGLE HUNG 3'-0" X 5'-0"	@ 6'-8" HDR	2

**AREAS**

EXISTING LIVING (A/C)	979.05	SQ. FT.
NEW LIVING (A/C)	1452.34	SQ. FT.
TOTAL LIVING (A/C)	2431.39	SQ. FT.
EXISTING FRONT PORCH	44.24	SQ. FT.
NEW FRONT PORCH	42.78	SQ. FT.
TOTAL FRONT PORCH	142.07	SQ. FT.
EXISTING GARAGE	265.13	SQ. FT.
NEW OUTDOOR LIVING	188.33	SQ. FT.
TOTAL COVERAGE	3026.92	SQ. FT.

**GENERAL NOTES:**

- \* ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
- \* ALL PLATE LINES ARE EXISTING
- \* ALL NEW FINISHED CEILING HEIGHTS TO MATCH EXISTING
- \* CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
- \* ALL WINDOW HEADERS ARE EXISTING UNLESS NOTED
- \* WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED
- \* ALL EXISTING INTERIOR FINISHES TO BE REMOVED AS/IF REQUIRED & AS SELECTED WHERE APPLICABLE
- \* ALL NEW INTERIOR FINISHES TO BE AS SELECTED REQUIRED & AS SELECTED WHERE APPLICABLE
- \* FINAL DESIGN AND AMENITIES @ ALL CABINETS AS PER OWNER/BUILDER
- \* ALL VANITIES TO BE 36" HIGH
- \* TYPICAL INTERIOR STUD WALLS ARE 1/2" GYP. BD. EACH SIDE OF 2X4 WOOD STUDS AT 16" O.C.; TAPE, BD, TEXTURE, UNLESS NOTED OTHERWISE
- \* ALL DOORS TO BE SET (HINGE SIDE) 4" OFF NEAREST PERPENDICULAR WALL OR CENTERED IN OPENING AS SHOWN, UNLESS NOTED OTHERWISE
- \* SEE OWNER/BUILDER FOR USE OF GAS IF AVAILABLE & WHERE APPLICABLE
- \* FLOORED ATTIC AREA @ NEW CONSTRUCTION, WHERE APPLICABLE, TO BE AS PER OWNER/BUILDER

**RENOVATION GENERAL NOTES**

- \* SHADED WALLS INDICATE NEW CONSTRUCTION
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERIOR & EXTERIOR FINISHES & MILLWORK NOT SHOWN ON PLANS
- \* CONTRACTOR TO VERIFY & ADJUST (IF NEEDED) ANY DIMENSIONS @ JOBSITE
- \* NEW HVAC UNIT DESIGN, SIZING & ALL RELATED PARTS, SHALL BE INSTALLED BY A QUALIFIED, LICENSED MECHANICAL CONTRACTOR & SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION OF EXISTING WALLS & RELATED STRUCTURES REQUIRED FOR NEW CONSTRUCTION & ALL WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE STATE & LOCAL CODES
- \* CONSTRUCTION DEBRIS SHALL NOT BE ALLOWED TO COLLECT IN EXCESS @ JOB SITE
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF UNSABLE ITEMS AS REQUIRED
- \* ALIGN NEW FILL WALL SURFACES WITH EXISTING WHERE APPLICABLE

**INDOOR AIR QUALITY MEASURES**

- \* ALL AIR-HANDLING EQUIPMENT & DUCTWORK WILL BE LOCATED OUTSIDE THE FIRE-RATED ENVELOPE OF THE GARAGE
- \* SURFACES BETWEEN CONDITIONED SPACE & AN ATTACHED GARAGE WILL BE TIGHTLY SEALED
- \* FOR CONDITIONED SPACES NEXT TO THE GARAGE, ALL PENETRATIONS WILL BE SEALED, ALL DOORS WILL BE WEATHERED STRIPPED & ALL CRACKS @ THE BASE OF THE WALL WILL BE SEALED
- \* AIR FILTERS MUST BE INSTALLED WITH A (MERV) VALUE EQUAL TO OR GREATER THAN 8
- \* AIR HANDLERS INSTALLED WILL BE ABLE TO MAINTAIN ADEQUATE AIR PRESSURE & AIR FLOW
- \* AIR FILTER WILL BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE

Adopted Construction Codes:  
 2018 International Residential Code with local amendments  
 2015 International Building Code with local amendments  
 2015 International Plumbing Code with local amendments  
 2015 International Fuel Gas Code with local amendments  
 2015 International Mechanical Code with local amendments  
 2015 International Energy Conservation Code with local amendments  
 2015 International Existing Building Code with local amendments  
 2014 National Electrical Code with local amendments

