

**AGENDA**  
**PLANNING AND ZONING COMMISSION WORK SESSION**  
City Hall, 385 South Goliad, Rockwall, Texas  
Council Chambers  
May 28, 2019  
6:00 P.M.

**CALL TO ORDER**

**CONSENT AGENDA**

1. Approval of Minutes for the April 30, 2019 Planning and Zoning Commission meeting.
2. **P2019-020 (David)**  
Consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of replat for Lot 2, Block A, RISD Elementary School Addition being a 17.2922-acre tract of land being identified as Lot 1, Block A, RISD Elementary School Addition and Tract 2-7 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall, Texas, zoned Planned Development District 70 (PD-70) for single family land uses, located at the southeast corner of Greenway Boulevard and FM-552, and take any action necessary.
3. **P2019-021 (Korey)**  
Consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of Greencrest TPS Hotel, LP for the approval of a final plat of Lots 1-3, Block A, Town Place Marriott Addition being an 8.715-acre tract of land identified as a portion of Lot 1, Block B, Goldencrest Addition and Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated north of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.
4. **P2019-022 (David)**  
Consider a request by Cameron Slown of F. C. Cuny Corporation on behalf of Phillip McNeill of MHC Rockwall, LLC and Jason Lentz of Atticus of Atticus Summer Lee Townhomes for the approval of a replat for Lot 5, Block A, Harbor Village Addition, being a 2.12-acre tract of land currently identified as Lot 3, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located on the south side of Summer Lee Drive southwest of the intersection of Horizon Road [*FM-3097*] and Summer Lee Drive, and take any action necessary.
5. **SP2019-019 (Korey)**  
Discuss and consider a request by Jerry Crouse of PS LPT Properties Investors on behalf of Public Storage for the approval of a site plan for an existing mini-warehouse facility on a 4.264-acre of land identified as Lot 1, Block B, Valk Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4028 N. Goliad Street [*SH-205*], and take any action necessary.

**APPOINTMENTS**

6. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

**ACTION ITEMS**

7. **SP2017-019 (Ryan)**  
Discuss and consider a request by Himmat Chauhan of Best Western Plus for the approval of an extension of an approved site plan for a hotel on a 1.74-acre parcel of land identified as Lot 1, Block A, Comfort Inn & Suites, Rockwall Towne Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as 700 E. IH-30, and take any action necessary.
8. **MIS2019-005 (David)**  
Discuss and consider a request by Michael Duval of G & A Consultants on behalf of John Delin of R. W. Ladera, LLC for the approval of an *Alternative Tree Mitigation Settlement Agreement* for a 28.011-acre

parcel of land identified as a Tract 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

**9. MIS2019-006 (David)**

Discuss and consider a request by Glen Goodrich for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code for an accessory structure on a 0.2296-acre parcel of land identified as Lot 1, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 608 Christian Court, and take any action necessary.

**DISCUSSION ITEMS**

**10. Z2019-012 (Korey)**

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family-1 (SF-1) District land uses on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the west side of Stodgehill Road [FM-3549] north of the intersection of Stodgehill Road [FM-3549] and Cornelius Road, and take any action necessary.

**11. Z2019-013 (Ryan)**

Hold a public hearing to discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Dan Bobst of J-BR2, LLC for the approval of a PD Development Plan within Planned Development District 32 (PD-32), on a 2.893-acre parcel of land identified as Lot 1, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the *Hillside Sub-District* of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of the IH-30 frontage road and Sunset Ridge Drive, and take any action necessary.

**12. SP2019-013 (David)**

Discuss and consider a request by Bill Bauman of Bauman Consultants on behalf of John Gatz of Eco-Site for the approval of a site plan for a *Freestanding Commercial Antenna* on a 0.0826-acre portion of a larger 7.64-acre tract of land, known as *Yellow Jacket Park*, identified as Tract 11 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated on the south side of Yellow Jacket Lane, west of the intersection of S. Goliad Street [SH-205] and Yellow Jacket Lane, and take any action necessary.

**13. SP2019-014 (Korey)**

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a *retail shopping center* and *house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

**14. SP2019-016 (David)**

Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two (2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Road, and take any action necessary.

**15. SP2019-017 (David)**

Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Vincent Stagliano for the approval of a site plan for an animal boarding/kennel without outside pens on a 1.2113-acre tract of land identified as Lot 4, Block A, Ellis Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.

**16. SP2019-018 (Korey)**



Discuss and consider a request by Annalyse Valk of Platinum Construction on behalf of Shawn Valk of Saro Partners, LLC for the approval of a site plan for a multi-tenant office/warehouse facility on a 2.21-acre tract of land identified as Lot 6, Block A, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive, and take any action necessary.

**17. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).**

- ✓ Z2019-009: SUP for a Restaurant at 505 N. Goliad Street ( *1<sup>st</sup> Reading*) [*Approved*]
- ✓ Z2019-010: SUP for Guest Quarters/Secondary Living Unit and Barn or Agricultural Accessory Building at 777 & 839 Cornelius Road ( *1<sup>st</sup> Reading*) [*Approved*]
- ✓ Z2019-011: Amended PD Development Standards for Planned Development District 47 (PD-47) ( *1<sup>st</sup> Reading*) [*Approved*]

**ADJOURNMENT**

**18. Capital Improvements Advisory Committee Meeting (CIAC) [6:30 PM]**

Appointment with Eddie Hass of Freese and Nichols, Inc. and Matt Hickey, PE of Birkhoff, Hendricks & Carter LLP to discuss Roadway, Water and Wastewater Impact Fees, the Ten-Year Growth Rate for the City of Rockwall, and the proposed Land Use Assumptions report, and take any action necessary.

**19. Planning and Zoning Commission Training Session [7:00 PM]**

The Planning and Zoning Commission will hold a training session with the City Attorney immediately following the adjournment of the May 28, 2019 Capital Improvements Advisory Committee Meeting.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 24<sup>th</sup> day of May 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**May 28, 2019**  
**5:00 PM**

**CALL TO ORDER**

**CONSENT AGENDA**

**1. SP2019-013 (David)**

Discuss and consider a request by Bill Bauman of Bauman Consultants on behalf of John Gatz of Eco-Site for the approval of a site plan for a *Freestanding Commercial Antenna* on a 0.0826-acre portion of a larger 7.64-acre tract of land, known as *Yellow Jacket Park*, identified as Tract 11 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated on the south side of Yellow Jacket Lane, west of the intersection of S. Goliad Street [SH-205] and Yellow Jacket Lane, and take any action necessary.

**ACTION ITEMS**

**2. SP2019-014 (Korey)**

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a *retail shopping center* and *house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

**3. SP2019-016 (David)**

Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two (2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Road, and take any action necessary.

**4. SP2019-017 (David)**

Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Vincent Stagliano for the approval of a site plan for an animal boarding/kennel without outside pens on a 1.2113-acre tract of land identified as Lot 4, Block A, Ellis Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.

**5. SP2019-018 (Korey)**

Discuss and consider a request by Annalyse Valk of Platinum Construction on behalf of Shawn Valk of Saro Partners, LLC for the approval of a site plan for a multi-tenant office/warehouse facility on a 2.21-acre tract of land identified as Lot 6, Block A, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 24<sup>th</sup> day of May 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission  
**DATE:** May 28, 2019  
**APPLICANT:** Cameron Slown; *F.C. Cuny Corporation*  
**CASE NUMBER:** P2019-022; *Lot 5, Block A, Harbor Village Addition*

---

### SUMMARY

Consider a request by Cameron Slown of F. C. Cuny Corporation on behalf of Phillip McNeill of MHC Rockwall, LLC and Jason Lentz of Atticus Summer Lee Townhomes for the approval of a replat for Lot 5, Block A, Harbor Village Addition, being a 2.12-acre tract of land currently identified as Lot 3, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located on the south side of Summer Lee Drive southwest of the intersection of Horizon Road [*FM-3097*] and Summer Lee Drive, and take any action necessary.

### PLAT INFORMATION

- ☑ The applicant is requesting the approval of a replat for a 2.12-acre parcel of land [*i.e. Lot 3, Block A, Harbor Village Addition*] for purpose of establishing the necessary easements (*i.e. fire lane, public access, drainage and utility easements*) in order to develop the lot. The new parcel of land [*i.e. Lot 5, Block A, Harbor Village Addition*] will allow for the construction of a four (4) story, ~45,900 SF hotel containing 98 traditional hotel rooms [*i.e. TRU Hilton*]. The *subject property* is located within the *Interior, Horizon/Summer Lee* and *Residential Subdistricts* of Planned Development District 32 (PD-32).
- ☑ On March 5, 2018, the City Council approved *Ordinance No. 18-16 [Case No. Z2018-001]* granting a *PD Development Plan* for a hotel on the 2.12-acre subject property. This ordinance also granted the hotel the ability to extend the height of the structure above 36-feet, which is the maximum height permitted in the Scenic Overlay (SOV) District without a Specific Use Permit (SUP).
- ☑ On September 11, 2018, the Planning and Zoning Commission approved the site plan, and recommended approval of the variances, waivers, and exceptions associated with the construction of the hotel to the City Council. On September 17, 2018, the City Council approved the associated variances, waivers, and exceptions requested by the applicant.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *- conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 5, Block A, Harbor Village Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

5/24/2019

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	SP2019-013	<b>Owner</b>	CITY, OF ROCKWALL	<b>Applied</b>	5/13/2019	LM
<b>Project Name</b>	Freestanding Commercial Antenna	<b>Applicant</b>	BAUMAN CONSULTANTS FOR ECO-SITE	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>				<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
991 W YELLOW JACKET LN	ROCKWALL, TX 75087	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	11		11	0065-0000-0011-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/13/2019	5/20/2019	5/21/2019	8	APPROVED	
ENGINEERING (5/24/2019 11:07 AM SH) - How is water getting to the site for irrigation? - Impact fees will apply for any new taps. - Show/label detention area or add in a note. - Easements to be 20' wide minimum.	Sarah Hager	5/13/2019	5/20/2019	5/24/2019	11	COMMENTS	
FIRE	Ariana Hargrove	5/13/2019	5/20/2019	5/23/2019	10	APPROVED	
GIS (5/22/2019 12:09 PM LS) Address will be: 991 W YELLOW JACKET LN, ROCKWALL, TX 75087	Lance Singleton	5/13/2019	5/20/2019	5/22/2019	9	APPROVED	See comment
Parks Department	Andy Hesser	5/23/2019	5/30/2019				
PLANNING	David Gonzales	5/13/2019	5/20/2019	5/23/2019	10	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Bill Bauman of Bauman Consultants on behalf of John Gatz of Eco-Site for the approval of a site plan for a Freestanding Commercial Antenna on a 0.0826-acre portion of a larger 7.64-acre tract of land, known as Yellow Jacket Park, identified as Tract 11 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated on the south side of Yellow Jacket Lane, west of the intersection of S. Goliad Street [SH-205] and Yellow Jacket Lane, and take any action necessary.</p> <p>PLANNING AND ZONING 1ST ROUND COMMENTS (05.23.2019):</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday June 4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>** Planning Department General Comments &amp; Requirements to address/acknowledge:</p> <ol style="list-style-type: none"> <li>1. Adherence to the requirements of the SUP [Ordinance No. 18-49, SUP S-198], the Unified Development Code (UDC), and the Planning, Building Inspections, Engineering and Fire Department standards shall be required</li> <li>2. Submittal and approval of a Civil Engineering Plans and a Building Permit are required</li> <li>3. Label all revised site plan documents with "Case No. SP2019-013" at the lower right corner of each plan.</li> <li>4. Parking lot to be constructed prior to the installation of the communications tower per the SUP Ordinance</li> </ol> <p>** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> <li>1. Provide adjacent property owner information on site plan</li> <li>2. Delineate and label 24-ft firelane easement as "24-ft Firelane, Public Access, Drainage and Utility Easements (as appropriate for site).</li> <li>3. Use a lighter scale line drawings to better depict site plan elements (i.e. lines are too heavy) on overall site plan.</li> <li>4. Provide more detail on site plan (i.e. parking area measurements, easement lines, landscape buffers, etc.).</li> <li>5. Remove label on site plan indicating the removal of existing trees. No trees are to be removed without first obtaining a permit through the Parks and Recreation Department.</li> <li>6. Provide an enlarged site plan for the parking lot area to be constructed</li> </ol> <p>Landscape Plan:</p> <ol style="list-style-type: none"> <li>1. Indicate wrought iron fence as a minimum 8-ft in height.</li> <li>2. Nelly R Stevens are to be a minimum of 4-ft in height when planted. 12 to 24 inches will not be acceptable, does not provide the necessary immediate screening.</li> </ol> <p>Photometric Plan:</p> <ol style="list-style-type: none"> <li>1. Will there be any exterior lighting added to this site? If so, provide cut sheets for all exterior lighting fixtures</li> </ol> <p>Building Elevations:</p> <ol style="list-style-type: none"> <li>1. Provide elevations/drawings/cutsheets of the cabinets being used to house the equipment.</li> </ol> <p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Meeting Dates to Attend						
Architectural Review Board: May 28, 2019 (5:00 p.m.) [Recommendations from ARB]						
Planning - Work Session: May 28, 2019 (6:00p.m.) [Applicant to present/discuss project]						
Architectural Review Board: June 11, 2019 (5:00 p.m.) [Subsequent meeting if necessary]						
Planning - Action: June 11, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
** IF REQUIRED -- City Council - Action: Monday, June 17, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **						

REV:	DATE:	ISSUED FOR:	BY:
A	08/16/18	ZONING FOR REVIEW	CSM
B	08/23/18	ZONING DRAWINGS	CSM
0	08/27/18	ZONING DRAWINGS	CSM
1	11/05/18	ZONING DRAWINGS	CSM
2	11/07/18	ZONING DRAWINGS	CSM



NOTE:  
RUNOFF WATER TO FLOW TOWARDS  
HOBBY LOBBY PARKING LOT. GRADING  
PLAN PENDING

- How is water getting to the site for irrigation?  
- Impact fees will apply for any new taps.  
- Show/label detention area or add in a note.



CITY OF ROCKWALL CASE NUMBER

Z2018-045

OVERALL SITE PLAN

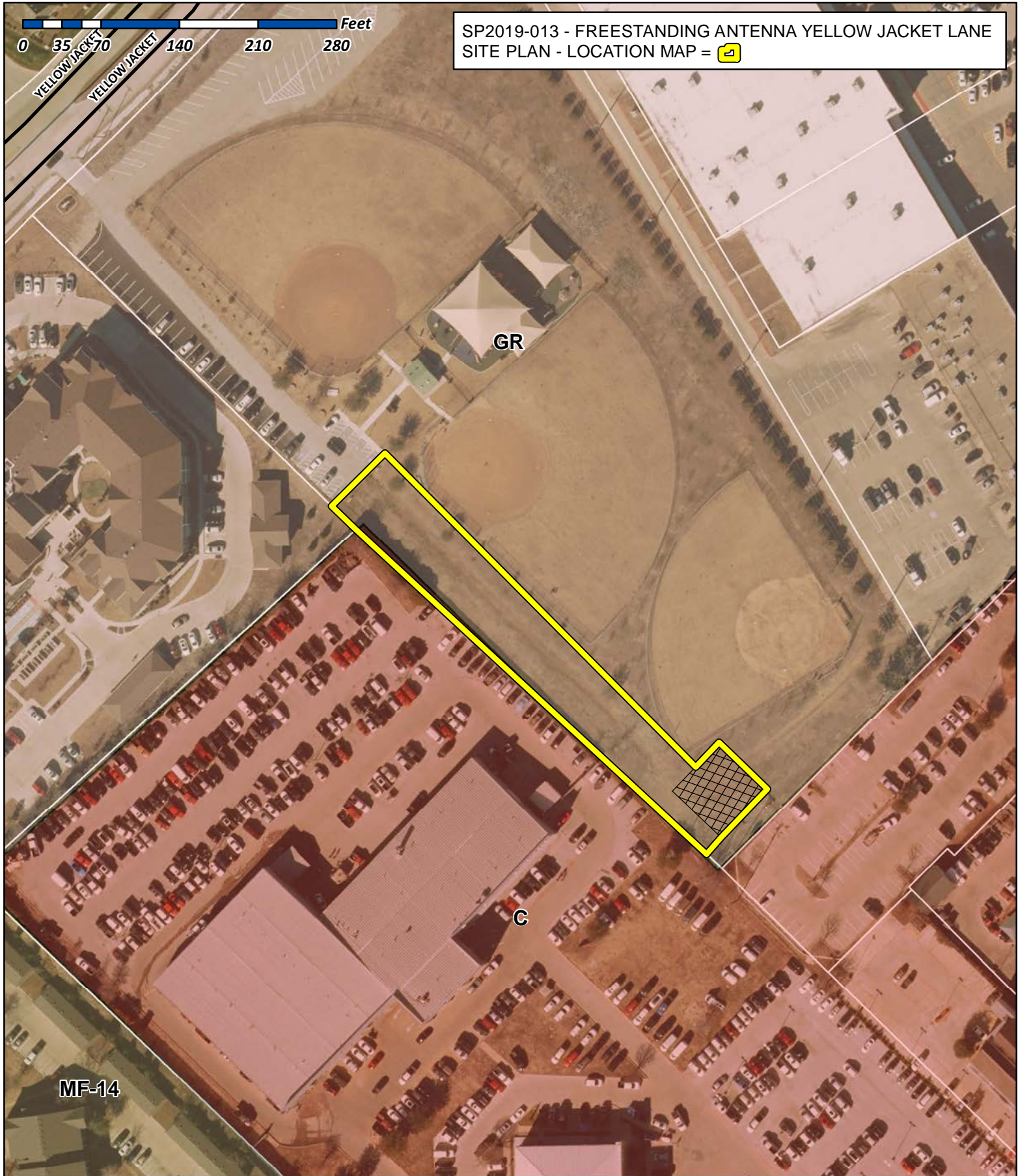
SCALE: 1" = 150'-0"

1









SP2019-013 - FREESTANDING ANTENNA YELLOW JACKET LANE  
SITE PLAN - LOCATION MAP = 

MF-14

GR

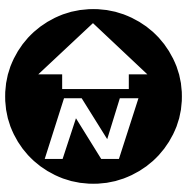
C



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.






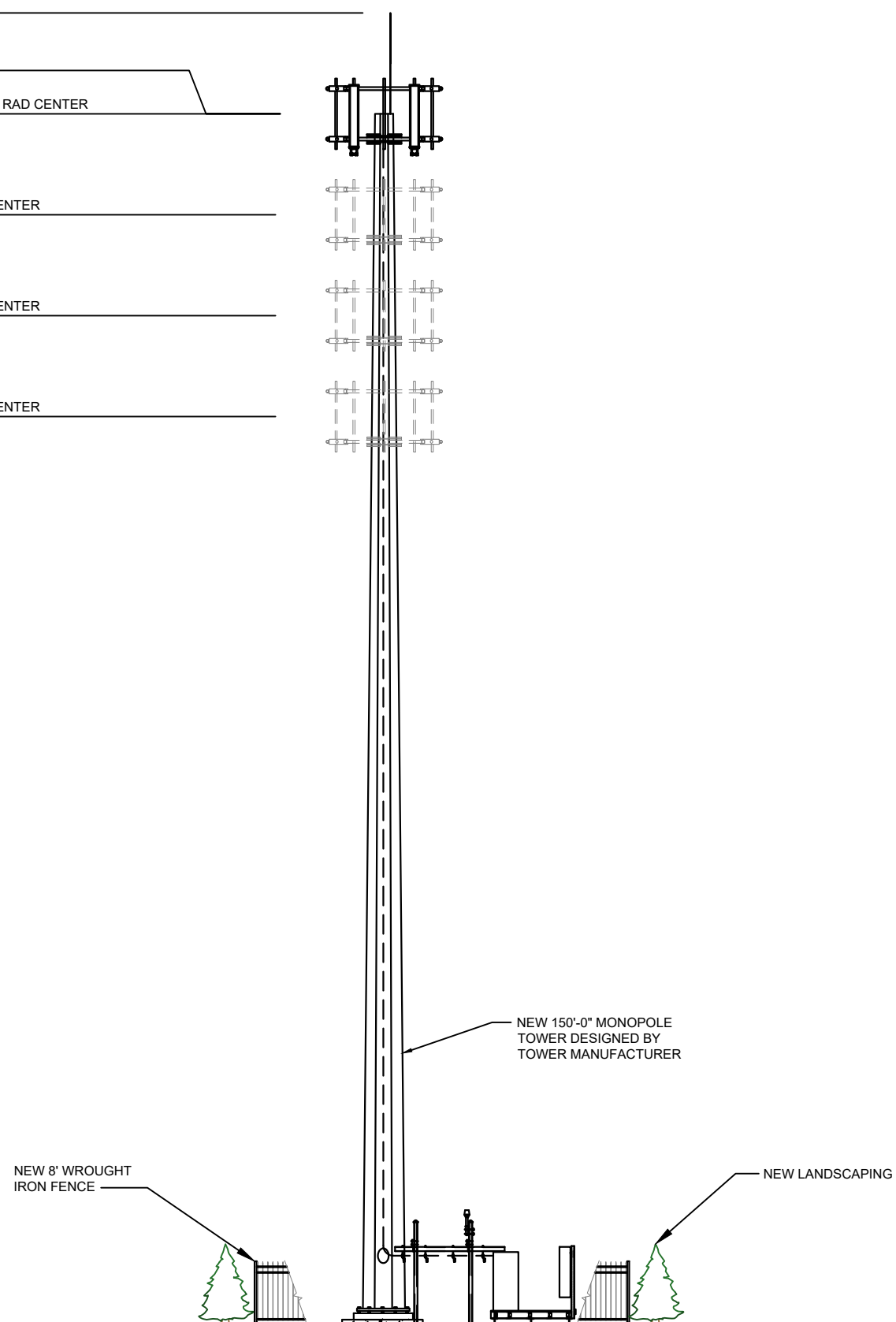




W-T'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS AND EQUIPMENT SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA OR EQUIPMENT INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS & HARDWARE SHALL BE PERFORMED.



FUTURE ANTENNA RAD CENTER  
±120'-0" AGL



CITY OF ROCKWALL CASE NUMBER	ELEVATION	1
Z2018-045	SCALE: 1" = 15'-0"	

# 3

PROJECT INFORMATION:

**YELLOWJACKET PARK**  
**TX-0274**  
**T-MOBILE: DA02390A**

995 W YELLOW JACKET LN  
ROCKWALL, TX 75087

T1801313

CURRENT ISSUE DATE:

11/07/18

ISSUED FOR:

**ZONING DRAWINGS**

REV:	DATE:	ISSUED FOR:	BY:
A	08/16/18	ZONING FOR REVIEW	CSM
B	08/23/18	ZONING DRAWINGS	CSM
0	08/27/18	ZONING DRAWINGS	CSM
1	11/05/18	ZONING DRAWINGS	CSM
2	11/07/18	ZONING DRAWINGS	CSM

CONSULTANT:

**W-T**

**W-T COMMUNICATION  
DESIGN GROUP, LLC.**  
**WIRELESS INFRASTRUCTURE**

6230 N. BELTLINE RD., STE. 325  
IRVING, TX 75063  
PH: (214) 384-0744  
www.wtengineering.com

Texas Firm Registration No.: F-11754 Exp: 09/30/17

COPYRIGHT © 2017 W-T COMMUNICATION DESIGN GROUP, LLC.

DRAWN BY:	CHK:	APV:
CSM	AG	LAF

LICENSER:

JEFFERY S. GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF TEXAS  
LICENSE # PE106604

EXPIRES: 06/30/2019 SIGNED: 11/07/2018

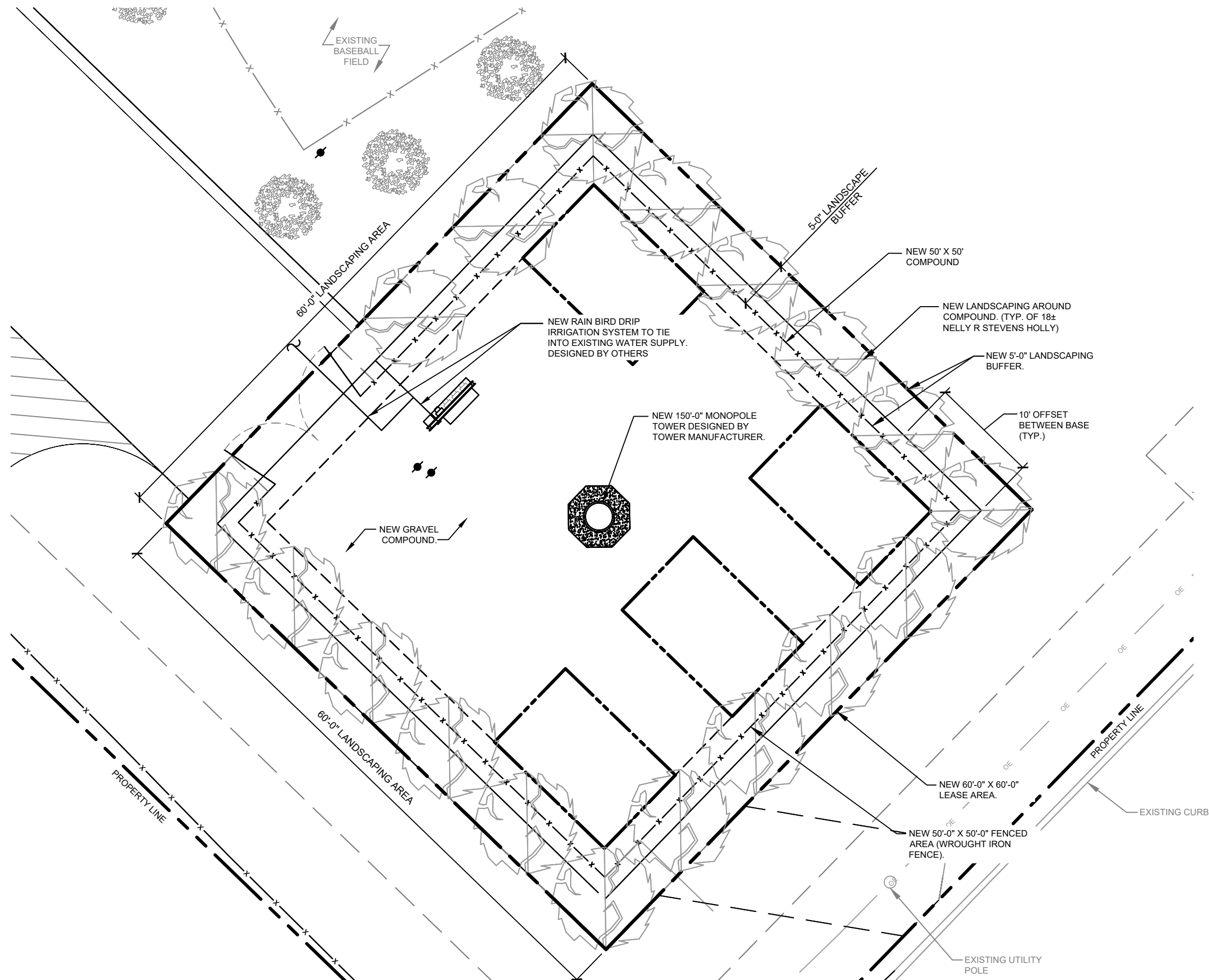
SHEET TITLE:

**LANDSCAPING  
PLAN**

SHEET NUMBER: REVISION:

**L-1**

**3**



CITY OF ROCKWALL CASE NUMBER

Z2018-045

LANDSCAPING PLAN

SCALE: NONE

1



LANDSCAPING GENERAL NOTES:

ALL PLACEMENT OF LANDSCAPING SHALL MEET THE FOLLOWING CONDITIONS:

- 1. ALL PLANT MATERIAL SHALL BE PLANTED IN A MANNER WHICH IS NOT TO INTERFERE WITH OVERHEAD WIRES OR BE INTRUSIVE TO UTILITIES OR PAVEMENT.
- 2. NO TREES OR OTHER LANDSCAPING SHALL BE LOCATED CLOSER THAN 10 FEET TO A FIRE HYDRANT OR OTHER ABOVE GROUND UTILITIES.
- 3. NO LANDSCAPING SHALL INTERFERE WITH SITE REQUIREMENTS FOR SAFE INGRESS AND EGRESS.

INSTALLATION STANDARDS:

- 1. PLANT MATERIAL SHALL CONFORM WITH THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
- 2. ALL PLANT MATERIAL SHALL BE INSTALLED FREE OF DISEASE AND IN A MANNER THAT ENSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER TO SUSTAIN HEALTHY GROWTH.
- 3. ALL TAGS, WIRES, PLASTIC TIES AND ROPE SHALL BE CUT FROM EACH TREE TO PREVENT GIRDLING OF THE TREE. THE BURLAP SHALL BE PULLED BACK FROM THE UPPER THIRD OF THE ROOTBALL. IF A PLASTIC 'BURLAP' IS USED, IT SHALL BE REMOVED IN ITS ENTIRETY FROM THE ROOTBALL.
- 4. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF DEPTH OF THREE (3) INCHES OF MULCHED MATERIAL AND A DIAMETER OF THREE (3) FEET AROUND THE BASE OF THE TREE.
- 5. TREES SHALL BE STAKED WITH POSTS AND NOT STAKES IN AREAS OF HIGH WIND FOR ONE TO THREE YEARS TO ALLOW THE GROWTH OF PROPOSED ROOTS TO STABILIZE. ALL ROPES SHALL BE COVERED TO PREVENT CUTTING INTO THE BARK.
- 6. ANY EXCESS SOIL, CLAY, OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PLANTING SITE, PRIOR TO PLANTING OF INDIVIDUAL TREES AT FINAL GRADE.
- 7. THE JURISDICTION, AT ITS DISCRETION, HAS THE RIGHT TO RETAIN A PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST TO REVIEW SUBMITTED LANDSCAPE PLAN AND THE PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST WILL SUBMIT A WRITTEN REPORT TO THE PLANNING AND ZONING COMMISSION. ALL EXPENSES INCURRED BY THE JURISDICTION FOR THE USE OF THE LANDSCAPE ARCHITECT OR ARBORIST SHALL BE REIMBURSED BY THE DEVELOPER.

PLANTING SEASONS:

- 1. PLANTS MUST BE PLANTED DURING THE FOLLOWING DATES: APRIL 1ST TO MAY 15TH AND SEPTEMBER 1ST TO OCTOBER 1ST.
- 2. THE PLANTING PERIODS INDICATED MAY BE EXTENDED DUE TO WEATHER CONDITIONS OR OTHER FACTORS, WHICH MUST BE APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER.
- 3. THE CONTRACTOR WILL BE RELIEVED FOR HIS GUARANTEE RESPONSIBILITY SHOULD THE OWNER REQUIRE PLANT MATERIAL INSTALLATIONS TO BE COMPLETED DURING OTHER TIMES THAN THE PLANTING PERIODS INDICATED.

PLANTING:

- 1. ALL SHADE TREES, ORNAMENTAL TREES, EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN HOLES EXCAVATED AT LEAST 3x THE WIDTH OF THE DIAMETER OF THE BALL OR CONTAINER AND DEEP ENOUGH SO THAT THE TOP OF THE BALL OR SOIL IN THE CONTAINER IS AT OR JUST ABOVE EXISTING GRADE.
- 2. ALL TWINE OR ROPE MUST BE CUT AND REMOVED AND THE BURLAP FOLDED AWAY FROM THE TOP OF THE BALL. THE EXCAVATION MUST BE BACKFILLED WITH THE PLANTING MIXTURE AND WATERED. ANY SETTLEMENT WILL BE FILLED WITH PLANTING MIXTURE.
- 3. A 4" DEEP SAUCER, SIMILAR TO THE DIAMETER OF THE PLANTING HOLE SHALL BE CREATED USING PLANTING MIX.
- 4. PLANTING MIX TO CONSIST OF 1/3 TOP SOIL, 1/3 SOIL FROM EXCAVATION, AND 1/3 MUSHROOM COMPOST (OR 1/3 PEAT MOSS).

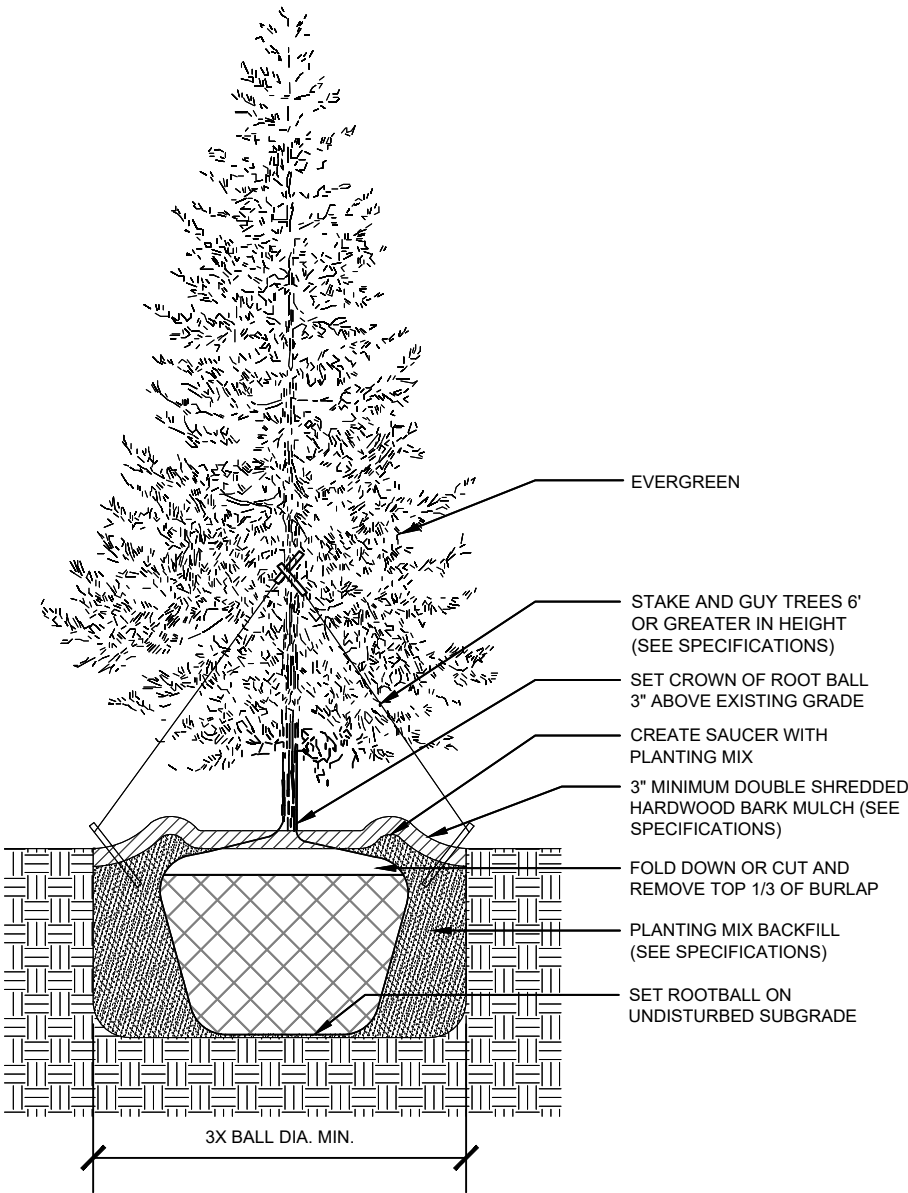
CLEAN UP:

- 1. ALL DEBRIS GENERATED DURING THE INSTALLATION OF PLANT MATERIALS MUST BE REMOVED FROM THE SITE.
- 2. ALL PAVEMENTS AND WALKS MUST BE SWEEPED AFTER EACH DAYS WORK. UPON COMPLETION OF THE WORK, ALL PAVEMENTS MUST BE WASHED TO REMOVE ALL MUD OR DIRT.

LANDSCAPE CHART

QTY.	COMMON NAME	HT. AT INSTALL	SPACING	ROOTBALL	OVERALL PROJECTED WIDTH
18	NELLY R. STEVENS HOLLY	12"-24"	10'-0" O.C. MIN	B/B	10'-0"

NOTE:  
ALL MATERIALS SURROUNDING THE TREE ROOT BALL, INCLUDING WIRING, ARE TO BE REMOVED PRIOR TO PLANTING OF TREES.



LANDSCAPING NOTES

SCALE: NONE

1

CITY OF ROCKWALL CASE NUMBER

Z2018-045

LANDSCAPING DETAILS

SCALE: NONE

2

Eco-Site  
240 LEIGH FARM ROAD, SUITE 415  
DURHAM, NC 27707

PROJECT INFORMATION:

YELLOWJACKET PARK  
TX-0274  
T-MOBILE: DA02390A

995 W YELLOW JACKET LN  
ROCKWALL, TX 75087

T1801313

CURRENT ISSUE DATE:

11/07/18

ISSUED FOR:

ZONING DRAWINGS

REV.	DATE	ISSUED FOR:	BY:
A	08/16/18	ZONING FOR REVIEW	CSM
B	08/23/18	ZONING DRAWINGS	CSM
0	08/27/18	ZONING DRAWINGS	CSM
1	11/05/18	ZONING DRAWINGS	CSM
2	11/07/18	ZONING DRAWINGS	CSM

CONSULTANT:

W-T

W-T COMMUNICATION  
DESIGN GROUP, LLC.  
WIRELESS INFRASTRUCTURE

6230 N. BELTLINE RD., STE. 325  
IRVING, TX 75063  
PH: (214) 384-0744  
www.wtengineering.com

Texas Firm Registration No.: F-11754 Exp: 09/30/17

COPYRIGHT © 2017 W-T COMMUNICATION DESIGN GROUP, LLC.

DRAWN BY:

CHK:

APV:

CSM

AG

LAF

LICENSER:

JEFFERY S. GUTOWSKY  
PROFESSIONAL ENGINEER  
STATE OF TEXAS  
LICENSE # PE106604

EXPIRES: 06/30/2019 SIGNED: 11/07/2018

SHEET TITLE:

LANDSCAPING  
DETAILS / NOTES

SHEET NUMBER:

REVISION:

L-2

3

5/24/2019

**City of Rockwall**  
**Project Plan Review History**



<b>Project Number</b>	SP2019-014	<b>Owner</b>	PEACE & MERCY, CENTERS FOR			<b>Applied</b>	5/14/2019	LM
<b>Project Name</b>	Retail shopping/House of Worship	<b>Applicant</b>	AHMED HELALUZZAMAN			<b>Approved</b>		
<b>Type</b>	SITE PLAN					<b>Closed</b>		
<b>Subtype</b>						<b>Expired</b>		
<b>Status</b>	Staff Review					<b>Status</b>		
<b>Site Address</b>		<b>City, State Zip</b>				<b>Zoning</b>		
600 TURTLE COVE DR		ROCKWALL, TX 75087						
<b>Subdivision</b>		<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>		
HUDSPETH		22		22	0064-0000-0022-00-OR			

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/14/2019	5/21/2019	5/21/2019	7	APPROVED	
ENGINEERING	Sarah Hager	5/14/2019	5/21/2019	5/24/2019	10	COMMENTS	

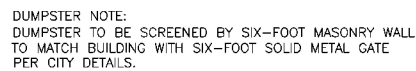


Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
<p>(5/24/2019 1:31 PM SH)</p> <ul style="list-style-type: none"> <li>- Must show the location of the NTMWD force main.</li> <li>- Water line to be centered in a 20' easement.</li> <li>- No structures in easements.</li> <li>- One way back drive is not allowed. If you wish to have this access, it will need to be 24' minimum.</li> <li>- Dumpster to drain to an oil/water separator and then to the storm lines.</li> <li>- Parking to be 20' x 9'.</li> <li>- 10' spacing for fire line to all other lines.</li> <li>- Hydrant to have 5' of clearance behind the curb.</li> <li>- What are these two extra wide parking spaces? or landscaping?</li> <li>- Detention needs to be in an easement and no structures are allowed in easements.</li> </ul> <p>The following are for your information for engineering design.</p> <ul style="list-style-type: none"> <li>- 4% Engineering Inspection Fees</li> <li>- Impact Fees</li> <li>- Drainage release into railroad right-of-way will require railroad approval</li> <li>- Detention is required</li> <li>- No utilities allowed in detention easement</li> <li>- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems</li> <li>- Minimum utility easement width is 20'</li> <li>- Label distances between driveways (measured from edge to edge)</li> <li>- All parking to be 20'x9'</li> <li>- All drive aisles to be a minimum of 24' wide</li> <li>- No structures in easements</li> <li>- Max slope is 4:1</li> <li>- Must loop an 8" water line to take fire protection, water service, and irrigation off of.</li> <li>- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.</li> <li>- Assembly use may require fire sprinkler. Check with fire department.</li> <li>- Must meet all engineering standards</li> </ul>							
<p>(5/24/2019 1:38 PM SH)</p> <ul style="list-style-type: none"> <li>- Walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls.</li> </ul>							
FIRE	Ariana Hargrove	5/14/2019	5/21/2019	5/23/2019	9	APPROVED	see comment
<p>(5/23/2019 1:26 PM AA)</p> <p>An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.</p>							
GIS	Lance Singleton	5/14/2019	5/21/2019	5/22/2019	8	APPROVED	See comments
<p>(5/22/2019 9:52 AM LS)</p> <p>Shell address will be 600 TURTLE CREEK BLVD, ROCKWALL, TX 75087</p> <p>*Any suite numbers should follow a 101 103 105... seperation scheme (from South to North) to allow for future unexpected demising walls. Each suite will be confirmed at its permitting.</p>							