**A RENOVATION FOR  
205 N. CLARK  
ROCKWALL, TEXAS**

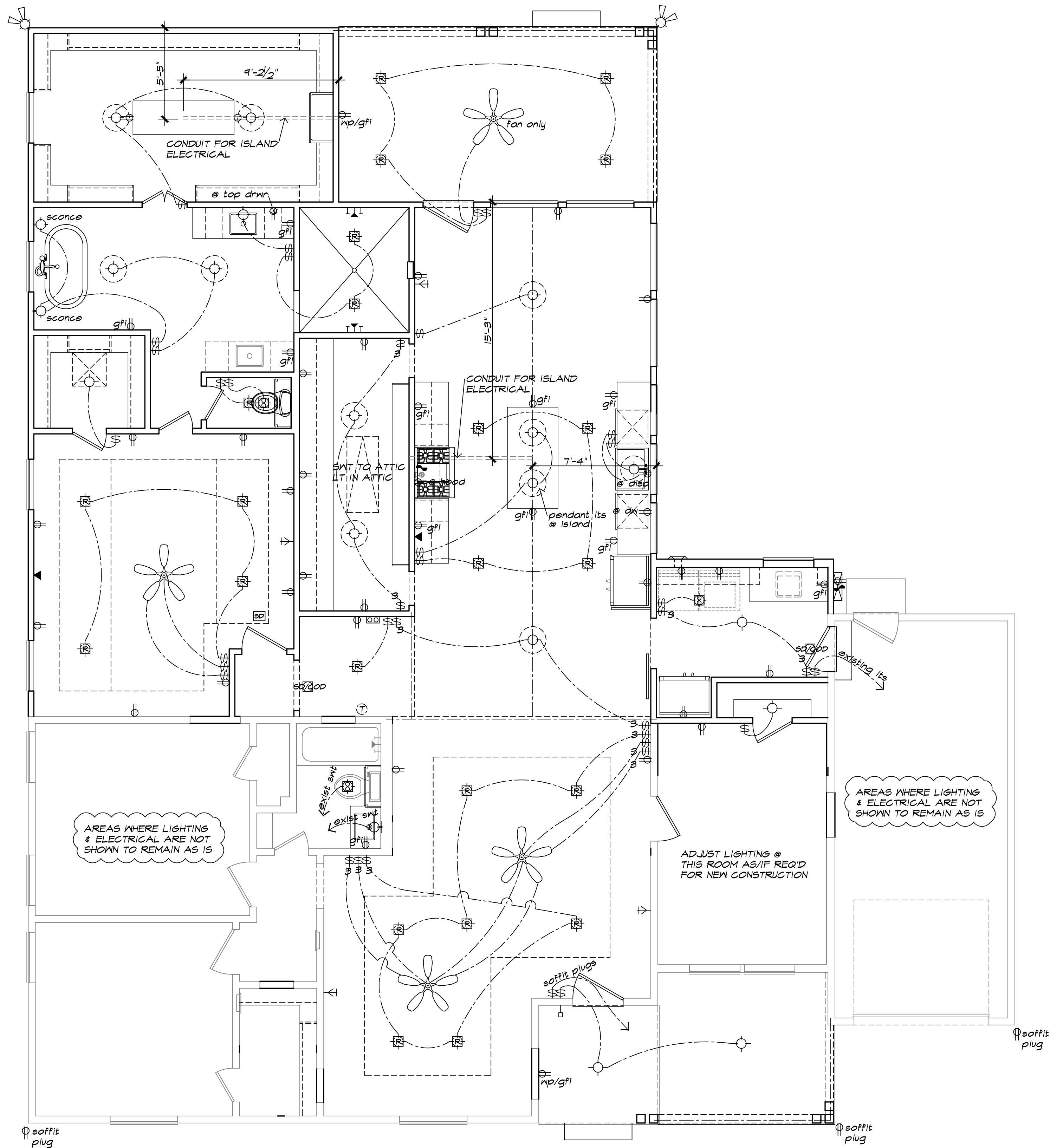
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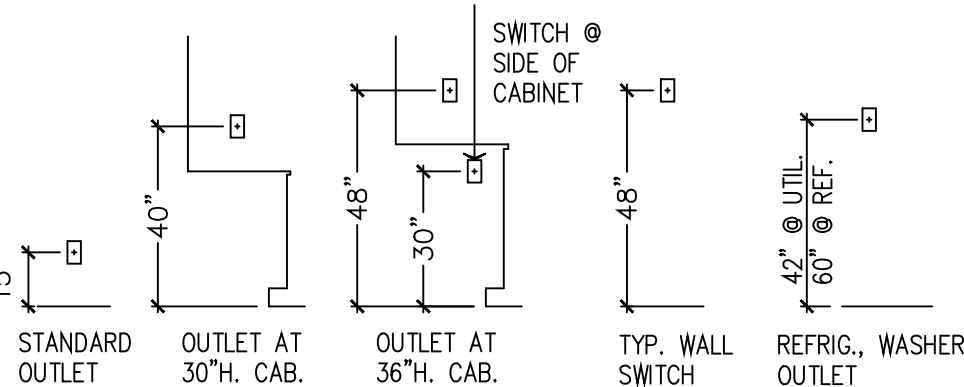
## LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"

NOTE:  
FINAL SELECTION & PLACEMENT OF ALL INTERIOR &  
EXTERIOR LIGHTING & ELECTRICAL AS PER OWNER

LIGHTING & ELECTRICAL LEGEND	
	LANDLINE - OPTIONAL
	SWITCH
	6"Ø RECESSED LIGHT UNLESS NOTED
	SURFACE MOUNT LIGHT
	RECESSED EXHAUST FAN
	SURFACE MOUNTED WALL LIGHT
	HANGING LIGHT
	DUPLEX RECEPTACLE
	220 RECEPTACLE
	DUPLEX WEATHER PROOFED GROUND
	GROUND FAULT INTERRUPTER
	DUPLEX GROUND FAULT INTERRUPTER
	TV OUTLET (CAT 5e)
	SMOKE DETECTOR
	DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
	CEILING FAN w/LIGHT KIT UNLESS NOTED
	SMOKE/CARBON MONOXIDE DETECTOR
	THERMOSTAT
	PUSH BUTTON TO CHIME
	CHIME
NOTE ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER BUILDER	
ELECTRICAL NOTES (where applicable)	
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## ELECTRICAL OUTLET LOCATIONS (where applicable)