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	Korey Brooks	5/14/2019	5/21/2019	5/23/2019	9 COMMENTS	Comments
SP2019-014 Site Plan for Retail Shopping Center and House of Worship: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
<ol style="list-style-type: none"> <li>1. This is a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 &amp; 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740].</li> <li>2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</li> <li>3. For reference, include the case number (SP2019-014) in the lower right hand corner of all pages on future submittals.</li> <li>4. Sheet No. A001—This sheet is not reviewed—For reference only. Please incorporate Legend and Contact Information on remaining drawings (if not provided).</li> <li>5. Please provide Site Data Table (named Project Data Table on the sheet) on all sheets. Please add parking data and the breakdown of worship/retail SF from Code Table. Also provide pervious vs. imperious SF and percentage. Please add lot coverage SF and %. Please add zoning district and overlay district. Please add % of required landscaping and % of provided.</li> <li>6. Sheet No. A101—This sheet doesn't seem to be necessary. The site plan on sheet C1 is the type of site plan that is needed. Please transfer site data table to remaining sheets.</li> <li>7. Sheet C-1—Please note that in overlay district the dumpster screening is 8-feet, materials matching the main structure, with self-latching opaque gate.</li> <li>8. Sheet C-1—There is a large amount of information on this sheet. Please greyscale topo and utilities.</li> <li>9. Sheet C-1—Since there is large amount of lines on this page, could the firelane change from a hatch pattern to a solid grey? Show any remaining pavement, including sidewalks as a different shade of grey.</li> <li>10. Sheet C-1—There is a reference to a "water easement by this plat" on the building footprint. Please remove along with any other plat references (e.g. the references to state plane coordinates). The plat will be taken care of at a later time.</li> <li>11. Sheet C-1—Please use varying line weights and types to provide clearer differentiation. Also provide those changes in the legend. There are several items that use the same linetype.</li> <li>12. Sheet C-1—Please show all proposed easements and extend of detention.</li> <li>13. Sheet C-1—Please greyscale information on adjacent sites (i.e. any information that is not on your lots).</li> <li>14. Sheet C-1—Please remove water meter schedule.</li> <li>15. Sheet C-1—Please note that parking is 9x20.</li> <li>16. Sheet C-1—Please revise access easements to "Public Access" instead of "Mutual"</li> <li>17. Sheet C-1—Please remove symbols for IRF/similar</li> <li>18. Sheet C-1—Please show division of worship area vs retail.</li> <li>19. Sheet C-1—The parking close to the RR and Turtle Cove is dead end and will probably need a turnaround to allow vehicles to back out of the space.</li> <li>20. Sheet C-1—No parking space shall be more than 80-feet from a canopy tree.</li> <li>21. Sheet C-1—The site plan shows three or four thick grey lines that are not labeled. Some are adjacent to the property line and one is adjacent to Turtle Cove. What are these lines? Also there are several lines in the ROW that are not labeled. Please try to label all lines.</li> <li>22. Sheet C-1—Will the two lots be combined?</li> <li>23. Sheet C-1—What are the two pie shaped "parking spaces" near the play area? They cannot be parking spaces; however, I cannot determine what is being shown.</li> <li>24. Sheet C-1—Please note that the landscape buffer is 20-feet and the building setback is 15-feet.</li> <li>25. Sheet C-1—Please provide dimensions of all walls.</li> <li>26. Sheet C-1—Please provide dimensions from building to all property lines.</li> <li>27. Sheet C-1—Please note that the building does not meet horizontal articulation requirements as drawn and will need a variance. Please review Commercial articulation requirements.</li> </ol>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
28. Sheet LP.01—please dimension a typical parking space—also as noted, parking must be 9x20.						
29. Sheet LP.01—The parking and building can be greyscaled so that the landscape plan focuses on the landscaping.						
30. Sheet LP.01—Please note that the landscape buffer is 20-feet and the building setback is 15-feet.						
31. Sheet LP.01—Please provide the actual footprint of the building (i.e. show any projections or recesses).						
32. Sheet LP.01—Please provide adjacent property information as shown on C-1.						
33. Sheet LP.01—Please darken and label property line for subject property.						
34. Sheet LP.01—There several dashlines toward the SE of the property that are not labeled. Please label all lines, provide a variety of lineweights/types. A legend can be provided in lieu of labeling each line. As drawn, the utilities and property lines, ROW, etc. have the same line weight and type.						
35. Sheet LP.01—There are several dark circles with a line projecting and several open circles. Please label or provide a legend.						
36. Sheet LP.01—As on Sheet C-1, please show firelane as a shade of grey and any remaining concrete as a lighter shade of grey. Please use the stippling pattern currently being used on the firelane to show where grass will be.						
37. Sheet LP.01—Please add site data table as mentioned above. Some of the needed information is already being provided on the sheet; however, please replace with the same data table so that all sheets have the same data table/same information.						
38. Sheet LP.01—Please darken visibility triangles						
39. Sheet LP.01—What are the two hatched areas at the end of the parking toward the rear of the building?						
40. Sheet LP.01—For consistency purposes, please change title from Planting Plan to “Landscape/Treescape Plan”						
41. Sheet LP.01—Please note that the min caliper inch for trees is 4-inches.						
42. Sheet LP.01—Please note that headlight screening may be required along the property line adjacent to the RR.						
43. Sheet ESP—Please removed the details of the light pole. Just show the pole from the ground up and provide height.						
44. Sheet ESP—The Electrical Notes may not be necessary on the photometric plan; those notes seem to be needed later when the building permit is being requested. Please note that this is a “Photometric Plan” instead of an Electrical Site Plan.						
45. Sheet ESP—Please label adjacent properties as shown on Sheet C-1.						
46. Sheet ESP—Please remove building footprints from adjacent properties.						
47. Sheet ESP—Please label “Future Development” phase.						
48. Sheet ESP—Please provide a combination of lineweights and types to differentiate between the subject property and the adjacent properties. Please label property line of subject property.						
49. Sheet ESP—please show the site (i.e. parking building, etc) as the same shade but please greyscale. In addition, please provide a larger, darker font for FC grid.						
50. Sheet ESP—Please note, the light intensity at the property line shall be no greater that 0.2 FC. Please check photometric plan and ensure compliance.						
51. Sheet ESP—Please note that all fixtures shall be fully shielded and pointed downward.						
52. Sheet ESP—Please provide graphic and numeric scale, north arrow and vicinity map.						
53. Sheet ESP—Please see above for the correct LS buffer and setback.						
54. Sheet ESP—Please note that no light pole shall exceed 20-feet						
55. Sheet ESP—Please provide cut sheets for fixtures.						
56. Sheet A501—Please remove all signage.						
57. Sheet A501—Please add cardinal direction to all elevation.						
58. Sheet A501—Please provide height of “tower element” closest to the building material percentage on elevation 2 and the element directly below on elevation 1.						
59. Sheet A501—Please provide site data table.60. Sheet A501—Are the tower elements flush with the façade or do they project?						
61. Sheet A501—Please note, as shown, the building elevations will require a variance to 4-sided architecture, and vertical and horizontal articulation.						
62. Sheet A501—Please note that all buildings shall be architecturally finished on all 4 sides with the same elements and materials.						
63. Sheet A501—Please note that elevation 1 exceeds the max of 10% EIFS—this will require a variance.						
64. Sheet A501—Please label the material above the window as provide type of material for awnings.						
65. Sheet A501—Please provide elevation of dumpster enclosure.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
66. Sheet A501—Please dash-in all rooftop equipment and provide information on how it will be screened. 67. Please label at least one set of light fixtures on each of the elevations. 68. Sheet A501—What material is the small squares on the building elevations? 69. Sheet A501—is the stone a natural stone? 70. Sheet A502—Please note that the two elevations are labeled the same as the elevations on A501. 71. Sheet A502—Please see comments from A501 72. Sheet A502—Please note that as drawn, the rear elevation will need several variances: vertical and horizontal articulation, 4 sided architecture, 20% stone requirement. 73. Sheet A502—There are three vertical lines drawn between the doors. What are these lines? 74. Sheet A502—Please label the element directly on top of the brick. 75. Sheet A502—Please note, the back of the parapets is visible. The back of the parapets will need to be finished and revised so that it is not a flat parapet (i.e. it will need to look like a “box” rather than a “panel” 76. Sheet A502—Please provide a perspective drawing. 77. Sheet A201—Please note that this sheet is for reference and was not reviewed or approved. That will be taken care of at time of Building Permit submission. 78. The Architectural Review Board (ARB) meeting for this case will be held on May 28, 2019 at 5:00 p.m. 79. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 4, 2019. The Planning and Zoning Worksession for this case will be May 28, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be June 11, 2019						
Police Department	Police Department	5/24/2019	5/31/2019	5/24/2019	COMMENTS	Comments
SP2019-014 - SITE PLAN FOR RETAIL/HOUSE OF WORSHIP Considerations: <ul style="list-style-type: none"> <li>Lighting placed upon all sides of the exterior the buildings, entry ways and especially controlled access gate entrances. This should illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred.</li> <li>Place high resolution cameras on corners of building, controlled access gate entrances, door entrances into buildings and common areas inside the business.</li> <li>If case is kept on sights, consider a safe room that contains a money safe with an hardened outward opening door with deadbolt and key control. Consider an internal distress alarm for the sale and limited access by management.</li> <li>UL appropriate safe (Money vs. Fire)</li> <li>Consider bollards with appropriate a at soft access points</li> <li>Consider mirror(s) corners and enclosed areas to reveal anyone that might be present (suspect)</li> </ul>						
I'm available to speak with or make recommendations on this projects. Please do hesitate to contact me for any assistance.						



<b>ITEM</b>	
<b>GENERAL SITE DATA</b>	
<b>ZONING</b> (from zoning map)	
<b>LAND USE</b> (from zoning ordinance)	
<b>LOT AREA</b> (square feet & acres)	
<b>PROP. BUILDING FOOT PRINT AREAS</b>	
<b>BUILDING HEIGHT</b> (#Stores)	ONE-STORY (Max. Height: 29'-8")
<b>LOT COVERAGE</b>	8.25%
<b>FLOOR AREA RATIO</b>	<del>0.0399</del> 1
<b>PARKING REQUIRED</b>	<b>61 SPACES</b>
<b>PARKING PROVIDED</b>	<b>61 SPACES</b>
<b>ACCESSIBLE PARKING REQUIRED</b> (# spaces)	3 SPACES
<b>ACCESSIBLE PARKING PROVIDED</b> (# spaces)	3 SPACES

Need to show the location of NTMWD force main.



**CIVIL ENGINEER**  
ND & ASSOCIATES, LLC  
Contact: Naim Khan, P.E. CFM  
2105 Canyon Creek Dr.  
Garland, Texas 75042  
PH: 214 533 7181  
E-MAIL: [naim1207@yahoo.com](mailto:naim1207@yahoo.com)

**LANDSCAPE ARCHITECT**  
**ARODS LANDSCAPE**  
Contact: Mohammad Salarn  
5901 Indian Hills Drive  
GARLAND, TX 75044  
PH. 214-403-2034

LINE	BEAR
L1	S 43
L2	N 46
L3	S 43

One way back lane is not allowed. Must be 24' wide if used as a drive lane. Water to be centered in a 20' easement. No structures in easements.

Water line to be centered in a 20' easement.

I.D	TYPE	SIZE	NO.	SAN.SEWER	REMARKS
	DOMESTIC	1.5"	1	6"	PROPOSED
	IRRIGATION	1.0"	1	N/A	PROPOSED

Dumpster to drain to an oil/water separator then to the storm lines.

Detention will need to be in an easement. No structures in easements.

What are these two spaces?

10' spacing min  
for fire line and  
water to sewer.  
Hydrant to have  
5' clearance  
from the back of  
curb.

- 4% Engineering Inspection Fees
- Impact Fees
- Drainage release into railroad right-of-way will require railroad approval
- Detention is required
- No utilities allowed in detention easement
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- Label distances between driveways (measured from edge to edge)
- All parking to be 20'x9'
- All drive aisles to be a minimum of 24' wide
- No structures in easements
- Max slope is 4:1
- Must loop an 8" water line to take fire protection, water service, and irrigation off of.
- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.
- Assembly use may require fire sprinkler.
- Check with fire department.
- Must meet all engineering standards

HUPSPETH ADDITION  
LOT 1, BLOCK A  
CAB. B, SLIDE 6  
P.R.R.C.T.  
ZONED - COMMERCIAL

STATE PLAN COORS  
N=7,017,483.53  
E=2,592,753.48

R.D. VANDERSLICE &  
WIFE, EDITH LYNN VANDERSLICE  
VOL. 285, PG. 258  
D.R.R.C.T.

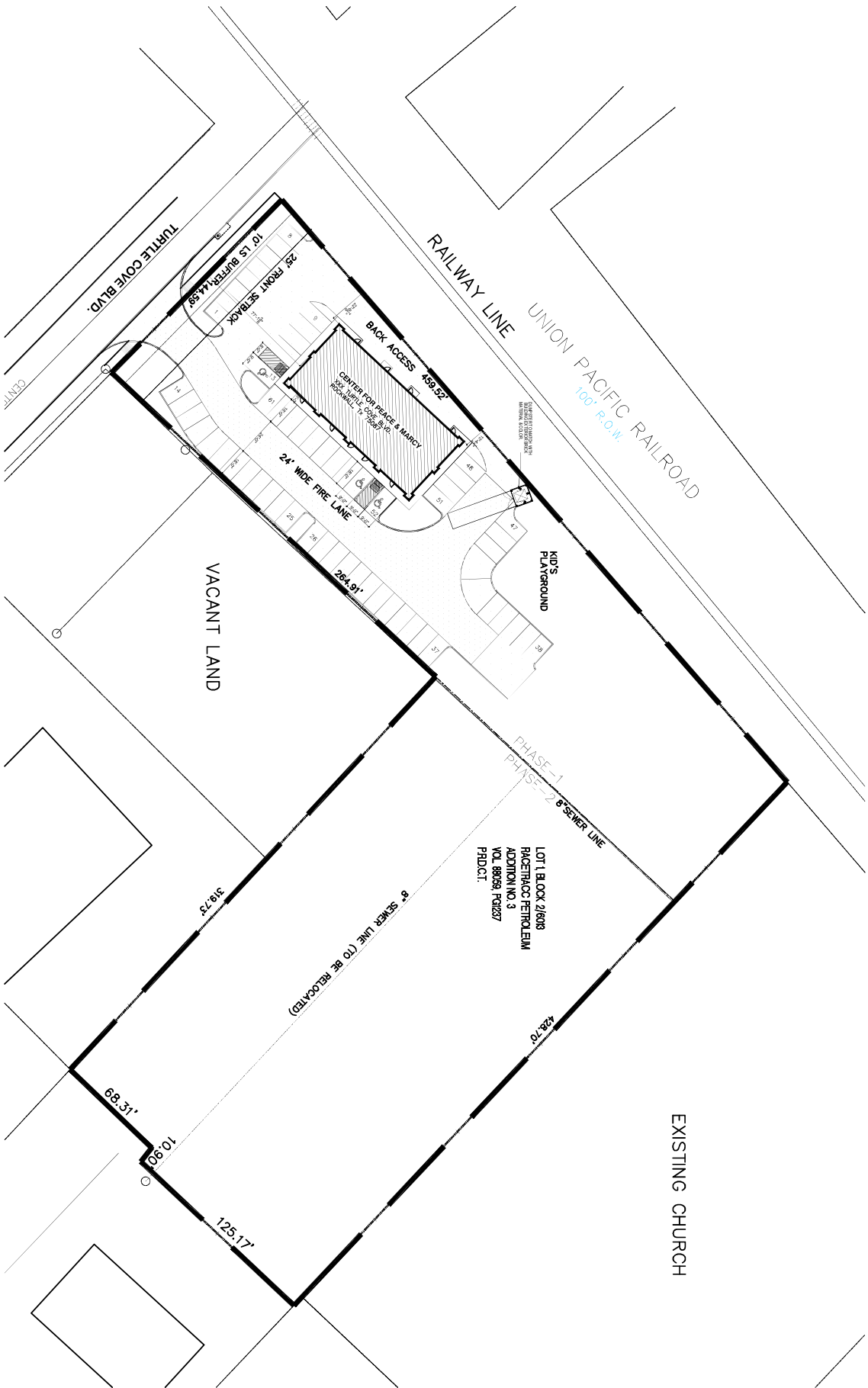
REPLAT RIDGE ROAD OFFICE  
LOT 1  
CAB. B, SLIDE 5  
P.R.R.C.T.  
ZONED - COMMERCIAL

**C-1**

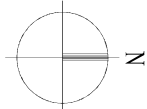
**ND & Associates, LLC**  
2105 Canyon Creek Drive  
Garland, Texas 75042  
Contact: Naim Khan, P.E., CFM  
PH: (214) 533 7181  
EMAIL: [naim1207@yahoo.com](mailto:naim1207@yahoo.com)  
FIRM # F - 13340



*Md. Naimuddin Khan*  
Md. Naim Uddin Khan 04-05-19  
 ENGINEER NO. 87776. THESE PLANS WERE  
 PREPARED UNDER THE RESPONSIBLE SUPERVISI  
 OF MD. NAIM UDDIN KHAN REGISTERED  
 PROFESSIONAL ENGINEER  
 THE SEAL APPEARING ON THIS DOCUMENT WAS  
 AUTHORIZED BY MD. NAIM UDDIN KHAN P.E.  
 #87776



See notes on  
previous sheet.



# 01 SITE PLAN

SCALE: 1"=40'

PROJECT DATA	
DESCRIPTION	
LOT AREA TOTAL	2.74 AC. (119,184 SF.)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,600 SF.
COVERED AREA PHASE-1	8.25%
FLOOR AREA RATIO	0.0386:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
PARKING REQUIRED	51 SPACES INCLUDING 3 ADA
PARKING PROVIDED	61 SPACES INCLUDING 3 ADA

REVISIONS:

PROJECT:  
RETAIL BUILDING  
PHASE-1  
XXX Turtle Cove Boulevard, Rockwall, Tx 75087

OWNER:  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

amazing concept  
residential & commercial projects  
3401 Country Lane, Grapevine, TX 76051  
Tel: 817.775.8811  
E-mail: amazingconcept@gmail.com

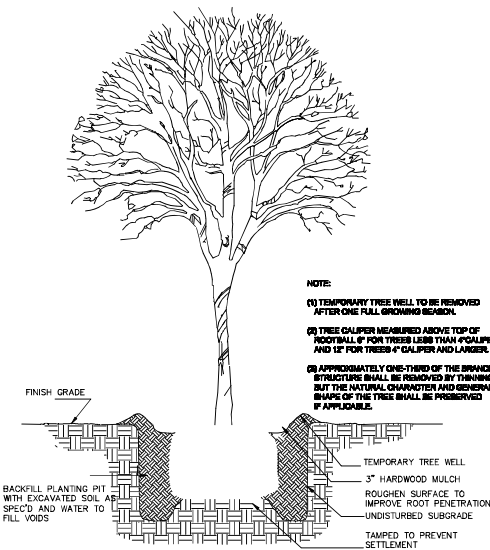
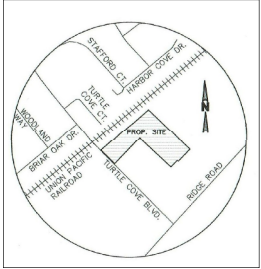
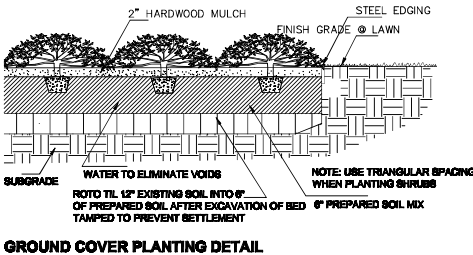
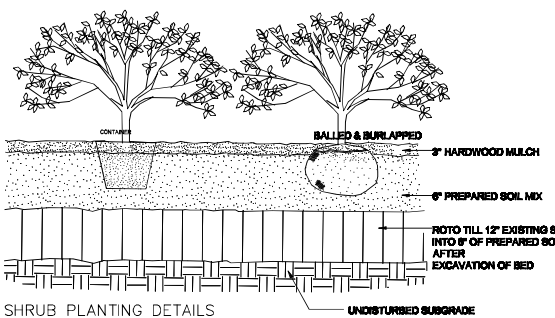
SHEET TITLE:  
SITE PLAN

DATE: 04.09.2019  
SCALE: AS SHOWN  
DRAWN: DESIGNED: A. HEALUZZAMAN

PROJECT #  
H-2019-02

SHEET NO.  
A101





- PLANTING NOTES**
1. USE (24\"/>
  2. USE 4\"/>
  3. ALL THE LAWN AREAS TO BE HYDROMULCHED BERMUDA GRASS. REPLACE ALL THE EXISTING EXISTING LAWN AREAS AS NOTED.
  4. TOP DRESS ALL THE PLANTING BED AREAS WITH 2\"/>
  5. THE SITE SHALL BE IRRIGATED WITH BELLOW GRADE AUTOMATIC IRRIGATION SYSTEM WITH PRESSURE ZONES, THAT BE CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR PARTICULAR TYPE OF PLANT MATERIAL USED.

**landscape area**

SITE AREA : 65,700 SF. ( 1.216 AC. )  
LANDSCAPE AREA REQUIRED : 10 % ( 6,570 SF. )  
PROVIDED : 43.8 % ( 28,730 SF. )

BLDG. AREA : 4,000 SF.  
TOTAL NUMBER OF PARKING SPACES REQUIRED : 23  
SPACES PROVIDED : 82.

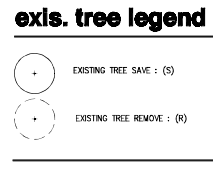
**planting requirement**

TURTLE COVE BLVD. LANDSCAPE BUFFER 14.00 LF.  
SHADE TREES REQUIRED : 3 ( 0\"/>

existing tree listing

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24\"/>	24\"/>
02 ELM 18\"/>	18\"/>
03 HACKBERRY 15\"/>	15\"/>
04 OAK 20\"/>	20\"/>
05 HACKBERRY 7\"/>	7\"/>
06 HACKBERRY 12\"/>	12\"/>
07 HACKBERRY 20\"/>	20\"/>
08 ELM 10\"/>	10\"/>
09 HACKBERRY 15\"/>	15\"/>
10 HACKBERRY 20\"/>	20\"/>
11 OAK 36\"/>	36\"/>

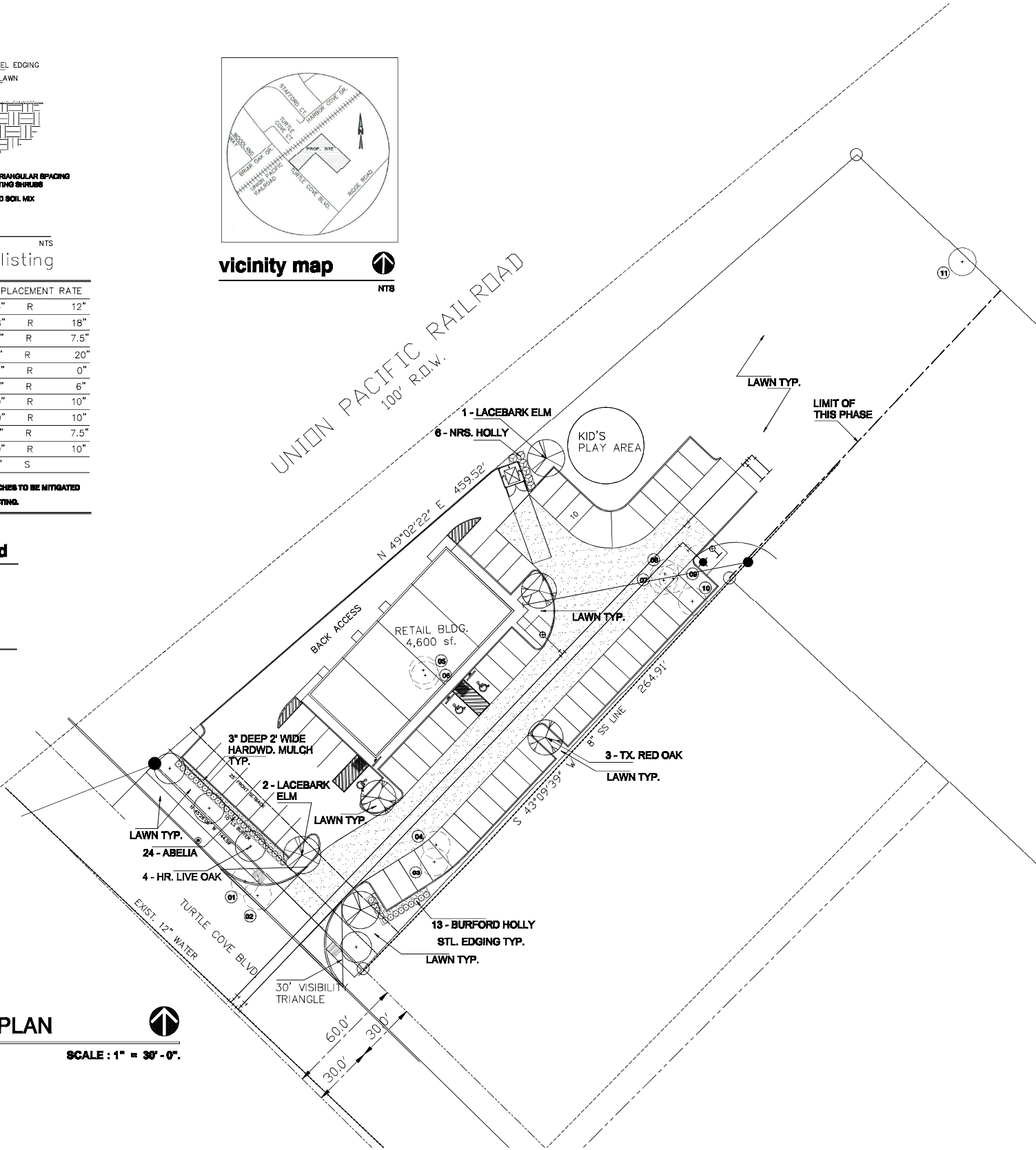
R = REMOVE, B-SAVE 101.8 CAL/INCHES TO BE MITIGATED  
REF. PLANT SCHEDULE FOR TREE LISTING.



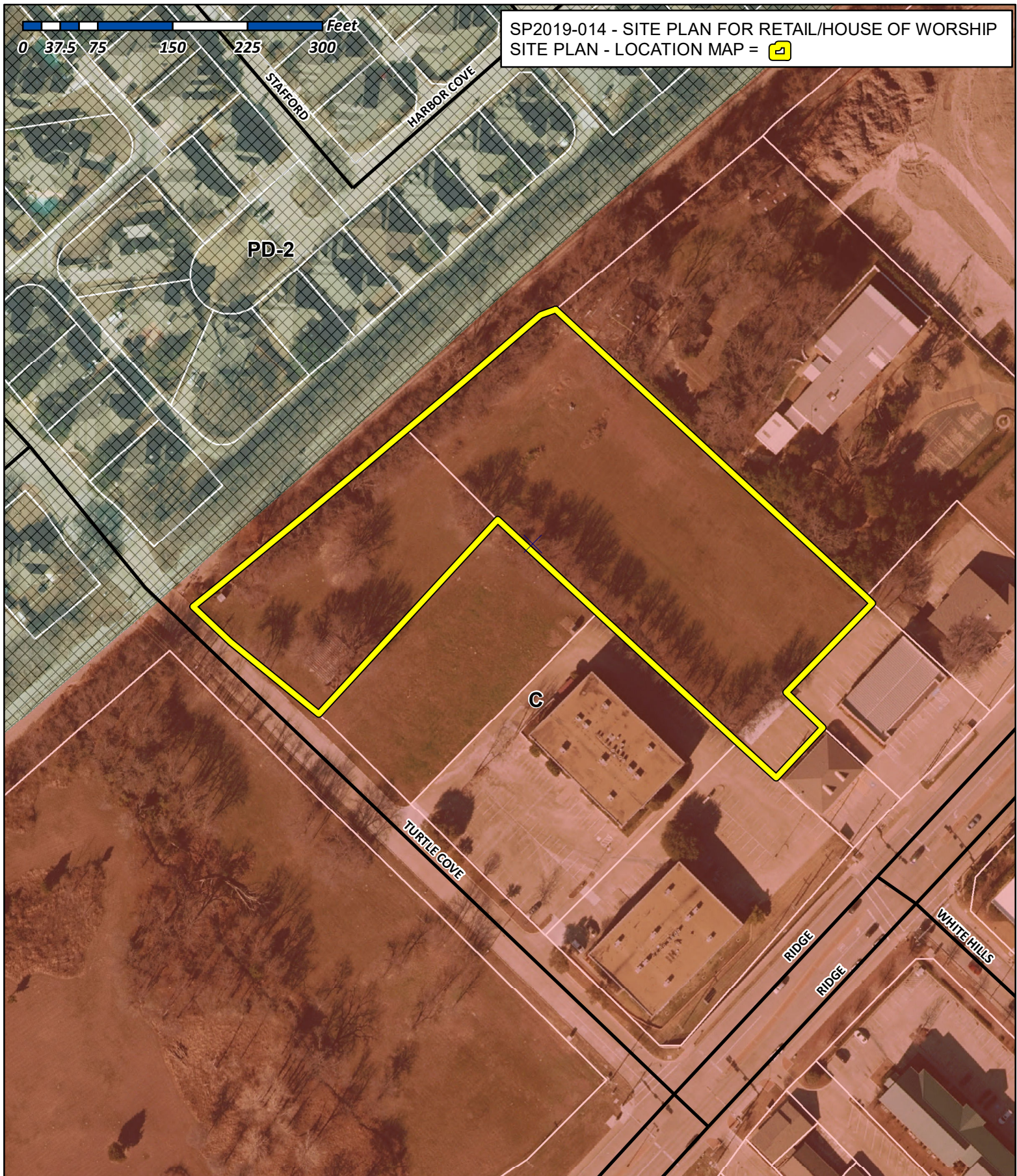
**plant schedule**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
3	Texan Red Oak	Quercus shumardii "Texana"	3\"/>	3\"/>
3	Lacebark Elm	Ulmus parvifolia	3\"/>	3\"/>
4	Live Oak	Quercus virginiana	3\"/>	3\"/>
<b>SHRUBS</b>				
6	NRS. Holly	Ilex x.Nelle R.Stevens	7 gal.	full pot, well rooted. 4\"/>
24	Abelia	Abelia grandiflora	5 gal. 30\"/>	full pot, well rooted; 36\"/>
13	Dwarf Burford Holly	Ilex cornuta burfordi "Nana"	5 gal. 24\"/>	full pot, well rooted. 36\"/>
<b>GROUNDCOVERS, &amp; LAWN</b>				
	Bermudagrass	Cynodon dactylon		Hydromulched

Hydromulch  
not accepted  
for acceptance  
and final CO.







## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

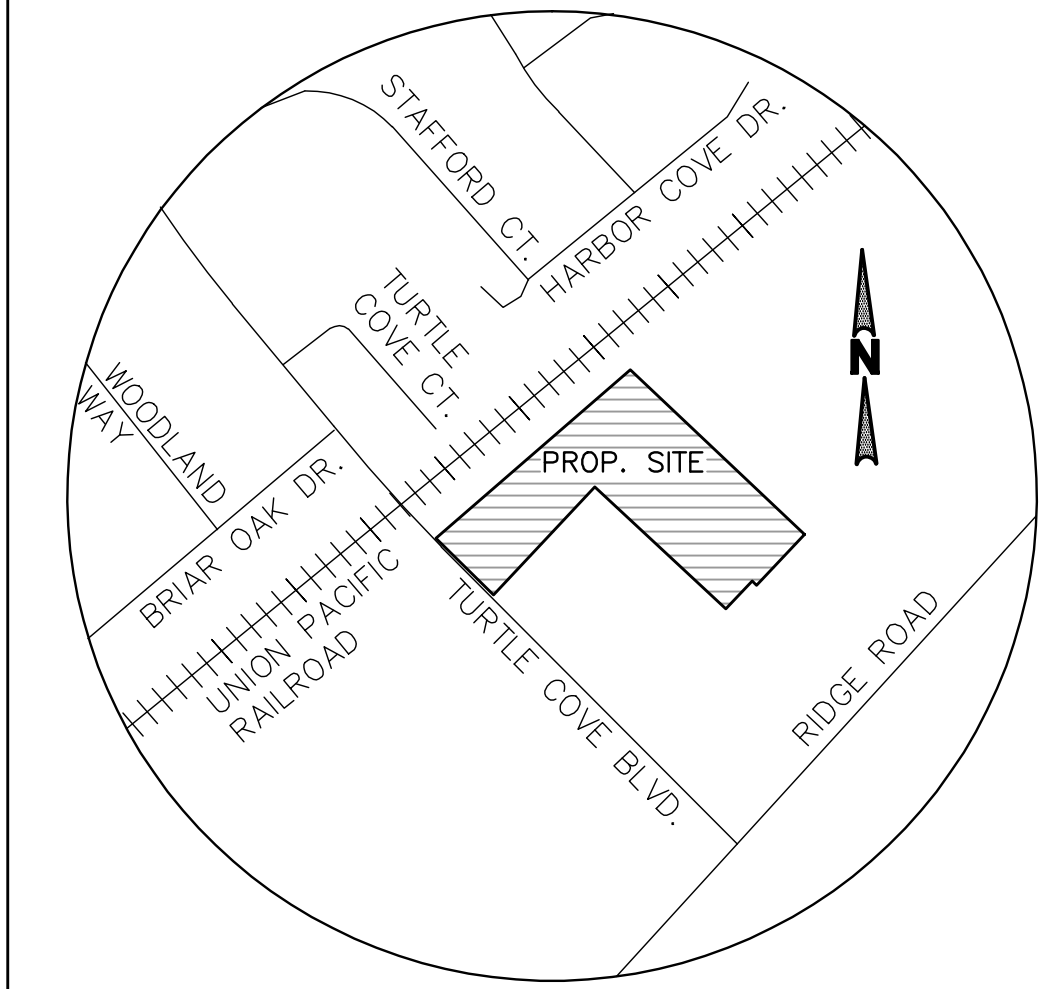
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND		
TC	EXISTING TOP OF CURB	→ GW
TSW	EXISTING TOP OF SIDEWALK	✱ STS
GT	EXISTING GUTTER	☐ TSB
TEP	EXISTING TELEPHONE PEDESTAL	
BL	EXISTING BOLLARD	
INLET	EXISTING CURB INLET	
PP	EXISTING POWER POLE	
WV	EXISTING WATER VALVE	
LP	EXISTING LIGHT POST	
GM	EXISTING GAS METER	
	EXISTING FIRE HYDRANT	
TMH	EXISTING TELEPHONE MANHOLE	
SSMH	EXISTING SANITARY SEWER MANHOLE	
	PROPOSED STREET LIGHT	
FH	PROPOSED FIRE HYDRANT	

DUMPSTER NOTE:  
DUMPSTER TO BE SCREENED BY SIX-FOOT MASONRY WALL  
TO MATCH BUILDING WITH SIX-FOOT SOLID METAL GATE  
PER CITY DETAILS.



VICINITY MAP  
N.T.S

### SITE DATA SUMMARY TABLE

ITEM	
GENERAL SITE DATA	
ZONING (from zoning map)	COMMERCIAL (C)
LAND USE (from zoning ordinance)	RETAIL
LOT AREA (square feet & acres)	119,184 SF ± (2.74 AC±)
PROP. BUILDING FOOT PRINT AREAS	4,600 S.F.
BUILDING HEIGHT (#Stores)	ONE-STORY (Max. Height: 29'-8")
LOT COVERAGE	8.25%
FLOOR AREA RATIO	0.0388:1
PARKING REQUIRED	61 SPACES
PARKING PROVIDED	61 SPACES
ACCESSIBLE PARKING REQUIRED (# spaces)	3 SPACES
ACCESSIBLE PARKING PROVIDED (# spaces)	3 SPACES

OWNER  
Centers for Peace & Mercy, Inc.  
Contact: Abdul Latif Khan (President)  
4152 Green Field Drive  
Richardson, TX 75082  
PH. 318-617-3491

SURVEYOR  
CBG SURVEYING, LLC  
Contact: Bryan Conally  
12025 Shiloh Road, Suite 230  
Dallas, Texas 75228  
PH: 214 349 9485

CIVIL ENGINEER  
ND & ASSOCIATES, LLC  
Contact: Naim Khan, P.E. CFM  
2105 Canyon Creek Dr.  
Garland, Texas 75042  
PH: 214 533 7181  
E-MAIL: naim1207@yahoo.com

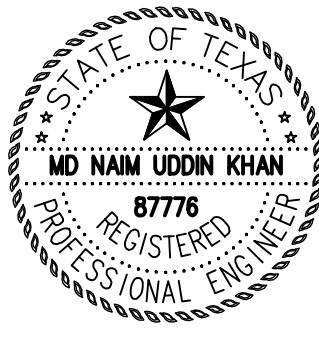
ARCHITECT  
amazing concept  
Contact: Ahmed Helaluzzaman  
12300 Ford Road, Suite 267  
Dallas, Texas 75234  
PH. 817 808 0811  
E-MAIL: akm.hellaluzzaman@gmail.com

LANDSCAPE ARCHITECT  
ARODS LANDSCAPE  
Contact: Mohammad Salam  
5901 Indian Hills Drive  
GARLAND, TX 75044  
PH. 214-403-2034

LINE	BEARING	DISTANCE
L1	S 43°15'39" W	125.17'
L2	N 46°48'20" W	10.90'
L3	S 43°28'08" W	68.31'

### WATER METER SCHEDULE

I.D	TYPE	SIZE	NO.	SAN SEWER	REMARKS
1	DOMESTIC	1.5"	1	6"	PROPOSED
2	IRRIGATION	1.0"	1	N/A	PROPOSED



Md. Naim Uddin Khan  
ENGINEER NO. 87776. THESE PLANS WERE  
PREPARED UNDER THE RESPONSIBLE SUPERVISION  
OF MD. NAIM UDDIN KHAN REGISTERED  
PROFESSIONAL ENGINEER  
THE SEAL APPEARING ON THIS DOCUMENT WAS  
AUTHORIZED BY MD. NAIM UDDIN KHAN P.E.  
#87776

### SITE PLAN SP 2019-

CENTERS FOR PEACE & MERCY, INC.  
LOT 1, BLOK A  
E.P. GAINES CHISUM SURVEY ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
119,184 SF/2.74 ACRES

**ND & Associates, LLC**  
2105 Canyon Creek Drive  
Garland, Texas 75042  
Contact: Naim Khan, P.E., CFM  
PH: (214) 533 7181  
EMAIL: naim1207@yahoo.com  
FIRM # F - 13340

Scale: 1"=30'

Date : 4/5/2019

Design : ND

Draft : ND

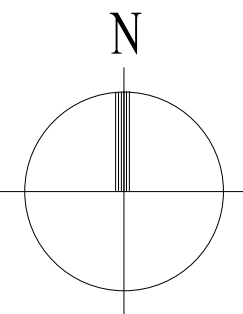
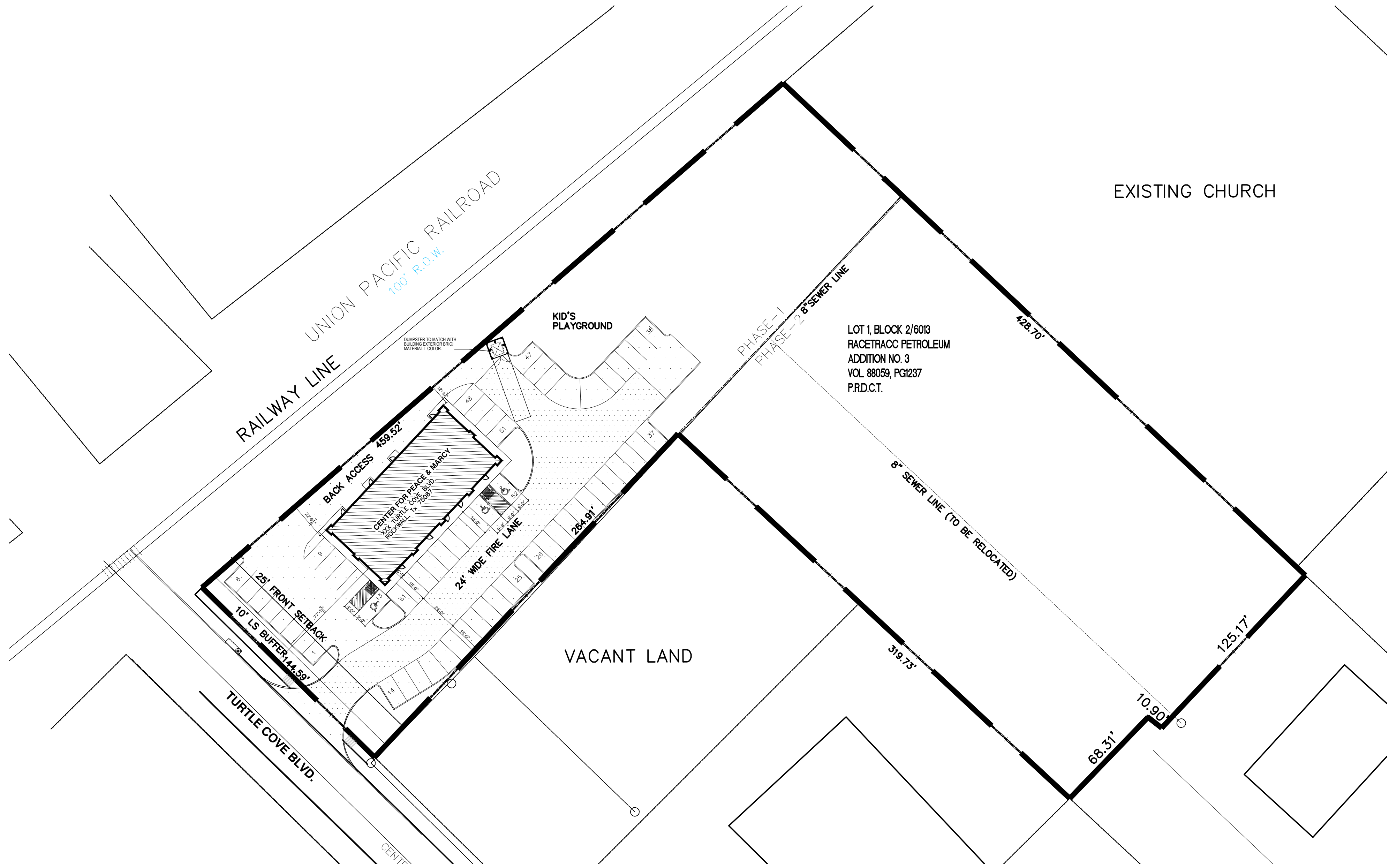
Checked : ND

PROJECT NO :  
ROCK2019-725

SITE PLAN

C-1





01 SITE PLAN

SCALE: 1"=40'-0"

PROJECT DATA	
DESCRIPTION	
LOT AREA TOTAL	2.74 AC. (119,184 SF.)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,600 SF.
COVERED AREA PHASE-1	8.25%
FLOOR AREA RATIO	0.0386:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
PARKING REQUIRED	51 SPACES INCLUDING 3 ADA
PARKING PROVIDED	61 SPACES INCLUDING 3 ADA

OWNER:  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

PROJECT:  
RETAIL BUILDING  
PHASE-1  
XXX Turtle Cove Boulevard, Rockwall, Tx 75087