A RENOVATION FOR  
205 N. CLARK  
ROCKWALL, TEXAS

*M Rouse Designs*  
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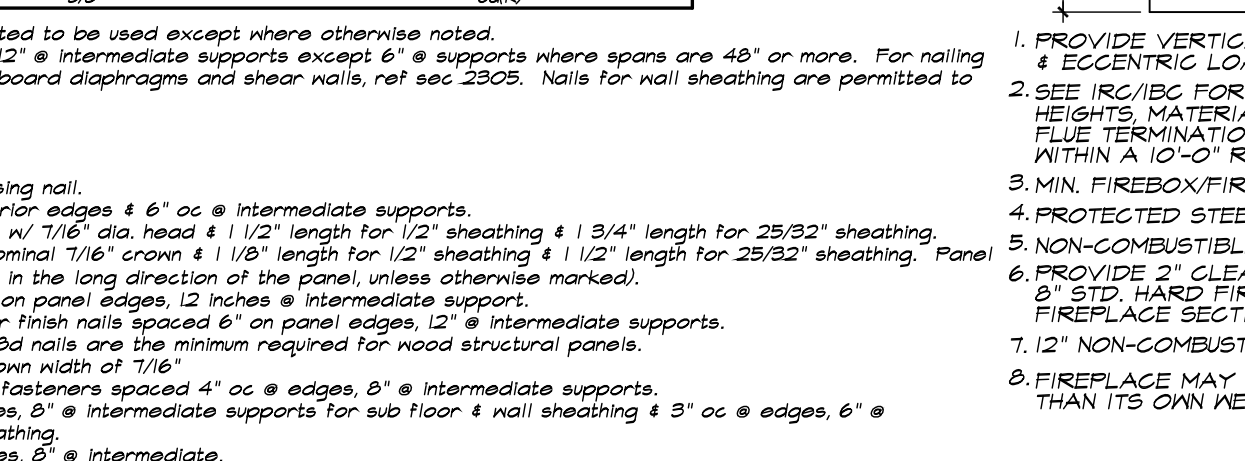
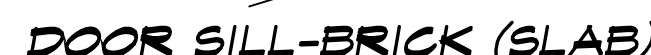
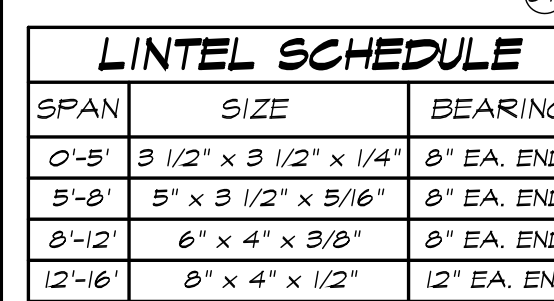
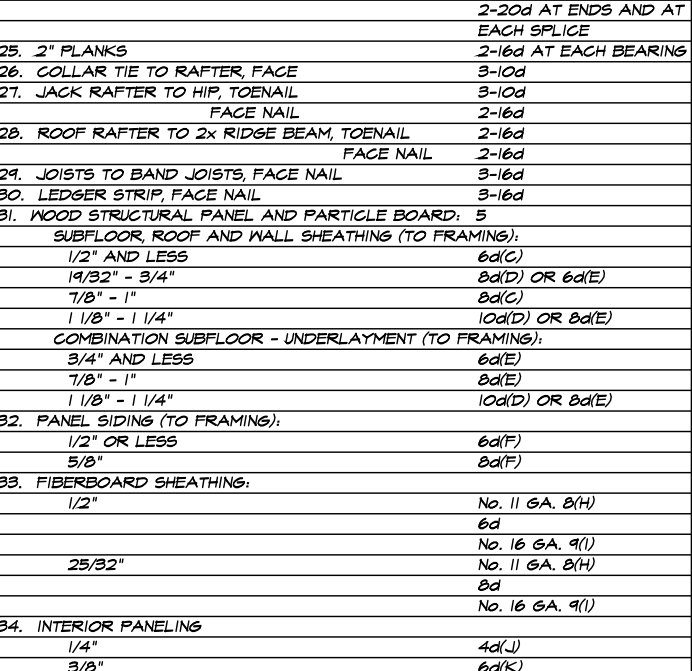
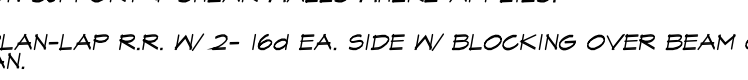
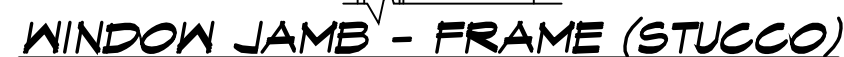
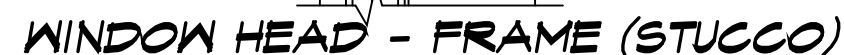
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(WHERE APPLICABLE)



- (18) INTERIOR WALL 2" X 4" OR 2" X 6" @ 16" O.C. UN-ANCHORED PLATE 1/2" X 4" PLATE ABOVE TOP DOUBLE PLATE BETWEEN JOISTS OR TRUSSES IN METAL CLIPS & NAILED FOR SHEAR (SEE IRC/IBC FOR SHEAR TRANSFER DETAILS, ANCHORS, & SHEAR TRANSFER DETAILS.
- (19) EXTERIOR FINISH AS SELECTED.
- (20) USE 1/2" WOOD STRUCTURAL PANEL DIAPHRAGM SURROUND FULL HEIGHT NAILED @ 4" O.C. MAX. 2" O.C. @ BOUNDARY OF PANEL.
- (21) ROOF CONSTRUCTION.
- (22) SOLID BLOCKING.
- (23) X-ROCK FULL HEIGHT  
IF ANY OTHER DETAILS REQUIRE COMPLETELY ENCLOSED FLUE CHASE IV-RC/BC & SOMETIMES 2 LAYERS 5/8".
- (24) 2ND FLOOR ON ROOF.
- (25) SOLID BLOCKING FOR MANTEL SUPPORT.
- (26) HEADER.
- (27) FIRE RESISTANT MATERIAL AROUND OPENING 360".
- (28) NON-COMBUSTIBLE HEARTH THICKNESS AS PER IRC/BC
- (29) DRAFT STOP & DIAPHRAGM CONSTRUCTION @ 10'-0" MAX. HORIZONTAL & VERT WITH AND CONSTRUCTION MUST KNOY TO PLATES 1/2" WOOD STRUCTURAL PANEL & SPECIAL METAL COLLAR TO TIGHTLY ENCLOSED FLUE CHASE AREA & AS PER IRC/BC FIRE CHASE AREA.
- (30) FIRE STOPPINGS @ 10'-0" O.C. USE METAL COLLARS & OTHER NON-COMBUSTIBLE FILLER MATERIAL TO PREVENT PASSAGE OF FIRE- SEE IRC/BC
- (31) \*NOTE, ALL FIRE AND SAFETY REQUIREMENTS ARE TO BE STRICTLY FOLLOWED IN ALL CONSTRUCTION. MUST KNOW AND ADHERE TO ALL CONST. REQUIREMENTS, REGARDLESS OF ANY APPROVALS TO THE CONTRARY.
- (32) PRE-FAB METAL IN DOUBLE OR TRIPLE LINED SAFETY FLUES  
(33) 1/2" WOOD STRIPS @ 48" O.C. OR LESS VERT. N.W.M. 2" CLEARANCE EVERYWHERE. REFER TO IRC/BC  
& APPROVED MFGR. MUST BE A LISTED & APPROVED MANUFACTURER IN ALL APPROPRIATE AGENCIES WHICH CONTROL FIREPLACE CONSTRUCTION & SAFETY.