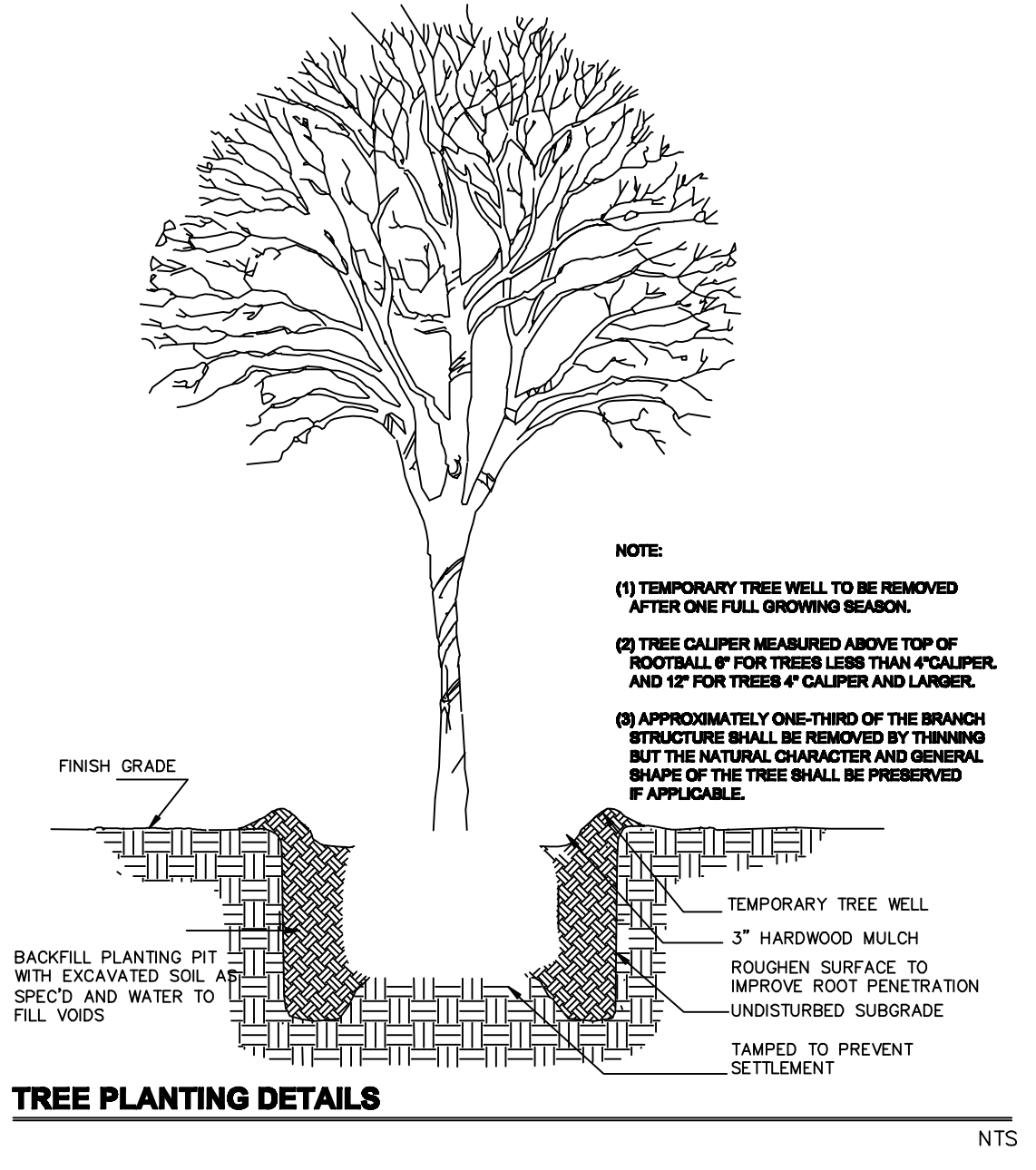
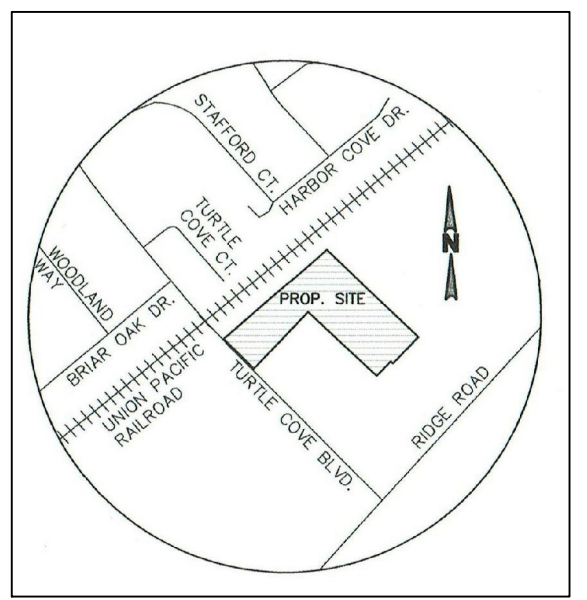
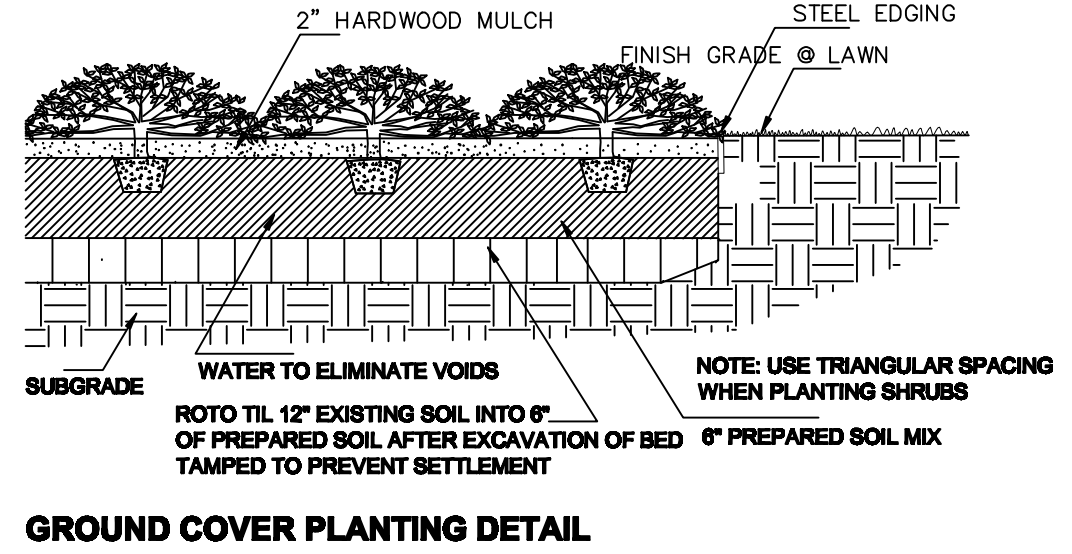
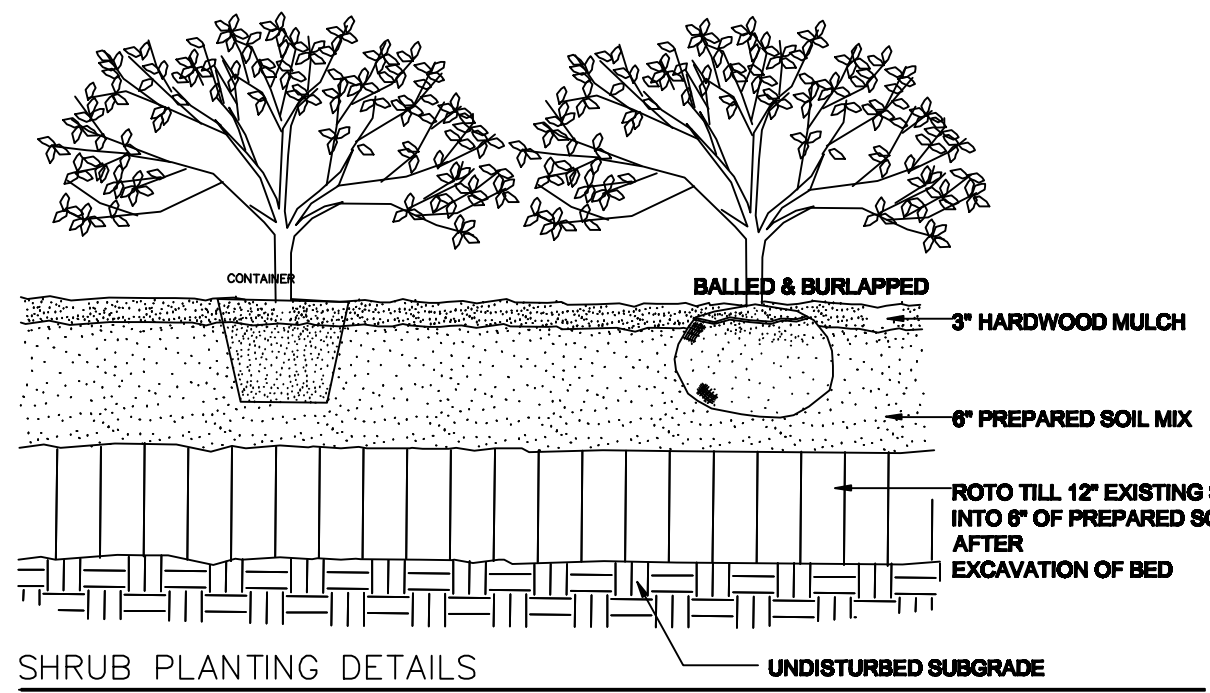
REVISIONS:

amazing concept  
residential & commercial projects  
545 Coventry Drive, Grapevine, Tx 76051  
Tel: (817) 808 0811  
E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:  
SITE PLAN

DATE: 04.09.2019	SCALE: AS SHOWN
DRAWN:	DESIGNER: A. HELALUZZAMAN
PROJECT # H-2019-02	
SHEET NO: A101	





**PLANTING NOTES**

1. USE 1/4\"/>
2. USE 4\"/>
3. ALL THE LAWN AREAS TO BE HYDROMULCHED BERMUDA GRASS. REPLACE ALL THE DAMAGED EXISTING LAWN AREAS AS NEEDED.
4. TOP DRESS ALL THE PLANTING BED AREAS WITH 2\"/>
5. THE SITE WILL BE IRRIGATED WITH BELLOW GRADE AUTOMATIC IRRIGATION SYSTEM WITH FREEZE SENSOR, THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR PARTICULAR TYPE OF PLANT MATERIAL USED.

**landscape area**

SITE AREA : 85,700 SF. (1.278 AC.)

LANDSCAPE AREA REQUIRED : 15 % (8,355 SF.)  
PROVIDED : 43.5 % (24,240 SF.)

BLDG. AREA : 4,800 SF.

TOTAL NUMBER OF PARKING SPACES REQUIRED : 23.  
SPACES PROVIDED : 82.

**planting requirement**

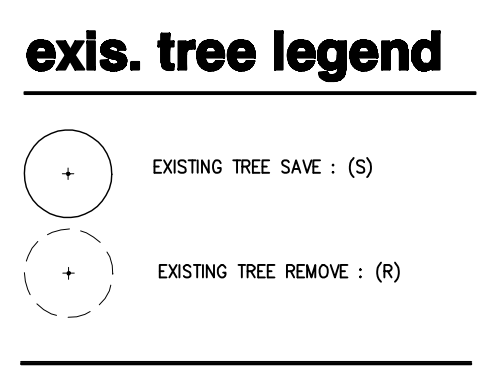
TURTLE COVE BLVD. LANDSCAPE BUFFER 144.59 LF.  
SHADE TREES REQUIRED : 3 (3\"/>

SURFACE PARKING LOT LANDSCAPING 82 ( SPACES )  
SHADE TREES PROVIDED : 8 (3\"/>

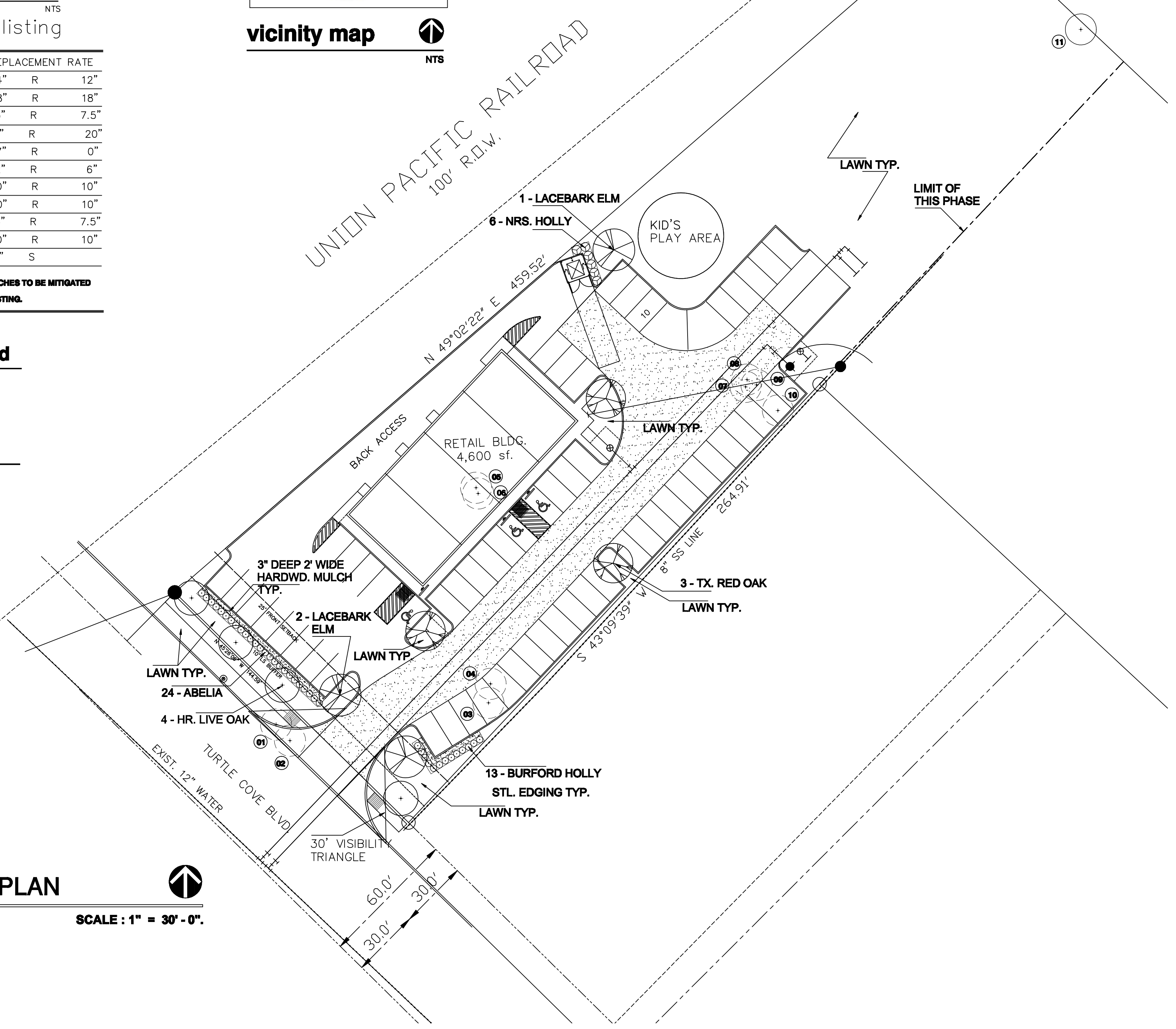
SCREENING SHRUBS PROVIDED ALONG THE STREET FRONTAGE.

existing tree listing			
TREE LIST		REPLACEMENT RATE	
01	HACKBERRY	24"	R 12"
02	ELM	18"	R 18"
03	HACKBERRY	15"	R 7.5"
04	OAK	20"	R 20"
05	HACKBERRY	7"	R 0"
06	HACKBERRY	12"	R 6"
07	HACKBERRY	20"	R 10"
08	ELM	10"	R 10"
09	HACKBERRY	15"	R 7.5"
10	HACKBERRY	20"	R 10"
11	OAK	36"	S

R = REMOVE, S=SAVE 101.0 CALINCHES TO BE MITIGATED  
REF. PLANT SCHEDULE FOR TREE LISTING.



plant schedule				
QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
3	Texae Red Oak	Quercus shumardii "Texana"	3" Caliper	10-12" ht., 6-7" sp., straight trunk, full, matching
3	Lacebark Elm	Ulmus pervilifolia	3" Caliper	10-12" ht., 5-6" sp., full, matching
4	Live Oak	Quercus virginiana	3" Caliper	10-12" ht., 5-6" sp., full, matching
<b>SHRUBS</b>				
6	NRS. Holly	Ilex x.Nellie R.Stevens	7 gal.	full pot, well rooted. 4' O.C.
24	Abelia	Abelia grandiflora	5 gal.	30"-34" ht., 18-24" sp., full pot, well rooted; 36" O.C.
13	Dwf. Burford Holly	Ilex cornuta burfordi "Nana"	5 gal.	24"-28" ht., 18-24" sp., full pot, well rooted. 36" O.C.
<b>GROUNDCOVERS, &amp; LAWN</b>				
	Bermudagrass	Cynodon dactylon		Hydromulched



CONSULTANT:

**aroids**

landscape architects

6901 Indian Hills drive, Garland, Texas, 75044

Telephone / 214.403.5034

meemad77@gmail.com

STATE OF TEXAS

MOHAMMAD A. SALAMAH

04.15.2019

OWNER:

CENTER FOR PEACE AND MERCY, INC.

PHONE: 318-617-3491

EMAIL: Peacemercyinc@gmail.com

PROJECT:

CPM MASJID ( PHASE ONE )

XXX Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:


amazing concept

residential & commercial projects

545 Coventry Drive, Grapevine, Tx 76051

Tel. (817) 808 0811

E-mail: akm.helaluzzaman@gmail.com

SHEET TITLE:

LANDSCAPE PLAN

DATE:	SCALE:
02.15.2019	AS SHOWN
DRAWN:	DESIGNER:
	A. HELALUZZAMAN

PROJECT #

**H-2019-02**

SHEET NO:

**LP.01**





DARK BRONZE FRAMES, PARAPER CAP & CANOPY

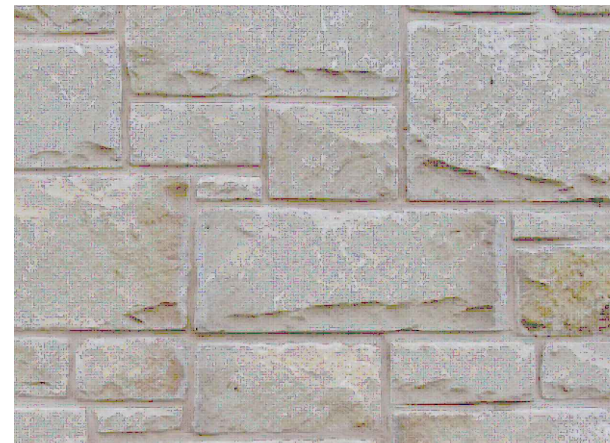


CHERISH CREAM SW6651 OR EQUAL

SMOOTH EIFS FINISH  
EXTERIOR CHERISH CREAM SW6651



BORAL KINGSIZE MERIDIAN NEW-FREEDOM OR EQUAL



AUSTIN LIME STONE OR EQUAL

PRE-FINISHED METAL CAP  
DARK BRONZE COLOR

±16'-8"  
TOP OF PARAPET WALL

±14'-0"  
BOT OF DECK

BRICKS KING SIZE  
BORAL / MERIDIAN NEW-FREEDOM

±10'-0"  
WINDOW HEAD

NOTE:

BRICK: 66% 379 SF.  
STONE: 25% 141 SF.  
EIFS: 9% 53 SF.

±0'-0"  
FINISH FLOOR ELEV.

AUSTIN LIME STONE

DARK BRONZE STOREFRONT DOOR & WINDOW FRAMING

## 2 ROAD SIDE ELEVATION

SCALE: 1/4" = 1'-0"

19'-4"  
20'-1"

PRE-FINISHED METAL CAP  
DARK BRONZE COLOR

±16'-8"  
TOP OF PARAPET WALL

±14'-0"  
BOT OF DECK

BRICKS KING SIZE  
BORAL / MERIDIAN NEW-FREEDOM

±10'-0"  
WINDOW HEAD

NOTE:

BRICK: 58% 555 SF.  
STONE: 31% 295 SF.  
EIFS: 11% 105 SF.

±0'-0"  
FINISH FLOOR ELEV.

SMOOTH EIFS FINISH  
EXTERIOR CHERISH CREAM SW6651

BRICKS KING SIZE  
BORAL / MERIDIAN NEW-FREEDOM

PRE-FINISHED METAL CAP  
DARK BRONZE COLOR

PRE-FINISHED METAL CAP  
DARK BRONZE COLOR

AUSTIN LIME STONE

DARK BRONZE STOREFRONT DOOR & WINDOW FRAMING

LOW-E WITH TINTED INSULATED GLASS

## 1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

OWNER:  
CENTER FOR PEACE AND MERCY, INC.

PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

PROJECT:  
RETAIL BUILDING  
PHASE-1  
XXX Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

amazing concept  
residential & commercial projects  
545 Coventry Drive, Grapevine, Tx 76051  
Tel: (817) 808 0811  
E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:

EXTERIOR ELEVATIONS

DATE:

04.09.2019

DRAWN:

PROJECT #

H-2019-02

SHEET NO:

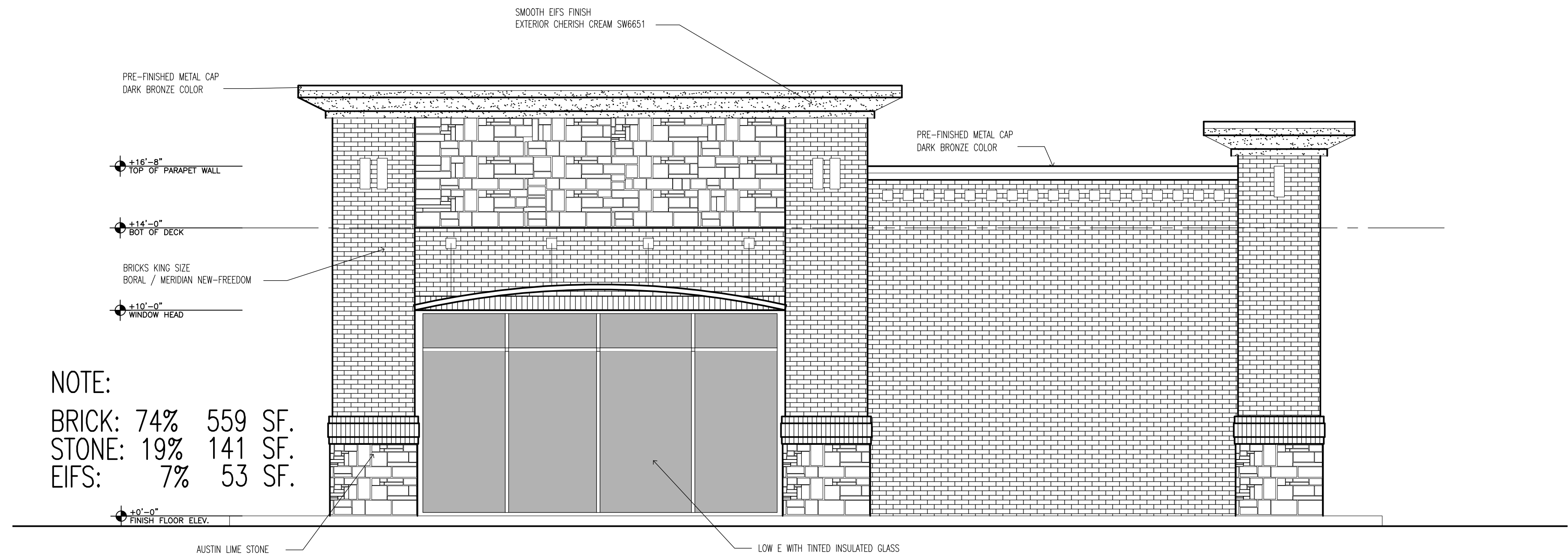
A501

SCALE:

AS SHOWN

DESIGNER:

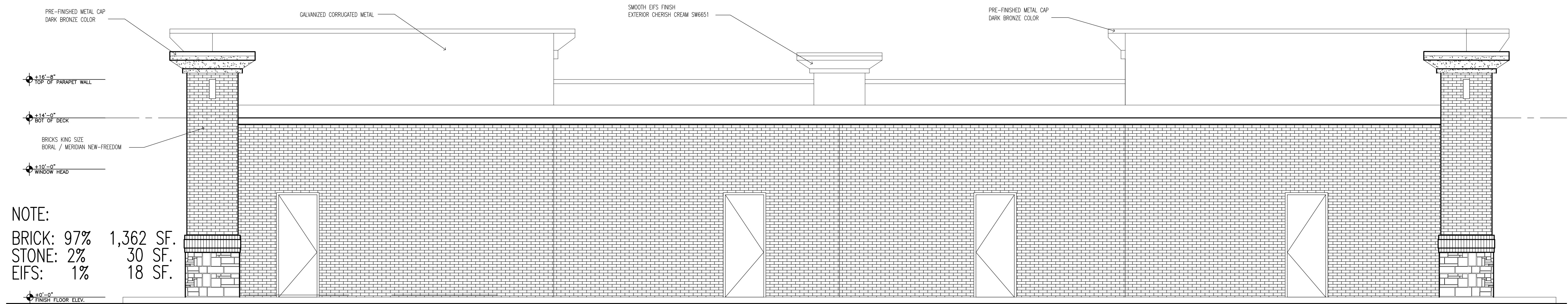
A. HELALUZZAMAN



NOTE:  
BRICK: 74% 559 SF.  
STONE: 19% 141 SF.  
EIFS: 7% 53 SF.

## 2 ROAD SIDE ELEVATION

SCALE: 1/4" = 1'-0"



NOTE:  
BRICK: 97% 1,362 SF.  
STONE: 2% 30 SF.  
EIFS: 1% 18 SF.

## 1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

OWNER:  
CENTER FOR PEACE AND MERCY, INC.

PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

PROJECT:  
RETAIL BUILDING  
PHASE-1

XXX Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

**amazing concept**  
residential & commercial projects  
545 Coventry Drive, Grapevine, Tx 76051  
Tel: (817) 808 0811  
E-mail: okm.heloluzzaman@gmail.com

SHEET TITLE:

EXTERIOR ELEVATIONS

DATE:  
04.09.2019

SCALE:  
AS SHOWN

DRAWN:

DESIGNER:

A. HELALUZZAMAN

PROJECT #

**H-2019-02**

SHEET NO:

A502

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	SP2019-016	<b>Owner</b>	JERRY, KISICK CUSTOM HOMES INC	<b>Applied</b>	5/17/2019	LM
<b>Project Name</b>	196/216 Ranch Trail	<b>Applicant</b>	DUB DOUPHRATE	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>				<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
200/224 RANCH TRL	ROCKWALL, TX 75032	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
MAVERICK RANCH	5	A	5	4374-000A-0005-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/17/2019	5/24/2019	5/21/2019	4	APPROVED	
ENGINEERING	Sarah Hager	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	
<p>(5/23/2019 4:50 PM SH)</p> <ul style="list-style-type: none"> <li>- Must have individual water services.</li> <li>- Sewer to be 8" unless it is a private line.</li> <li>- Water to have 10' of clearance on both sides.</li> <li>- Fire hydrant to have a 20' easement.</li> <li>- Drive isle to be 24' wide minimum.</li> </ul> <p>The following is for your information during engineering review.</p> <ul style="list-style-type: none"> <li>- 4% Engineering Fees.</li> <li>- Impact fees.</li> <li>- All parking to be 20'x9'</li> <li>- Must show all existing and proposed utilities.</li> <li>- If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'.</li> <li>- Must have detention for new impervious surfaces.</li> <li>- Must have water at sheet flow conditions before the property line or will need a drainage easement for the neighboring property owner.</li> <li>- Must replat to add the additional easements.</li> <li>- Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls.</li> <li>- Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line.</li> <li>- Water line to be 8" line where public.</li> <li>- Must have individual water services.</li> <li>- 4:1 slope maximum for grading.</li> <li>- Must meet all City Standards of Design and Construction.</li> </ul>							



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE (5/23/2019 1:38 PM AA) Show location of proposed fire lane on the site plan.  An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.	Ariana Hargrove	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	see comments
GIS (5/22/2019 9:58 AM LS) New addresses will be: 4160 sf - 200 RANCH TRAIL, ROCKWALL, TX 75032 3060 sf - 224 RANCH TRAIL, ROCKWALL, TX 75032	Lance Singleton	5/17/2019	5/24/2019	5/22/2019	5	APPROVED	See comments
PLANNING	David Gonzales	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two(2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 &amp; 216 Ranch Road, and take any action necessary.</p> <p>PLANNING AND ZONING 1ST ROUND COMMENTS (05.23.2019):</p> <p>The following staff comments (i.e. Phase 1 only) are to be addressed and resubmitted no later than Tuesday June4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>** Planning Department General Comments &amp; Requirements to address/acknowledge:</p> <ol style="list-style-type: none"> <li>1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required</li> <li>2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy(CO).</li> <li>3. Label all revised site plan documents with "Case No. SP2019-016" at the lower right corner of each plan.</li> </ol> <p>EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:</p> <ol style="list-style-type: none"> <li>1. Horizontal articulation standards of the UDC for facades</li> <li>2. Minimum 20% stone requirement for all facades that are visible from a public street or open space</li> <li>3. For the use of metal building construction (materials expcetion).</li> </ol> <p>** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> <li>1. Provide adjacent property owner infomation on Overall Site Plan(aerial version).</li> <li>2. Label all access easements as "24-ft Firelane, Public Access, Drainage and Utility Easements (as appropriate for each).</li> <li>3. Provide a heavier line for the utility label and reduce the font. Move labels to be more visible.</li> <li>4. Use alighter gray scale for the utility lines layer(water &amp; sewer).</li> <li>5. All ground mounted HVAC units must be screened with landscaping or wing-wall.</li> <li>6. What are the proposed uses for these buildings? (i.e. this is a commercial district).</li> <li>7. Delineate and label a minimum 10-ft. landscape buffer along Ranch Trail</li> <li>8. Remove the label "Replat of" from the Title Block on all pages of this site plan.</li> </ol> <p>Landscape Plan:</p> <ol style="list-style-type: none"> <li>1. Provide a landscape plan meeting the requirements of the UDC.</li> <li>2. One (1)-three (3)-caliper inch canopy tree required for each 750 SF of dry area in the detention pond.</li> <li>3. One (1)-three (3)-caliper inch canopy tree required for each 50 linear feet of frontage along Ranch Trail</li> <li>4. Parking spaces cannot be more than 80-ft from the trunk of a large canopy tree.</li> <li>5. Indicate screening of HVAC units on this plan</li> </ol> <p>Photometric Plan:</p> <ol style="list-style-type: none"> <li>1. Will there be any exterior lighting of the site, other than the wall packs as depicted on the building elevations(i.e pole lights)? If so, provide a photometric plan.</li> </ol>						



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
2. Provide cut sheets for all exterior lighting fixtures 3. If a photometric plan is provided, lighting levels are not to exceed 0.2-FC at the property lines.						
Building Elevations:						
1. All gounded mounted mechanical equipment requires screening from rights-of-way and adjacent properties. Provide detail of screening to be used.						
2. Requires a recommendation from the Architectural Review Board(ARB). See scheduled meeting below.						
3. Provide a materials sample board for ARB review of the actual materials to be used(other than tilt-up wall).						
4. Provide percentages of exterior material calculations for each elevation(e.g. stone, brick, metal surface, etc.).						
5. Will there be any stone on the building? The UDC requires a minium of 20% stone on each elevation that is visible from a public street or open space. If there is no stone, this will require approval of an exception by the Planning and Zoning Commission						
6. Are the elevations for the proposed buildings or all?						
7. Provide height and width measurements of the proposed buildings.						
** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.						
Meeting Dates to Attend						
Architectural Review Board: May 28, 2019 (5:00 p.m.) [Recommendations from ARB]						
Planning - Work Session: May 28, 2019 (6:00p.m.) [Applicant to present/discuss project]						
Architectural Review Board: June 11, 2019 (5:00 p.m.) [Subsequent meeting if necessary]						
Planning - Action: June 11, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
** IF REQUIRED -- City Council - Action: Monday, June 17, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **						
Police Department	David Gonzales	5/23/2019	5/30/2019	5/23/2019	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(5/23/2019 5:48 PM DG)						
Comments provided by Capt. Ed Fowler - Police						
SP2019-016 - 196/216 RANCH TRAIL						
Considerations:						
<ul style="list-style-type: none"> <li>Lighting placed upon all sides of the exterior the buildings, over doors and at the rear of property to illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred.</li> <li>Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing</li> <li>Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area.</li> <li>Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.)</li> <li>Consider installation of device to prevent breaching of overhead door with vehicle(push or pull). Locking/Removal Bollards, Vehicle Placed in Front of Door, within specifications of City Code and Ordinance and Fire Code.</li> <li>Consider target hardening with industrial standard or greater locking devices for all doors</li> <li>Cameras on corners of building, doors equipped with alarms and interior proximity alarms on the interior.</li> <li>Ensure trees and bushes are trimmed within acceptable standards(Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement, ownership and enhance natural lines of sight at night.</li> <li>More than willing to speak with owner(s) directly to assist in site planning to prevent crime</li> </ul>						



0 20 40  
SCALE IN FEET

LOT 2  
RAINBO ACRES  
CAB. A. SL. 20  
P.R.R.C.T.

LOT 4

LOT 6

Must have individual water services.

Sewer to be 8" unless it is private.

Must have a 20' easement around fire hydrant.

Drive isle to be 24' wide minimum.

Paving radius to be 20'. Water line must have 10' clearance on each side.

- 4% Engineering Fees.
- Impact fees.
- All parking to be 20'x9'
- Must show all existing and proposed utilities.
- If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'.
- Must have detention for new impervious surfaces.
- Must have water at sheet flow conditions before the property line or will need a drainage easement for the neighboring property owner.
- Must replat to add the additional easements.
- Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls.
- Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line.
- Water line to be 8" line where public.
- Must have individual water services.
- 4:1 slope maximum for grading.
- Must meet all City Standards of Design and Construction.



LOCATION MAP  
1/2"

#### SITE DATA SUMMARY

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1,550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	58 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE
INTERIOR LANDSCAPING PROVIDED	(10,124 SQ. FT.)
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	31,800 SQ. FT.
	35,602 SQ. FT.

SITE NOTES:  
1. PARKING SPACES ARE 9'x20'

TAX ROLL DESCRIPTION:  
ABSTRACT 0080 - WILLIAM M. FORD SURVEY  
TRACT 61844, ACRES 1.550

1,550 AC.  
67,502 SQ. FT.

OWNER  
ROBERT & PAMELA HAWLEY  
1716 BISON MEADOW LANE  
HEATH, TEXAS 75032  
XXXXXXXXXX

SURVEYOR  
FINCHER LAND SURVEYING, PLLC  
3213 INTERSTATE HIGHWAY 30, #107  
MEAGUIRE, TEXAS 75150  
(803)-944-6397  
Texas Firm No. 10194258




THE SEAL APPEARING ON THIS DOCUMENT HAS BEEN AUTHORIZED BY THE STATE OF TEXAS, P.L. NO. 80,000, F-286, ON JANUARY 18, 2018.

DOUPHRE & ASSOCIATES, INC.  
SURVEYOR & PROJECT MEASUREMENT  
2225 RIDGE RD., # 500 ROCKWALL, TEXAS 75087  
PHONE: (972) 771-9004 FAX: (972) 771-9005

SITE PLAN  
LOT 5, BLOCK A  
REPLAT OF MAVERICK RANCH ADDITION  
CITY ROCKWALL  
ROCKWALL COUNTY, TEXAS

REVISION  
W.L.D.  
CHECKED  
QCM  
DRAWN  
SCALE  
1" = 20'  
1" = 24'  
DATE  
MAR 28, 2019  
PROJECT  
14026  
10  
100% SITE PLAN



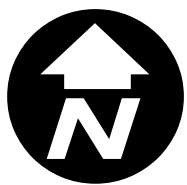
SP2019-016 - 196/216 RANCH TRAIL  
SITE PLAN - LOCATION MAP = 



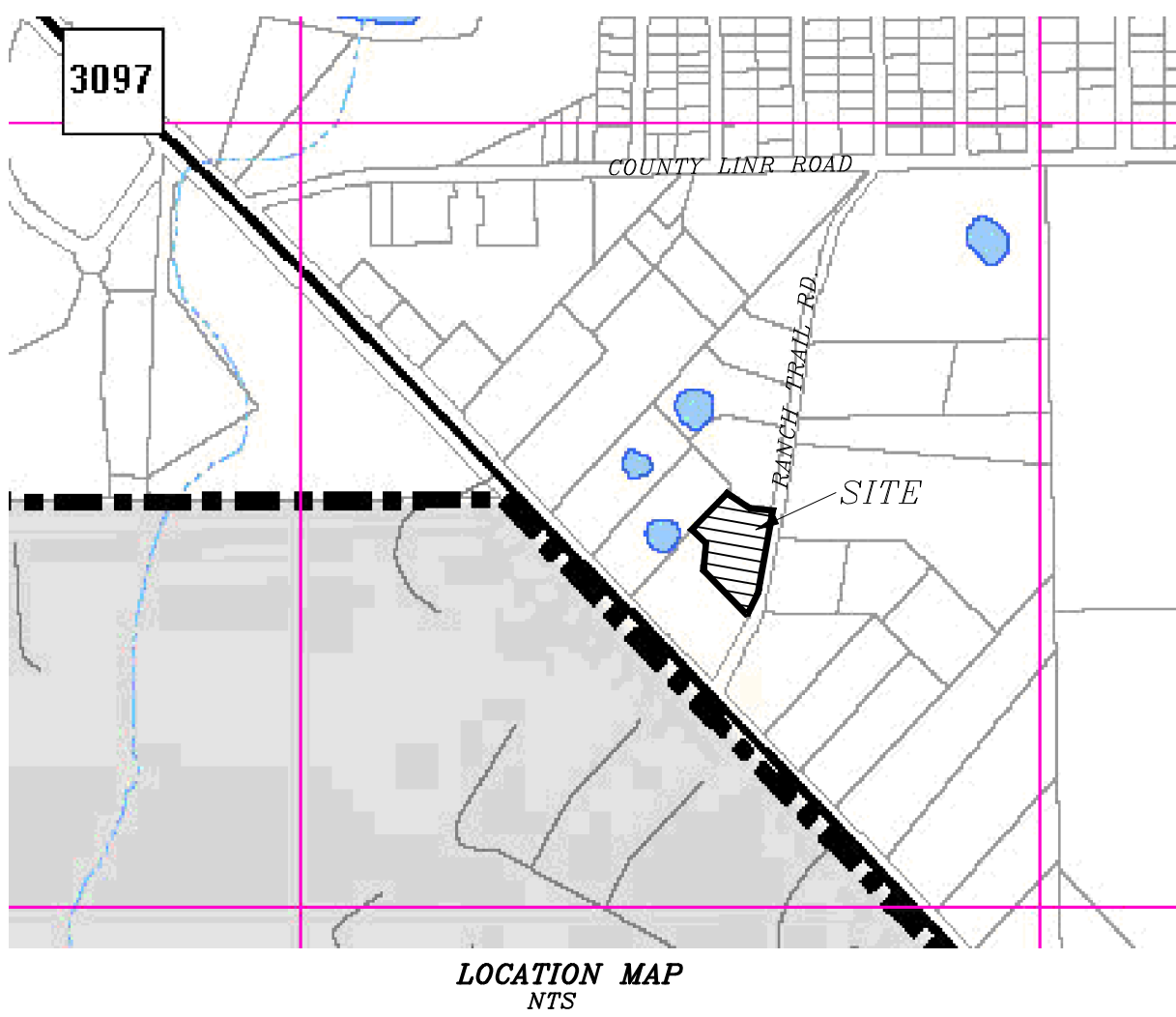
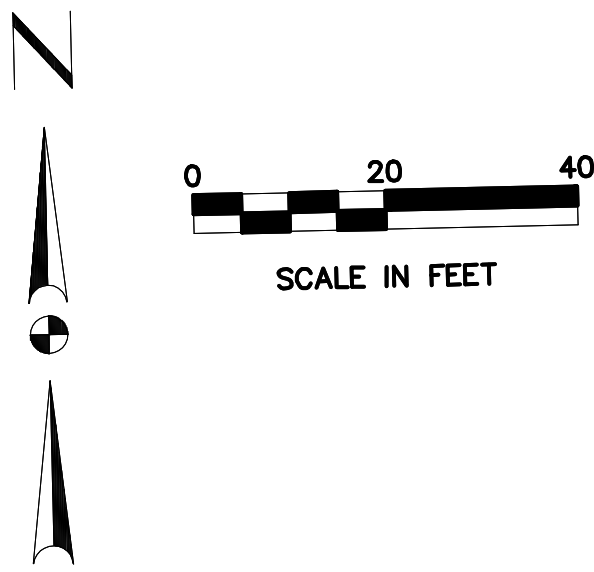
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



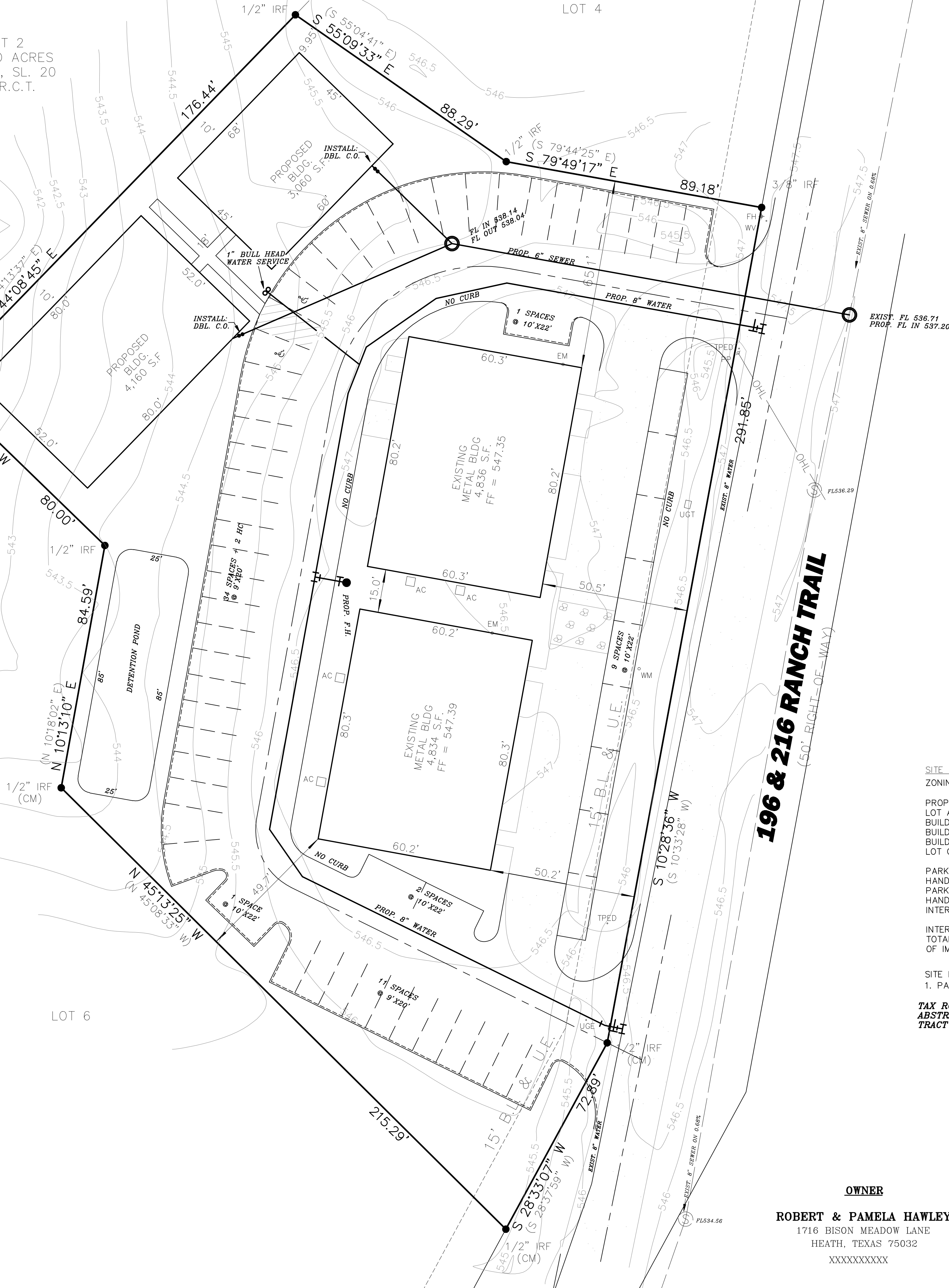




LOT 2  
RAINBO ACRES  
CAB. A, SL. 20  
P.R.R.C.T.

LOT 6

LOT 4



SITE DATA SUMMARY

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	58 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (10,124 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

SITE NOTES:  
1. PARKING SPACES ARE 9'X20'

**TAX ROLL DESCRIPTION:**  
**ABSTRACT 0080 - WILLIAM M. FORD SURVEY**  
**TRACT 81844, ACRES 1.550**

<b>OWNER</b>	<b>SURVEYOR</b>
ROBERT & PAMELA HAWLEY	FINCHER LAND SURVEYING, PLLC
1716 BISON MEADOW LANE	3213 INTERSTATE HIGHWAY 30, #107
HEATH, TEXAS 75032	MEAQUITE, TEXAS 75150
XXXXXXXXXX	(903)-944-6397
	Texas Firm No. 10194258

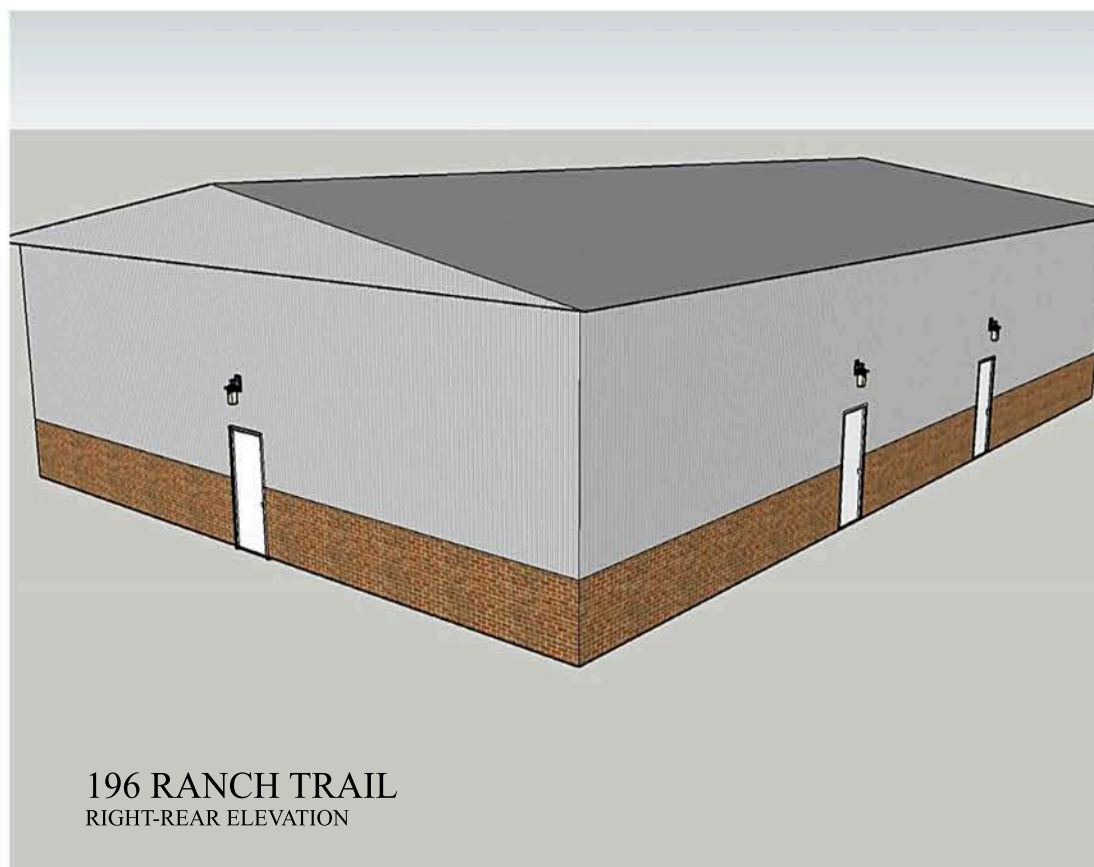
**SITE PLAN**  
**LOT 5, BLOCK A**  
**REPLAT OF MAVERICK RANCH ADDITION**  
**CITY ROCKWALL**  
**ROCKWALL COUNTY, TEXAS**