- (93) SADDLE, 6" FLASH & COUNTERFLASH, CAULK & SEAL (1ST & 2ND FLOOR & ROOF)
- (94) 2'-2" PLATE
- (95) TYPICAL 2" X WALL
- (96) TO NEAREST ROOF/WALL OR COMBUSTIBLE MATERIAL
- (97) CODE APPROVED SCREENED METAL CAP SLOPED IN SPARK ARRESTOR - FLASHED & SEALED
- (98) WHEN PLANT OR FULL 1/2" PLANT RAILINGS IS USED, ALL TOP & BOTTOM RAIL TO STOPS IN MTL. CLIPS (BIMPOIN) OR EQUAL OR 1/2" X 1/2" X 16 O.C. (WOOD STRUCTURAL PLANT DIAGRAM ON INSIDE FACE FULL FOR STOPS AND SHEAR EFFECT SLOPE & VALUED)
- (99) NOTE: SIMILAR 2' X 6" S4S HANDRAIL ON WALL TO HAVE 1/2" GRIP & 2' X 6" ANCHORED (MIN) & 3/8" AB & 16 O.C. IN BRAIL. 2' X 6" SET @ 34" TO 36" FROM NOSING-SEE IRC/IBC (MAX 4" CLEARANCE)
- (100) 2' X 6" S4S NOSED/SHAPED GAK RAIL.
- (101) 1/4" X 1" STEEL TOP PLATE 1/4" 3/8" X 1 1/2" WOOD SCREWS @ 6" O.C.
- (102) 1 1/4" STEEL TUBE @ 4'-0" O.C. IN 3/4" ROD PICKETS @ 5' O.C. ALL HELPED (MAX 4" CLEAR SPACE).
- (103) 1/4" X 1 1/2" METAL PLANT IN WOOD TRIM STAGGERED ANCHORS/CLIPS SCHED. 3/8" X 4" LONG EACH SIDE OF POSTS @ 4' O.C.
- (104) TYPICAL FLOOR
- (105) FINISH AS PER OWNER (NON-SLIP)
- (106) 2' X 12" TREADS
- (107) RAILING SIMILAR TO ABOVE
- (108) 3/4" RISERS
- (109) CONT 2' X 6" ANCHORED KICK PLATE

- (5) FLOOR
- (6) 1/2" x 3" x WALL SUPPORT IV DEL. TOP PLATE TOP OF STAIR & MID FLOOR
- (7) 5/8" TYPE X-FIREROCK
- (8) 3-2" x 12" CARRIAGES SOLID FIRE BLOCKED TOP & BOTTOM AND MID FLOOR & ADJACENT WALLS ALONG SLOPE OF STAIR
- (9) METAL CLIP & NAILING
- (10) ALL STAIR CONST. MATERIALS TO BE NO. 1 GRADE, ALL PARTS & ASSEMBLY TO BE NAILED & GLUED SEE IRC/IBC
- (11) FINISHED WOOD OR GYPSUM ROCK.
- (12) BLOCK & METAL TIE @ RAIL, ANCHOR PLATE AND STAIR.
- (13) SEE IRC/IBC FOR GUARDRAIL HEIGHT.
- (14) AS SELECTED.
- (15) DOUBLE OR BEAM-SEE PLAN
- (16) MAXIMUM HEIGHT 75" (SEE PLAN).
- (17) RADIANT BARRIER INSTALLATION - TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS WHICH INCLUDE, BUT NOT LIMITED TO, THE SHINY SIDE OF THE SHEET FACES OUT, SHEET IS FACTORY PERFORATED, IT IS NOT INSTALLED ON THE ATTIC FLOOR OR WHERE THE SHINY SIDE MAY BECOME COVERED WITH DUST & IS NOT SANDWICHED BETWEEN MATERIALS SUCH AS INSULATION & ROOF SHINGLES. IF APPLIED TO THE CEILING OF AN ATTIC, RADIANT BARRIER MUST FACE DOWN INTO THE ATTIC & MAY NOT BE COVERED. RADIANT BARRIER ARE NOT TO BE USED IN PLACE OF INSULATION. REFLECTIVE PAINT IS NOT CONSIDERED A RADIANT BARRIER.

[illegible]

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# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Historic Preservation Advisory Board  
**DATE:** December 19, 2019  
**APPLICANT:** Ryan Miller, *Director of Planning and Zoning*  
**CASE NUMBER:** H2019-019; *COA for 810 N. Goliad Street*

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### **SUMMARY**

Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a Certificate of Appropriateness (COA) for the construction of a new office building on a 0.4590-acre *Non-Contributing Property* identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50), situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street, and take any action necessary.

### **BACKGROUND**

The subject property is located within the B. F. Boydston Addition and was incorporated into the City of Rockwall in the early 1900's. According to the City's Historic zoning maps, the subject property was zoned Single Family 3 (SF-3) District from at least January 3, 1972 to November 5, 2001 when Planned Development District 50 (PD-50) was established by the City Council. Planned Development District 50 (PD-50) allows all land uses permitted within a Residential-Office (RO) District with special provisions. Staff has not found any permits, pictures, maps or aerial photography indicating that anything has ever been built on the property, and the property remains vacant today.

### **PURPOSE**

The applicant -- *Jeff Carroll of Carroll Architects, Inc.* -- is requesting a Certificate of Appropriateness (COA) for the purpose of constructing a 4,987 SF office building.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 810 N. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.4380-acre vacant tract of land addressed as 812 N. Goliad Street. North of this property is Heath Street, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is one (1) *Medium Contributing Property* (*i.e. ServiceFirst Mortgage*) and two (2) *Non-Contributing Properties* (*i.e. My Sister's Closet and TCB Construction Offices*). Beyond these properties are two (2) *Landmarked Properties* (*i.e. the Austin-Stacey Home and the Reese Home*). All of the property in this area is zoned Planned Development District 50 (PD-50).

South: Directly south of the subject property are two (2) single-family homes (*i.e. Lot 9 of the Barnes Addition and Lot B, Block 124 B. F. Boydston Addition*). South of this is a vacant tract of land (*i.e. Lot 8 of the Barnes Addition*) followed by a Hair Salon (*i.e. Mirror-Mirror Hair Studio*). All of these properties are zoned Planned Development District 50 (PD-50).

East: Directly east of the subject property is an ~6.50-acre tract of land (*i.e. Lots C & E, Block 124, B. F. Boydston Addition*) that is currently occupied with above ground water storage tanks owned by the City of Rockwall. East of this is a 3.46-acre vacant parcel of land followed by N. Fannin Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. All of these properties are zoned Single Family 7 (SF-7) District.

West: Directly west of the subject property is N. Goliad Street (*i.e. SH-205*), which is identified as a M4U-M (*modified major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is a residential property (*i.e. Lot 2, Block A, Amick Addition*) zoned Planned Development District 50 (PD-50) and the continuation of Heath Street. West of this area is another residential property (*i.e. Lot 1, Block A, Amick Addition*) followed by N. Alamo Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. This property is zoned Single Family 7 (SF-7) District.

## **CHARACTERISTICS OF THE PROJECT**

The applicant is proposing to construct a 4,987 SF, two (2) story office building on the subject property. According to Section 6, *Certificates of Appropriateness (COA)*, of Article IX, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Historic Preservation Advisory Board (HPAB) is responsible for reviewing all building permits for exterior alteration, restoration, reconstruction, *new construction*, moving or demolition of a property within a historic district. Planned Development District 50 (PD-50) is an established historic district within the City of Rockwall, and as a result the Historic Preservation Advisory Board (HPAB) will be required to review the proposed site plan and make recommendations concerning the site plan's compliance to the City's historic guidelines to the Planning and Zoning Commission. In addition, the board will be acting on a request for a Certificate of Appropriateness (COA) concerning the proposed building elevations' conformance to the Historic Design Guidelines contained in the Unified Development Code (UDC) and the proposed projects' impact on adjacent historic properties.

According to Section 6.04, *North Goliad Corridor Overlay (NGC OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), all development within the NGC OV is required to mimic one (1) of the following styles: [1] Bungalow, [2] Cottage, [3] Craftsman, [4] Folk Victorian, or [5] Queen Anne. In this case, the building elevations submitted by the applicant are drawn to conform to the Craftsman style, which is described as being, "an extension of the early bungalow [style], the craftsman design included a low-pitched gabled roof with a wide, unenclosed eave overhang ... Roof rafters are usually exposed and decorative beams or braces are commonly added under gables ... Porches are either full or partial-width, with a roof often supported by tapered square columns ... The most distinctive features of this are the junctions where the roof joins the wall, where the most ornamentation occurs."

## **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

The proposed office building conforms to the guidelines contained in Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC) as follows:

- (1) *Height*. The guidelines stipulate that new buildings be constructed to a similar residential scale as adjacent properties. In this case, the building is 33-feet in height, which is in conformance with the 36-foot height limitation for the Residential-Office (RO) District.
- (2) *Building Setback and Orientation*. The guidelines refer to new buildings being built utilizing similar setbacks and orientations as existing buildings. In addition, the guidelines state that new structures should be constructed so that new buildings maintain the *pier-and-beam* appearance. The proposed structure does maintain a *pier-and-beam* appearance by incorporating a brick wainscot along the bottom; however, the building is oriented to the side yard. Staff has

recommended to the applicant that a front entry, stoop, and deck be incorporated in the design on the front of the building to create a product that appears to be oriented toward the front of the property (*i.e. fronting the building onto S. Goliad Street*). Staff should note that no other property in Planned Development District 50 (PD-50) is oriented to the side yard like what is being proposed by the applicant.

- (3) **Building Facades and Materials.** The building elevations for the office building are proposing to utilize a mixture of Hardie Board lap-siding, Hardie Board in a *board-and-batten* pattern, and brick. All of these materials and installations can be seen within the existing district.
- (4) **Roofs.** The guidelines state that the “(r)oof shape, form and design should be typical of or consistent with the style and period of the architecture of buildings within the Historic District ... (r)oof materials/colors should be visually compatible and complimentary of the style and period of the structure.” In this case, the applicant is proposing to utilize a traditional composite asphalt shingle, which is visually compatible with other structures in the district; however, the applicant is also proposing to utilize standing seam metal roofing as an accent material on certain portions of the roof. This has been used on other properties in Planned Development District 50 (PD-50) (*i.e. the Spafford House*), but does remain a discretionary decision for the Historic Preservation Advisory Board (HPAB) when considering the Certificate of Appropriateness (COA).
- (5) **Front Yards.** As was stated previously, staff has recommended to the applicant changing the western building elevation to incorporate an entryway giving the appearance that the property fronts to S. Goliad Street. In addition, the applicant will be required to provide a detailed landscape plan with the site plan for the front yard areas.
- (6) **Side Yards.** The proposed site plan does appear to conform with the majority of the guidelines’ suggestions relating to the side yard; however, staff should point out that currently a staircase appears to be in the ten (10) foot side yard setback. This encroachment would require approval by the Board of Adjustments (BOA) prior to the approval of the site plan.
- (7) **Fences.** Currently, there is an existing chain-link fence located along the rear of the property. The adjacent property is zoned Single Family 7 (SF-7) District, and -- *as a result* -- the project will require three (3) tiered screening or a masonry screening wall along this adjacency. Staff has outlined this requirement below.
- (8) **Driveways.** The proposed driveways conform to the guidelines.
- (9) **Paving Materials.** All of the proposed paving will be concrete and conform to the City’s guidelines, codes and standards of design.
- (10) **Parking Areas for Commercial Development.** According to the guidelines, “(a)ll parking lots for more than five (5) vehicles and having frontage on a public street should be screened from the street by an evergreen hedge not lower than three (3) feet nor higher than four (4) feet tall. If a hedge is not desired than an earthen berm, masonry wall, or combination thereof may be substituted ...” The applicant is currently not showing the incorporation of any screening for the parking areas. Staff has added this as a condition of approval of the Certificate of Appropriateness (COA).
- (11) **Lighting of Yards and Parking Areas.** This will be reviewed at the time of site plan.
- (12) **Paint and Color.** Based on the color rendering provided by the applicant the colors of the proposed building appear to be in conformance with the guidelines.
- (13) **Signage for Commercial Properties.** All signage is required to conform to the requirements of the North Goliad Corridor Overlay (NGC OV) District.

With respect to the remainder of the proposed site plan staff has identified the following issues relating to the requirements of the Unified Development Code (UDC) that will need to be addressed with the site plan prior to approval from the Planning and Zoning Commission:

- (1) **Residential Adjacency.** Subsection 5.02(B), *Screening from Residential*, of Article VIII, *Landscape and Screening Standards*, of the Unified Development Code (UDC) requires either [1] a minimum six (6) masonry fence with canopy trees on 20-foot centers or [2] three (3) tiered screening with a minimum six (6) wrought iron fence be established adjacent to, “(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property...” In this case, the property directly east of the subject property is zoned Single Family 7

(SF-7) District. Currently, there is an existing six (6) foot chain-link fence on this property that is adjacent to the eastern boundary of the subject property. Section 8.02, *Non-Residential Fences*, of Article VIII, *Landscape and Screening Standards*, of the UDC goes on to allow wood fences in conformance with the residential fencing standards for new residential fences be permitted in the Residential-Office (RO) District. Based on the applicant's submittal, staff is of the opinion that it would be appropriate for the applicant to either [1] request to incorporate three (3) tiered screening adjacent to the existing chain-link fence or [2] establish a new wood fence with canopy trees on 20-foot centers; however, this is a discretionary decision for the Planning and Zoning Commission at the time of site plan.

- (2) *Landscape Plan*. A more detailed landscape and treescape plan will be required to be submitted to ensure compliance to the tree planting requirements, which require a minimum of one (1) canopy tree and one (1) accent tree be planted adjacent to N. Goliad Street per 100 linear feet of frontage.

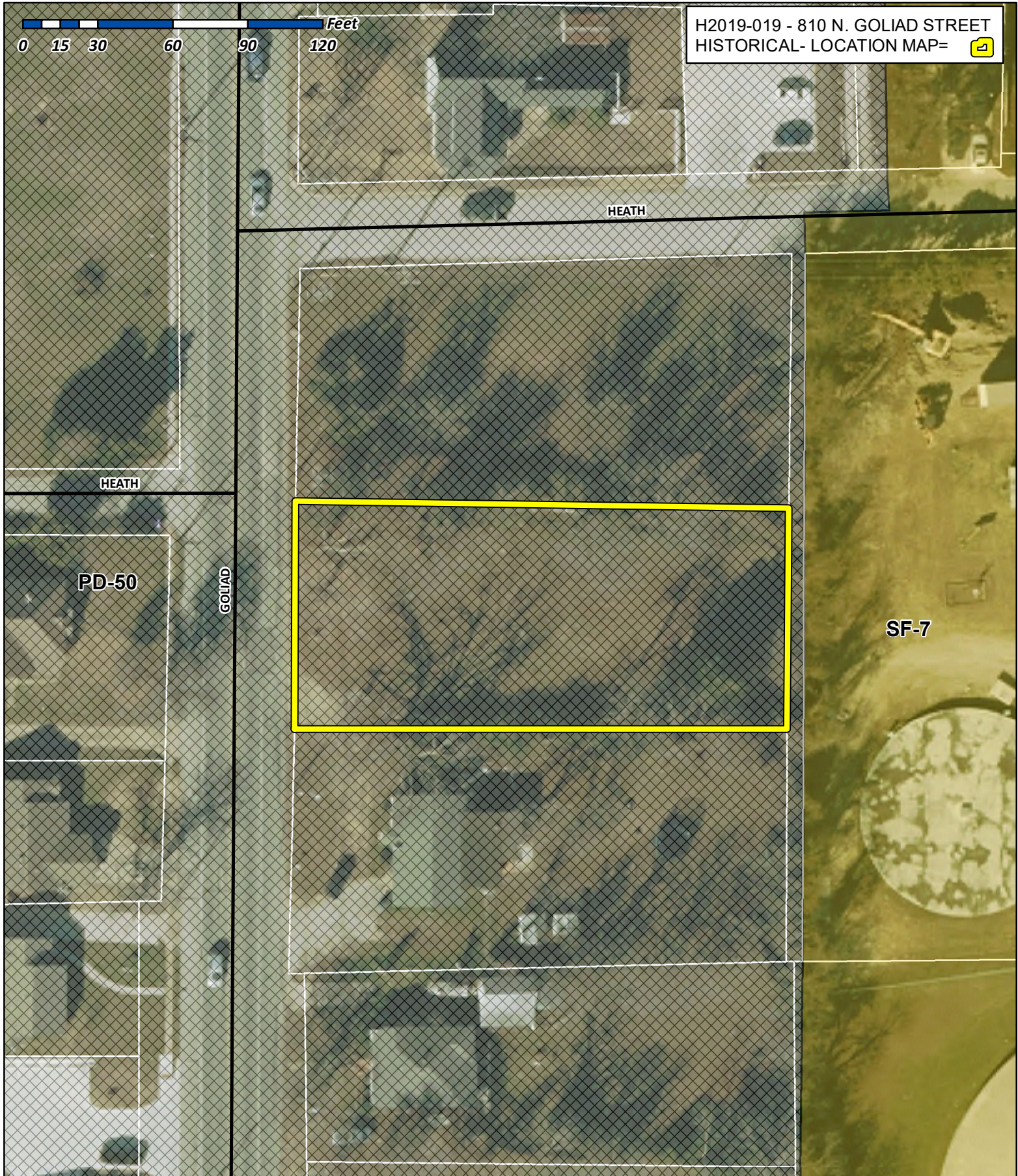
These issues have been added to the conditions of approval for this case.

### **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Occupancy (COA), staff would propose the following conditions of approval:

- (1) A more detailed Landscape and Treescape Plan shall be submitted with the site plan showing conformance with the following:
  - (a) Landscaping and/or a berm -- *generally in conformance with the Historic Guidelines* -- should be incorporated in between N. Goliad Street and the parking lot to screen the parking areas;
  - (b) Conformance to the street tree requirements stipulated by Article VIII, *Landscape and Fence Standards*, of the Unified Development Code (UDC);
- (2) The alleyway situated on 808 N. Goliad Street will need to be verified prior to the approval of a site plan. Alternatively, the applicant can secure a cross access easement on the property;
- (3) The steps situated on the north side of the subject property are located within an established building setback and either need to be moved outside of the building setback or a variance needs to be approved by the Board of Adjustments (BOA) for the encroachment;
- (4) Residential screening -- *in conformance with Article VIII, Landscape and Fence Standards, of the Unified Development Code (UDC)* -- shall be required adjacent to the eastern property line;
- (5) The proposed building elevations are subject to review by the Architectural Review Board (ARB) as part of the site plan approval process;
- (6) A cross access easement (as depicted on the site plan) will need to be establish at the back of the subject property extending from the southern boundary of the subject property (*adjacent to 808 N. Goliad Street*) and extend to the northern boundary (*adjacent to 812 N. Goliad Street*); and,
- (7) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





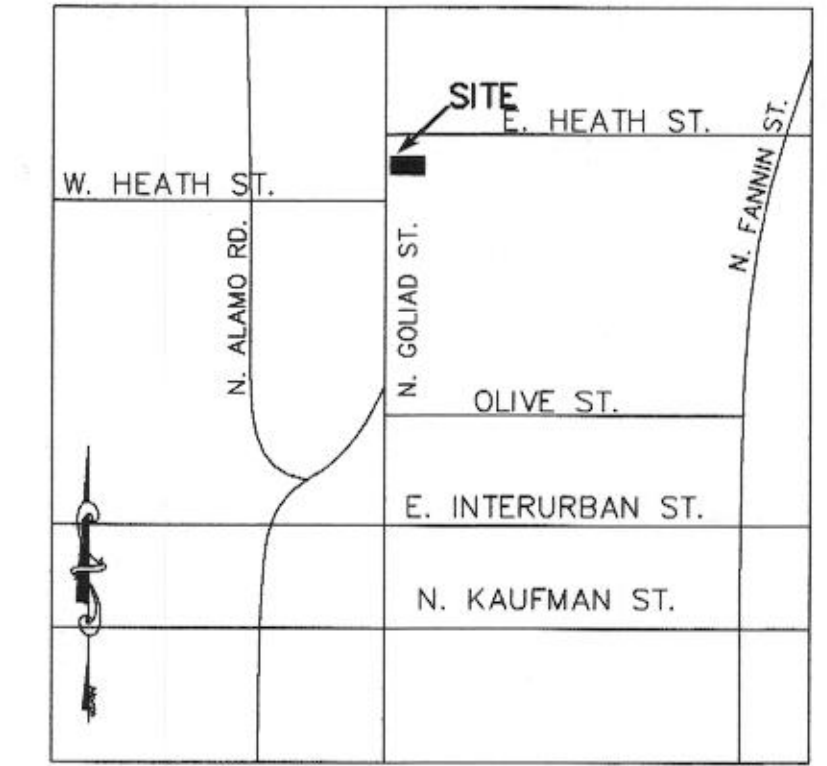
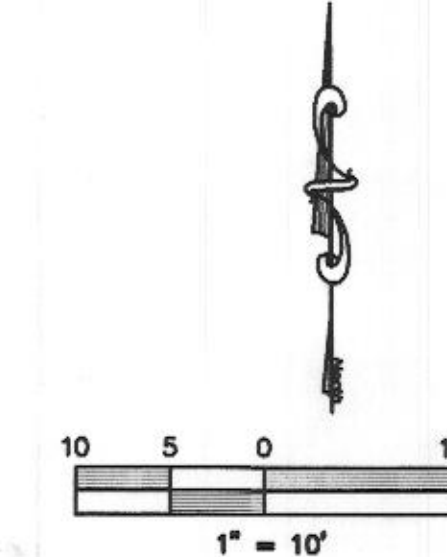
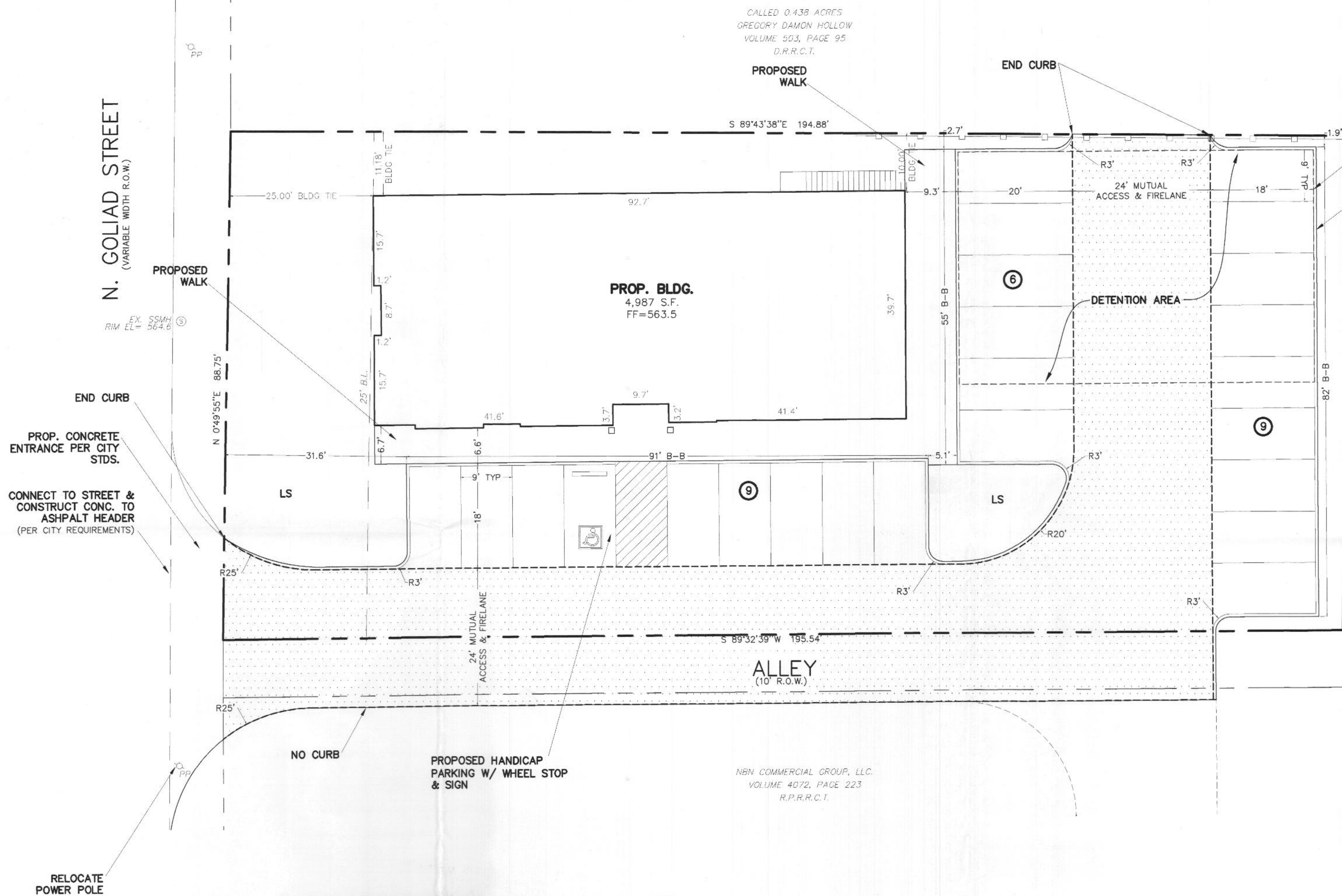
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





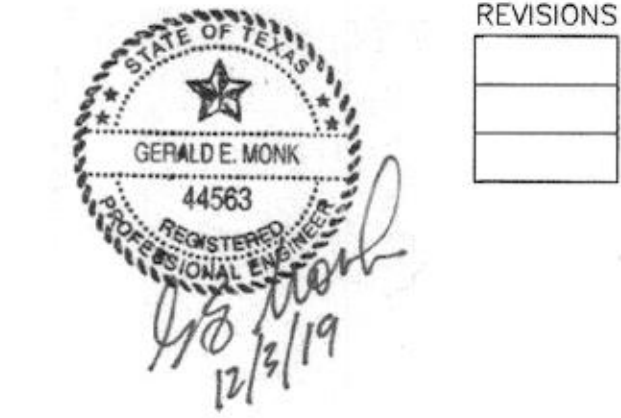


**SITE DATA:**  
**LOT AREA:**  
 0.40 Acres, 17,424 sq.ft.  
**LOT COVERAGE:**  
 21.1%  
**FLOOR TO AREA RATIO:**  
 4.74:1  
**BUILDING AREA:**  
 1st Floor: 3,674 sq.ft.  
 2nd Floor: 1,313 sq.ft.  
 Total: 4,987 sq.ft.  
**BUILDING HEIGHT:**  
 2 STORY  
**PROPOSED FUTURE USE:**  
 General Office  
**IMPERVIOUS AREA (including buildings):**  
 13,563 sq.ft.  
**ZONING:**  
 PD-50  
**PARKING:**  
 Required:  
 Office (1/300sf) = 17  
 Handicap = 1  
 Provided:  
 Standard = 23  
 Handicapped = 1  
 Total Provided = 24  
**LANDSCAPE AREA:**  
 Required: (15%) 2,613.6 sq.ft.  
 Provided: 3,871 sq.ft.  
**FIRESPRINKLER:**  
 NO  
 \* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

**LEGEND**

---	= PROPERTY LINE
EX SS	= EXISTING SANITARY SEWER LINE
EX W	= EXISTING WATER LINE
⊙ FH	= EXISTING FIRE HYDRANT
WM	= EXISTING WATER METER
PP	= EXISTING POWER POLE
LP	= EXISTING LIGHT POLE
⊙	= EXISTING SS MANHOLE
□	= EX. TELEPHONE BOX
EXIST. or EX.	= EXISTING
CL	= CENTERLINE
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
B-B	= BACK OF CURB TO BACK OF CURB
▨	= PROPOSED FIRELANE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



**\*\* NOTICE TO CONTRACTORS \*\***  
 TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
  - 5) NO SAND UNDER PAVING.

**WARNING:**  
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled.
  2. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  3. Fire lanes shall be designed and constructed per city standards.
  4. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  5. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  6. All signage contingent upon Building Inspection Department.
  7. Approval of the site plan is not final until all engineering plans are approved.
  8. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  9. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  10. All electrical transmission, distribution and service lines must be underground.

**Offsite BM:**  
 RAILROAD SPIKE IN POWER POLE ALONG GOLIAD ST. ACROSS THE STREET FROM THE NW CORNER OF PROPERTY LINE  
 Elev=565.6

**PROJECT #:**

**SITE PLAN**

**THE FITE AGENCY, LLC.**

810 N. GOLIAD STREET  
0.40 ACRES  
City of Rockwall, Rockwall County, Texas

OWNER:  
Fite Agency  
Trend Tower, 2701 Sunset Ridge Dr #104  
Rockwall, TX 75032

prepared by  
MONK CONSULTING ENGINEERS  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2019-12 REG. NO.: F-2567

date: 12/3/19 scale: 1"=10' sheet: C101

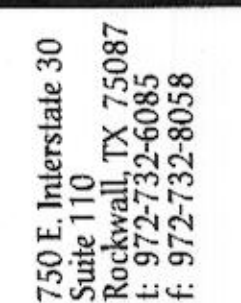




THE FITE AGENCY	
<u>LEGAL DESCRIPTION AND OR ADDRESS:</u>	
THE FITE AGENCY, LLC. DOCUMENT #20180000022302 O.P.R.R.C.T.	
The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	OWNER
<u>APPLICANT</u>	
Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
<u>CITY OF HEATH CASE NUMBER:</u> 2019XX	

**THE FITE  
AGENCY**

2701 Sunset Ridge,  
ste. 104  
Rockwall, TX. 75087



DATE: JUL 2019

PROJECT NO: 2018055

DRAWN BY:

CHECKED BY:

SHEET NO: A501

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SCALE: 1:10

THE FITE AGENCY	
<u>LEGAL DESCRIPTION AND OR ADDRESS:</u>	
THE FITE AGENCY, LLC. DOCUMENT #2018000022302 O.P.R.R.C.T.	
<u>OWNER</u>	
The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
<u>APPLICANT</u>	
Carroll Architects, INC. 7500 E. interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollorch.com ATTN: Jeff Carroll	
<u>CITY OF HEATH CASE NUMBER:</u> 2019xxx	

DATE: \_\_\_\_\_ SHEET NO: \_\_\_\_\_  
JUL 2019  
PROJECT NO: \_\_\_\_\_  
2018055  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

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