REVISION	W.L.D.
CHECKED	
DRAWN	GCW.
SCALE	1" = 20'H 1" = 4'V
DATE	MAR. 28, 2019
PROJECT	14026

**DOUPHRATE & ASSOCIATES, INC.**  
ENGINEERING • PROJECT MANAGEMENT • SURVEYING  
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
PHONE: (972)771-9004 FAX: (972)771-9005







RAMSAY & REYES  
MAY 16, 2019

5/24/2019

**City of Rockwall**  
**Project Plan Review History**



<b>Project Number</b>	SP2019-017	<b>Owner</b>	STAGLIANO, VINCENT J	<b>Applied</b>	5/17/2019	LM
<b>Project Name</b>	Animal Boarding/kennel without outside	<b>Applicant</b>	HOMEYER ENGINEERING INC.	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>				<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		
<b>Site Address</b>		<b>City, State Zip</b>				
1920 ALPHA DR		ROCKWALL, TX 75087		<b>Zoning</b>		
<b>Subdivision</b>		<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
ELLIS CENTRE 2			A		3585-000A-0004-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/17/2019	5/24/2019	5/21/2019	4	APPROVED	
ENGINEERING	Sarah Hager	5/17/2019	5/24/2019	5/24/2019	7	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
<p>(5/24/2019 1:53 PM SH)</p> <p>Landscape Plans</p> <ul style="list-style-type: none"> <li>- No trees within 5' of utilities.</li> <li>- The back side of the lot has a bunch of overhead electric. The trees you show will be effected by this</li> <li>- All ROW to be sodded before acceptance or final CO. Hydromulch not allowed.</li> <li>- All disturbed areas to have established 1" stand of grass on 75-80% of the site. no patchy areas. Weeds and winter rye does not count.</li> </ul> <p>Site Plan</p> <ul style="list-style-type: none"> <li>- Must have a 15' x 64' turnaround area for the cars.</li> <li>- Where is the sewer service connection?</li> <li>- Is this fire lane needed for fire coverage?</li> <li>- Fire hydrant to have 5' of clearance to the curb. Fire line must have 10' clearance to all other lines.</li> <li>- Must prove the storm system can hold</li> <li>- Minimum 1.0% slope for flumes.</li> <li>- Sidewalk pavement to be 3000psi (5.5 sack mix)</li> <li>- All other paving to be at least 3600psi (6.5 sack Mix).</li> </ul> <p>The following items are for your information for engineering design</p> <ul style="list-style-type: none"> <li>- 4% Engineering Inspection Fees</li> <li>- Impact Fees for additional water taps</li> <li>- Walls 3' and over must be engineered.</li> <li>- All retaining walls must be rock or stone face No smooth concrete walls.</li> <li>- Detention is required. Manning's C-value will be from 0.35 to 0.9 per zoning.</li> <li>- No utilities allowed in detention easement</li> <li>- Add note that the property owner will be responsible for maintaining repair, and replacement of the detention/drainage systems</li> <li>- Minimum utility easement width is 20'</li> <li>- All parking to be 20'x9'</li> <li>- All drive aisles to be a minimum of 24' wide</li> <li>- No structures in easements</li> <li>- Max slope is 4:1</li> <li>- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines</li> <li>- Must meet all engineering standards</li> </ul>							
FIRE	Ariana Hargrove	5/17/2019	5/24/2019	5/23/2019	6	APPROVED	see commnet
<p>(5/23/2019 1:43 PM AA)</p> <p>An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.</p>							
GIS	Lance Singleton	5/17/2019	5/24/2019	5/22/2019	5	APPROVED	See comments
<p>(5/22/2019 10:09 AM LS)</p> <p>Assigned address will be:</p> <p>1920 ALPHA DR, ROCKWALL, TX 75087</p>							



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	5/17/2019	5/24/2019	5/23/2019	6 COMMENTS	See comments
Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Vincent Stagliano for the approval of a site plan for an animal boarding/kennel without outside pens on a 1.2113-acre tract of land identified as Lot 4, Block A, Ellis Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.						

#### PLANNING AND ZONING 1ST ROUND COMMENTS (05.23.2019):

The following staff comments are to be addressed and resubmitted no later than Tuesday June 4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

**\*\* Planning Department General Comments & Requirements to address/acknowledge:**

1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO).
3. Label all revised site plan documents with "Case No. SP2019-017" at the lower right corner of each plan.

#### EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

1. Horizontal articulation for the primary building facade standards of the UDC for the south facing facade.
2. Horizontal articulation for the secondary building facade standards of the UDC for the north and west facing facades.
3. Vertical articulation for the secondary building facade standards of the UDC for the south and west facing elevations.
4. Fence at rear does not meet material standards for the required screening from a residential district/property [i.e. wood fence (i.e. board on board) is not allowed]. Sec. 5.6, of Art. V, of the UDC requires screening fences to be constructed with a masonry fence, minimum six (6)-feet in height. As an alternative, berms in conjunction with a minimum of a six-foot wrought fence and a combination of trees and shrubs can be utilized to meet the screening requirements if the planning and zoning commission determines that the proposed alternative will provide sufficient screening.
5. Trash enclosures are not to face a public right of way (Sec. 1.05, Art. V, UDC). These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate.

**\*\* Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:**

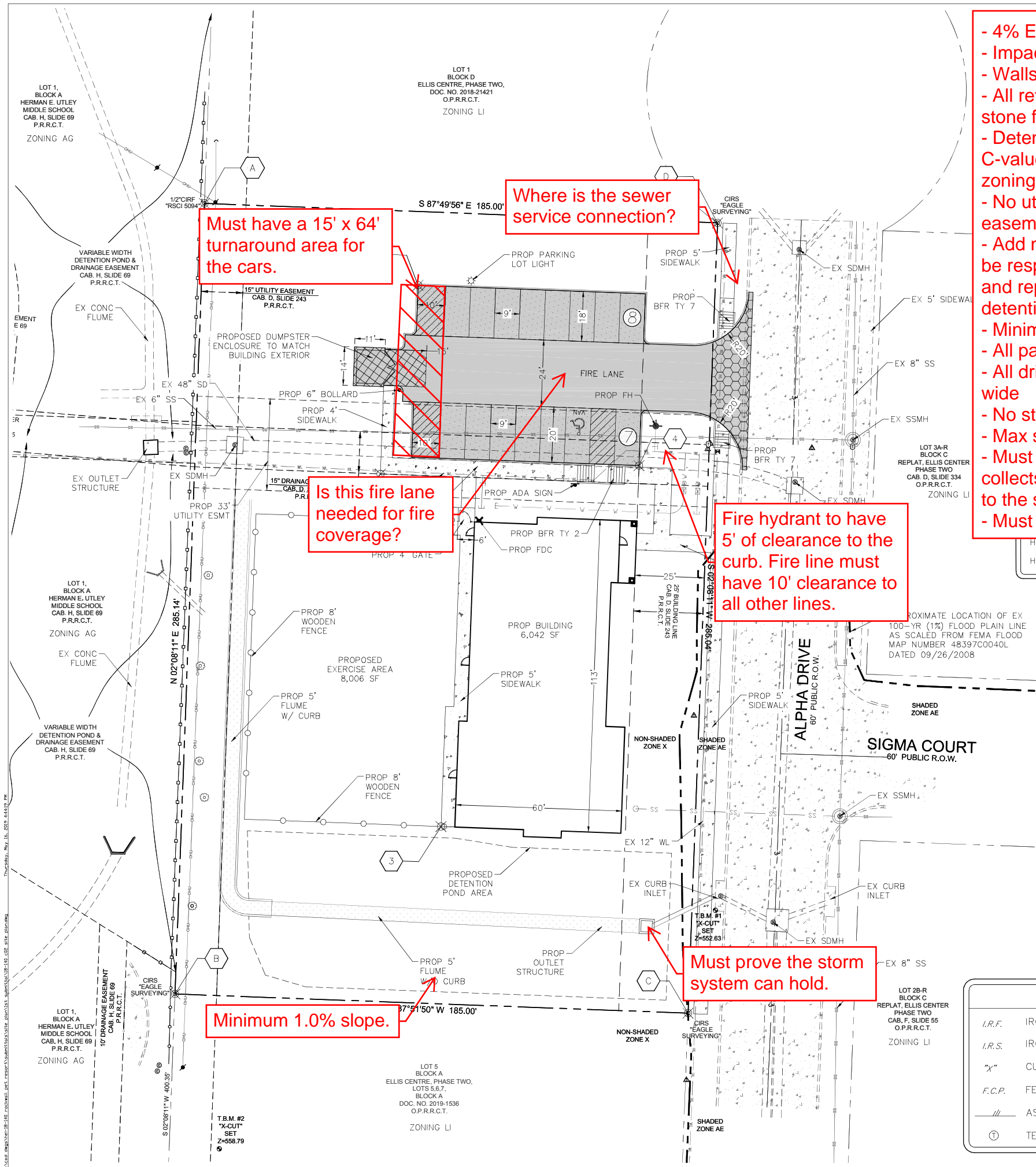
#### Site Plan:

1. Trash enclosures are not to face a public right-of-way. Reorient/relocate dumpster unless approved by the Planning and Zoning Commission (see exception above).
2. Fence at rear does not meet material standards for the required screening from a residential district/property (see exceptions above).
3. Label the 24-ft firelane access easement as "24-ft Firelane, Public Access, and Utility Easement."
4. Use a lighter gray scale for the 100-year flood plain line. Change line style, looks similar to property line symbolgy.
5. Delineate and label minimum 10-ft landscape buffer along Alpha Drive.
6. Site Information Table:
  - a. Change Parking Required to indicate "Animal Hospital/Clinic" rather than office.
7. Pavement Legend - information provided must meet the Engineering Departments standards for design.
8. Where are the HVAC/RTU's located? These units require screening from the public rights of way and adjacent properties. Provide screening detail.

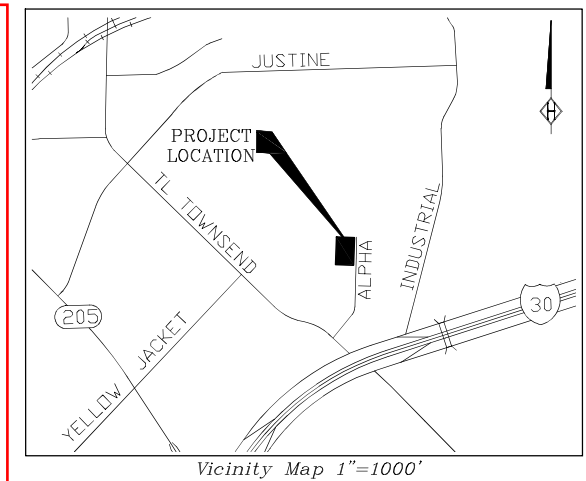
#### Landscape Plan:

1. Delineate and label a minimum 10-ft landscape buffer.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
2. Move building line label that sets on top of tree in landscape buffer. 3. Sec. 5.3, Art. VIII, of the UDC states no artificial plant materials may be used...must be turf or a non-permiable surface. Provide a detail and cust sheets for the proposed articial turf for staff review and indicate if this is permiable or impermeable 4. The detention pond requires a minimum of one (1), three (3)-caliper inch canopy tree for each 750 SF of dry area within the pond. Provode the necessary amount of trees for this area. 5. Parking Lot Lanscape Lable at bottom of plan: update total parking space count to match the site plan(i.e. 12 & 15 spaces).  Treescape Plan: 1. No mitigation required for the removal of the two(2) cedar trees as indicated on the plan.  Photometric Plan: 1. The maximum pole height shall not exceed 30-ft in overall height. Provide detail. 2. Provide cut sheets for all exterior lighting fixtures. Under canopy lighting required to be fully recessed into canopy.  Building Elevations: 1. All roof-top mechanical equipment requires screening from rights-of-way and adjacent properties. Dash-in RTU's on elevations (if applicable). Provide detail of screening mechanism to be used if these are not properly sceened. 2. Requires a recommendation from the Architectural Review Board(ARB). See scheduled meeting below. 3. Provide a materials sample board for ARB review of the actual materials to be used 4. Approval of the exceptions for not meeting the primary and secondary articulation standsrds, the screening fence standards, and for the trash enclosure facing the public right of way requires approval by the Planning and Zoning Commission for each separate instance as indicated above  ** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.  Meeting Dates to Attend  Architectural Review Board: May 28, 2019 (5:00 p.m.) [Recommendations from ARB]  Planning - Work Session: May 28, 2019 (6:00p.m.) [Applicant to present/discuss project]  Architectural Review Board: June 11, 2019 (5:00 p.m.) [Subsequent meeting if necessary]  Planning - Action: June 11, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]  ** IF REQUIRED -- City Council - Action: Monday, June 17, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **						
Police Department	David Gonzales	5/23/2019	5/30/2019	5/23/2019	COMMENTS	



- 4% Engineering Inspection Fees
- Impact Fees for additional water taps
- Walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Detention is required. Manning's C-value will be from 0.35 to 0.9 per zoning.
- No utilities allowed in detention easement
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- All parking to be 20'x9'
- All drive aisles to be a minimum of 24' wide
- No structures in easements
- Max slope is 4:1
- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.
- Must meet all engineering standards



### PAVEMENT LEGEND

- DUMPSTER PAVEMENT**  
PROPOSED 8" 4,000 PSI CONC. @ 28 DAYS WITH #4 BARS @ 18" O.C.E.W. (DOUBLE MAT)
- DRIVEWAY PAVEMENT**  
PROPOSED 8" 4,000 PSI CONC. @ 3 DAYS WITH #4 BARS @ 18" O.C.E.W.
- MEDIUM DUTY PAVEMENT (DRIVE AISLE)**  
PROPOSED 6" 3,600 PSI CONC. @ 28 DAYS WITH #4 BARS @ 18" O.C.E.W.
- LIGHT DUTY PAVEMENT (CAR PARKING)**  
PROPOSED 6" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
- SIDEWALK PAVEMENT**  
PROPOSED 4" 3,000 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.

#### PAVEMENT NOTES:

- ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
- THE CONTRACTOR SHALL DOWEL & EPOXY #4 X 24" SMOOTH BARS @ 24" CENTERS ALONG ALL PROPOSED TO EXISTING CONCRETE EDGES W/ 3/4" EXPANSION JOINT & SELF LEVELING JOINT SEALING COMPOUND.
- THE CONTRACTOR SHALL PROVIDE A 1/2" EXPANSION JOINT W/ SELF LEVELING JOINT SEALING COMPOUND BETWEEN THE PROPOSED CONCRETE PAVEMENT AND THE PROPOSED BUILDING.

### DESIGN POINTS

PT	NORTHING	EASTING	PT	NORTHING	EASTING
A	7022635.9438	2598894.7809	1	7022606.4531	2598971.7350
B	7022351.0041	2598884.1517	2	7022538.4108	2598958.1889
C	7022344.1081	2599069.0232	3	7022411.3558	2598980.0098
D	7022628.9270	2599079.6450	4	7022541.4392	2599051.3665

### LEGEND

- I.R.F. IRON ROD FOUND
- I.R.S. IRON ROD SET
- "X" CUT X IN CONCRETE
- F.C.P. FENCE CORNER POST
- ASPHALT
- TELEPHONE MANHOLE
- POWER POLE
- LIGHT POLE
- WATER VALVE
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER METER

#### PRELIMINARY PLANS

THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.  
STEVEN R. HOMEYER, PE # 86942  
DATE: 05/17/2019

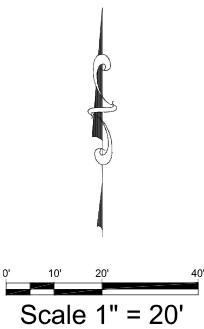
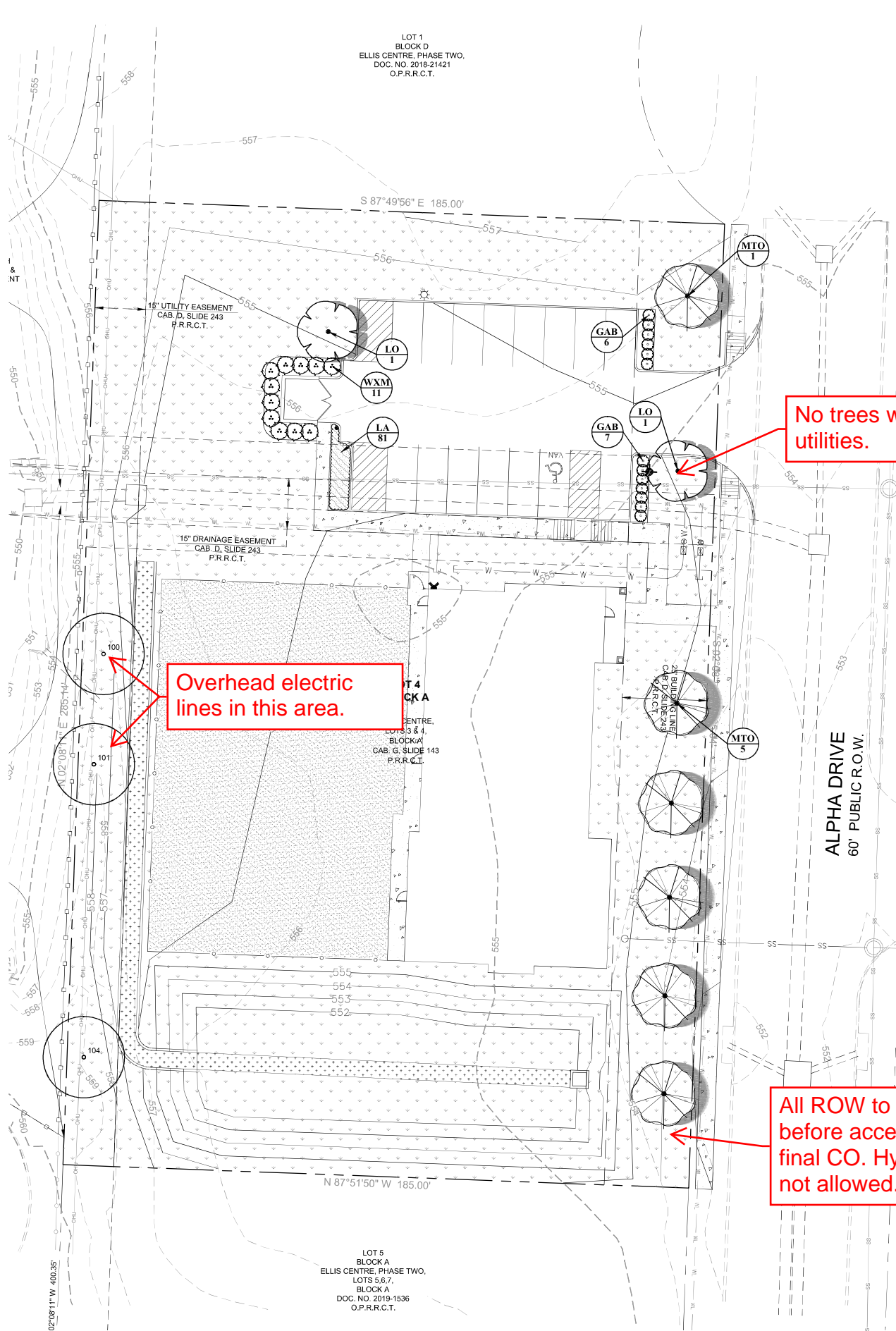
**HOMEYER**  
ENGINEERING, INC.  
TBE FIRM REGISTRATION NO. F-8440  
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029  
972-906-9985 PHONE • 972-906-9987 FAX  
WWW.HEI.US.COM

CANINE AND CO. RESORT  
1.21 ACRES  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

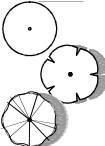




SITE PLAN

DRAWN: JAN  
DATE: 09/28/2018  
HEI #: 18-140  
SHEET NO:  
C2

S:\Users\shelton\Documents\Drawings\0206111\0206111.dwg Thursday, May 16, 2019 10:58:56 AM



## PLANT SCHEDULE

TREES		CODE	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE	QTY
	EX	Existing Tree to Remain	Reference TS sheets for additional info	EXIST.	EXIST.	EXIST.	3
	LO	Live Oak / Quercus virginiana	parking lot tree	CONT.	2"Cal	10-12' ht.	2
	MTO	Cedar Elm / Ulmus crassifolia	street tree	CONT.	2"Cal	10-12' ht.	6
SHRUBS		CODE	COMMON NAME / BOTANICAL NAME	SIZE	QTY		
	GAB	Glossy Abelia / Abelia grandiflora	36" o.c.	5 gal	13		
	WXM	Southern Wax Myrtle / Myrica cerfera	60" o.c.; 60' ht.	per ht.	11		
SHRUB AREAS		CODE	COMMON NAME / BOTANICAL NAME	CONT	SPACING	QTY	
	LA	Aztec Grass / Liriope muscari 'Aztec'		1 gal	15" o.c.	81	
GROUND COVERS		CODE	COMMON NAME / BOTANICAL NAME	CONT	QTY		
	AT	Artificial Turf - submit for owner approval	install per manufacturer	n/a	7,939 sf		
	CT	Bermuda Grass / Cynodon dactylon 'Tif 419'		sod	28,574 sf		

## GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOD AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (D&WITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 1/4" GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
  - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
  - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING.
- HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDDED OR RESEEDDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

## LANDSCAPE CALCULATIONS

GR (GENERAL RETAIL)	52,741 SF
LA (LANDSCAPE AREA)	7,911 SF (15% OF SITE AREA)
LA REQUIRED:	37,808 SF (71% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	

LANDSCAPE BUFFER STRIP	
LANDSCAPE BUFFER STRIP REQUIRED @ ALPHA DR:	25'
LANDSCAPE BUFFER STRIP PROVIDED @ ALPHA DR:	25'

STREET LANDSCAPING	
ALPHA DR:	6 (285 LF / 50 = 6)
TREES REQUIRED (1 PER 50 LF):	6 (3" CAL.)
TREES PROVIDED:	

RIGHT-OF-WAY LANDSCAPING	
R/W LANDSCAPE REQUIRED (GRASS OR GROUNDCOVER) PROVIDED	

PARKING LOT LANDSCAPING	
TOTAL PARKING SPACES REQUIRED:	16 SPACES
TOTAL PARKING SPACES PROVIDED:	20 SPACES
PARKING LOT LANDSCAPING REQUIRED:	N/A (LESS THAN 20,000 SF / 2 ROWS)

IRRIGATION	
PROPOSED IRRIGATION DESIGN WILL MEET THE REQUIREMENTS OF THE UDC.	
* UNDERSTORY TREES PROVIDED ADJACENT TO EXISTING OVERHEAD UTILITIES.	

## PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

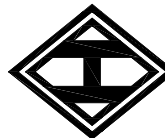
## ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

## MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

**HOMEYER**  
ENGINEERING, INC.  
TBE FIRM REGISTRATION NO. F-8440  
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029  
972-906-9985 PHONE • 972-906-9987 FAX  
WWW.HEI.US.COM



CANINE AND CO. RESORT  
1.21 ACRES  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS



(800) 680-6630  
15305 Dallas Pkwy., Ste 300  
Addison, TX 75001  
www.landscape-consultants.net



5-16-19

DRAWN: JAN

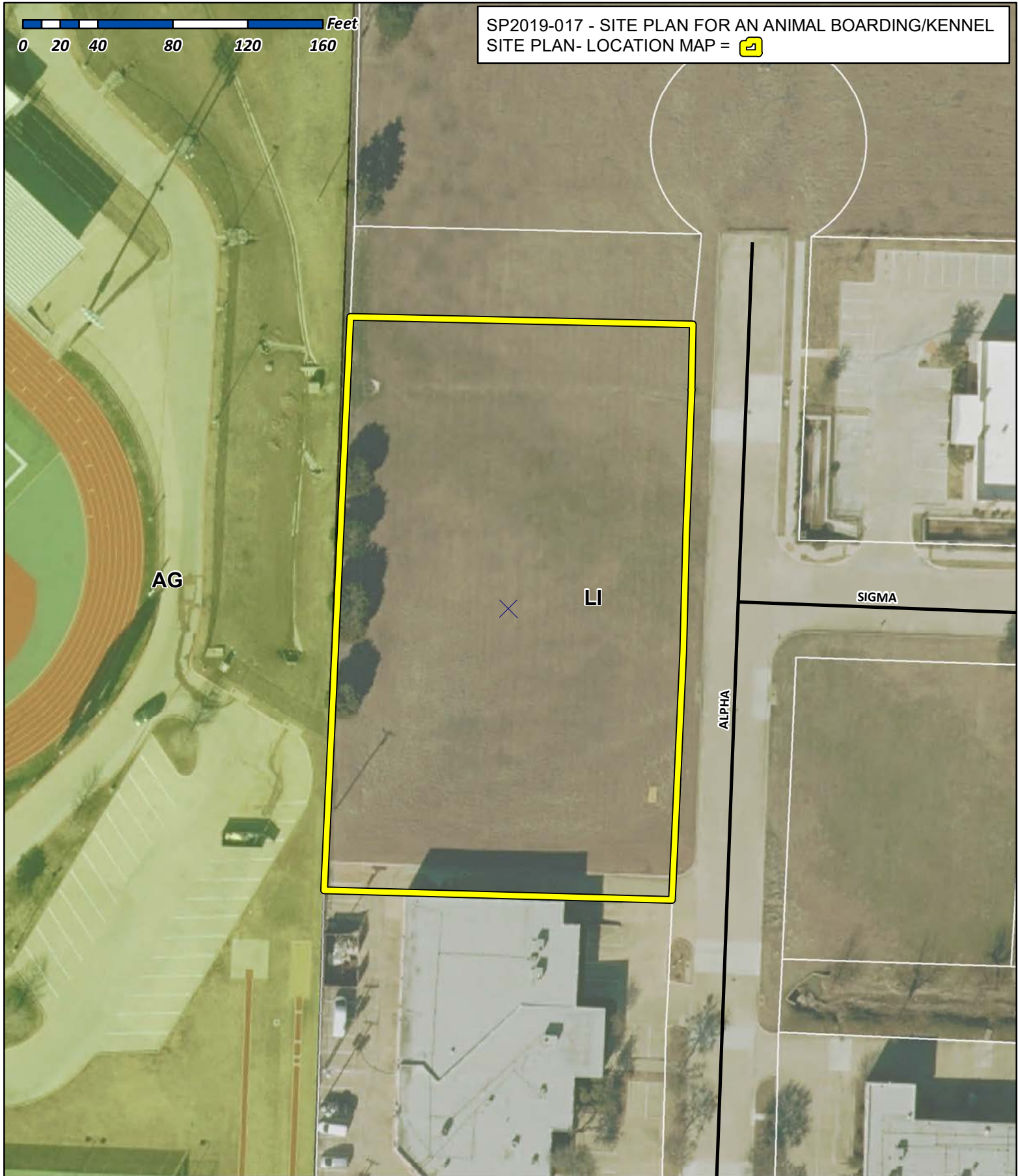
DATE: 09/28/2018

HEI #: 18-140

SHEET NO:  
LP-1

LANDSCAPE PLAN

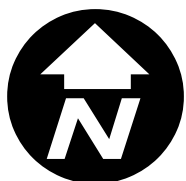




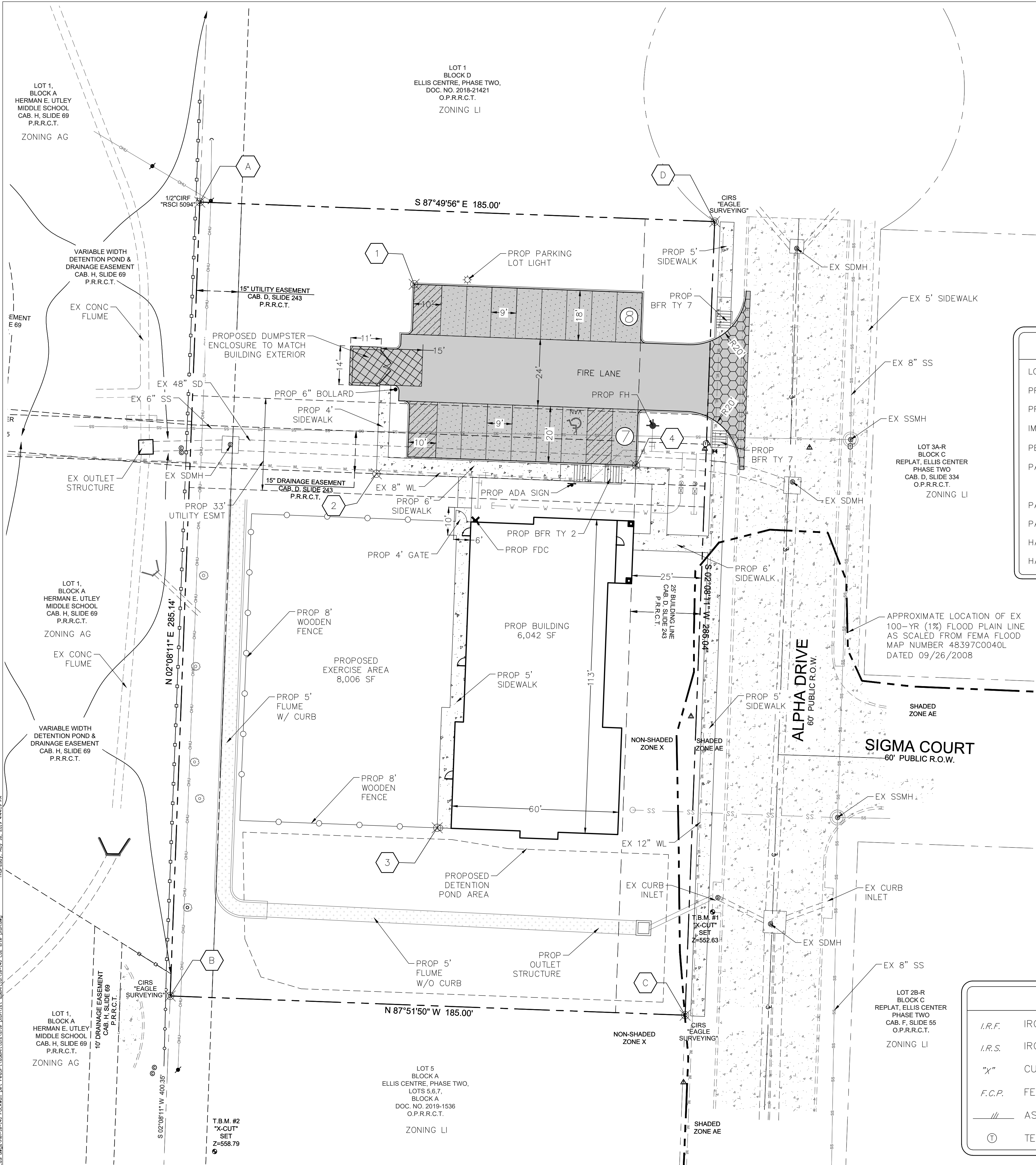
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

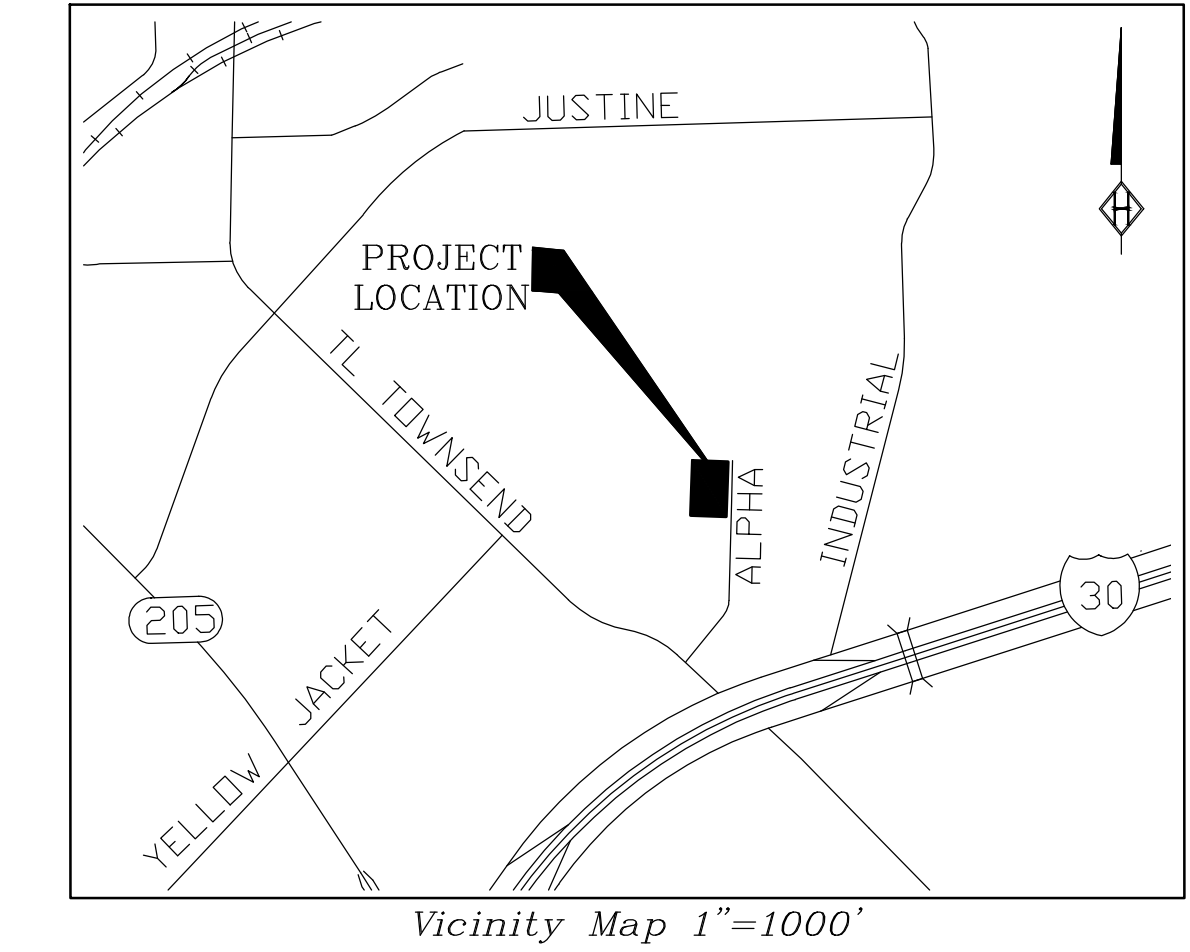






SITE INFORMATION

LOT AREA: 52,741 SF (1.21 AC)  
PROPOSED BUILDING AREA: 6,042 SF  
PROPOSED FLOOR AREA RATIO: 0.11  
IMPERVIOUS AREA: 22,900 SF (43.42%)  
PERVIOUS AREA: 29,841 SF (56.58%)  
PARKING REQUIRED:  
6,042 SF OFFICE @ 1 SPACE / 500 SF = 12 SPACES  
PARKING PROVIDED: 15 SPACES  
HANDICAP PARKING REQUIRED: 1 SPACE  
HANDICAP PARKING PROVIDED: 1 SPACE



PAVEMENT LEGEND

DUMPSTER PAVEMENT  
PROPOSED 8" 4,000 PSI CONC. @ 28 DAYS WITH #4 BARS @ 18" O.C.E.W. (DOUBLE MAT)

DRIVEWAY PAVEMENT  
PROPOSED 8" 4,000 PSI CONC. @ 3 DAYS WITH #4 BARS @ 18" O.C.E.W.

MEDIUM DUTY PAVEMENT (DRIVE AISLE)  
PROPOSED 6" 3,600 PSI CONC. @ 28 DAYS WITH #4 BARS @ 18" O.C.E.W.

LIGHT DUTY PAVEMENT (CAR PARKING)  
PROPOSED 6" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.

SIDEWALK PAVEMENT  
PROPOSED 4" 3,000 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.

PAVEMENT NOTES:  
1. ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.  
2. THE CONTRACTOR SHALL DOWEL & EPOXY #4 X 24" SMOOTH BARS @ 24" CENTERS ALONG ALL PROPOSED TO EXISTING CONCRETE EDGES W/ 3/4" EXPANSION JOINT & SELF LEVELING JOINT SEALING COMPOUND.  
3. THE CONTRACTOR SHALL PROVIDE A 1/2" EXPANSION JOINT W/ SELF LEVELING JOINT SEALING COMPOUND BETWEEN THE PROPOSED CONCRETE PAVEMENT AND THE PROPOSED BUILDING.

DESIGN POINTS

PT	NORTHING	EASTING	PT	NORTHING	EASTING
A	7022635.9438	2598894.7809	1	7022606.4531	2598971.7350
B	7022351.0041	2598884.1517	2	7022538.4108	2598958.1889
C	7022344.1081	2599069.0232	3	7022411.3558	2598980.0098
D	7022628.9270	2599079.6450	4	7022541.4392	2599051.3665

LEGEND

I.R.F. IRON ROD FOUND  
I.R.S. IRON ROD SET  
"X" CUT X IN CONCRETE  
F.C.P. FENCE CORNER POST  
// ASPHALT  
① TELEPHONE MANHOLE

☼ POWER POLE  
☼ LIGHT POLE  
⊗ WATER VALVE  
⊙ SSMH SANITARY SEWER MANHOLE  
● FIRE HYDRANT  
⊗ WM WATER METER

PRELIMINARY PLANS

THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.  
STEVEN R. HOMEYER, PE # 86942  
DATE: 05/17/2019

HOMEYER ENGINEERING, INC.  
ENGINEERING, INC.  
TBE FIRM REGISTRATION NO. F-8440  
P.O. BOX 294527 • LEWISVILLE, TEXAS 75029  
972-906-9985 PHONE • 972-906-9987 FAX  
WWW.HEI.US.COM

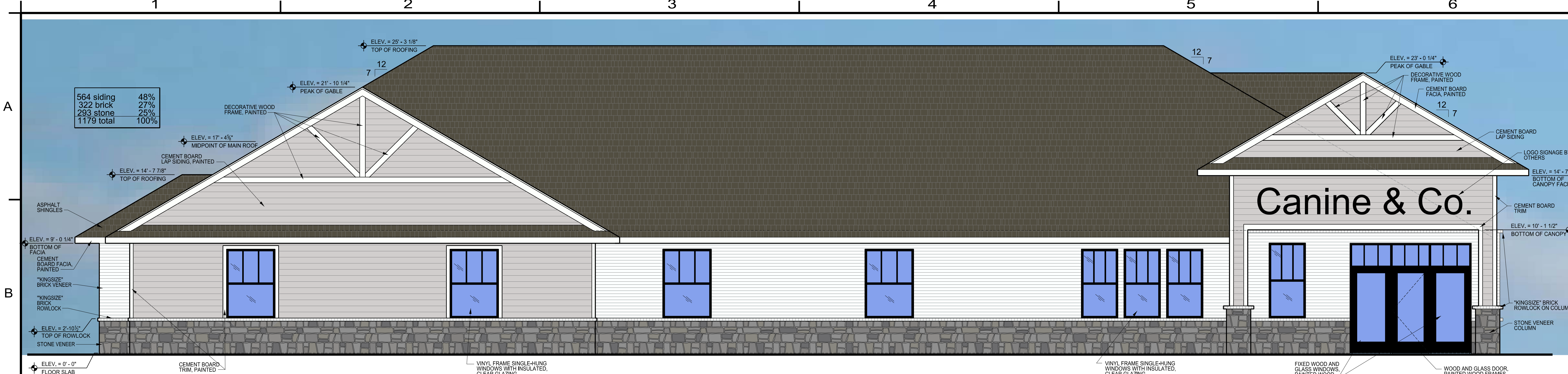
CANINE AND CO. RESORT  
1.21 ACRES  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SITE PLAN

DRAWN: JAN  
DATE: 09/28/2018  
HEI #: 18-140

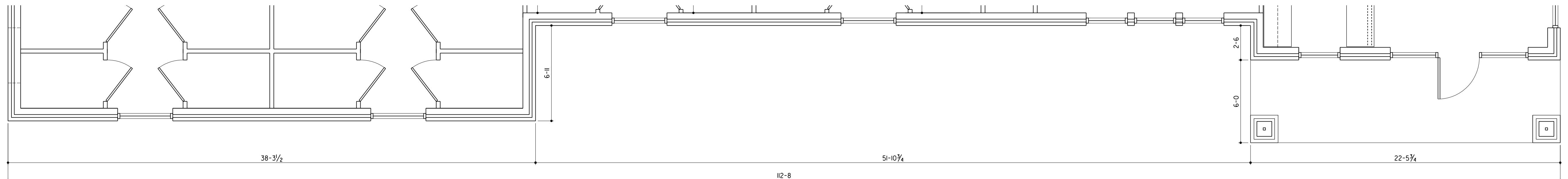
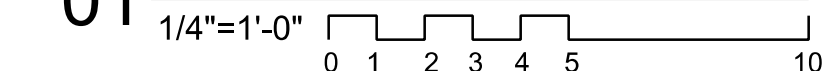
SHEET NO:  
C2



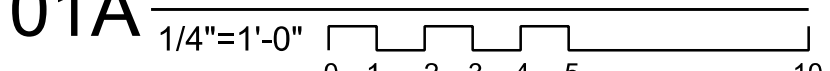


564 siding	48%
322 brick	27%
293 stone	25%
1179 total	100%

01 Front (East) Elevation

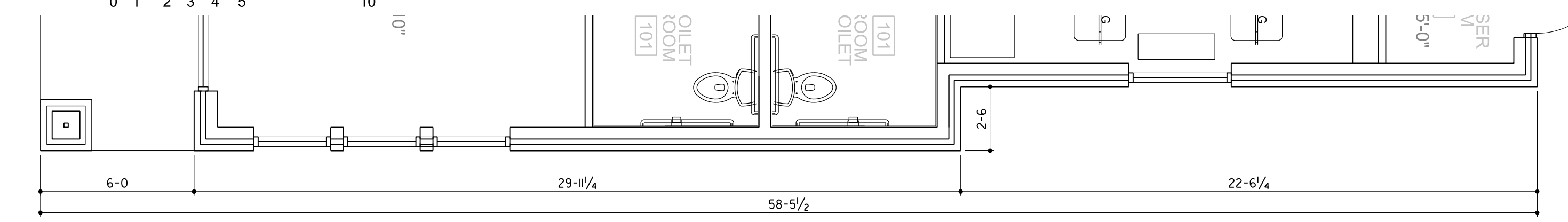
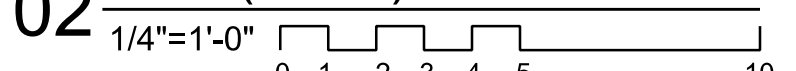


01A Plan Reference

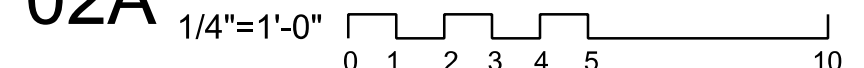


190 siding	30%
274 brick	44%
161 stone	26%
625 SF	100%

02 Side (North) Elevation



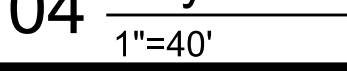
02A Plan Reference



03 Material Board



04 Key Plan



Phillip Morse, Architect  
PlacesMade architecture  
2840 Keller Springs Road  
Suite 603  
Carrollton, Texas 75006  
214 888 7074  
www.placesmadedeal.com

**places made**  
architecture  
"made up places made real"

If the adjacent seal block does not contain the architect's seal, signature, and date; then this document is incomplete and may not be used for regulatory approval, permit, or construction.

PlacesMade architecture  
Phillip Morse, TX Reg No. 17037  
The Texas Board of Architectural Examiners has jurisdiction over complaints regarding the professional practices of persons registered as Architects in TX. P.O. Box 12337 - Austin, TX 78711-2337. Ph. 512-365-9000. www.tbae.tx.us

**TRI-STAR CONSTRUCTION, INC.**  
GENERAL CONTRACTORS  
Building #2  
3601 Yucca Drive  
Flower Mound, Texas 75028  
972.221.5558  
www.tristarcorp.org

New Building for:  
**Canine and Co. Resort, LLC**  
Alpha Drive @ Sigma Court  
Rockwall, TX 75087

Project No.	17004
Date	September 2017
Revisions	
No.	Date
	For Review 05-02-19
	For Review 05-14-19
	For Review 05-15-19

scale verification  
1" = 1'

Sheet  
**A2.1C**  
Color Elevations





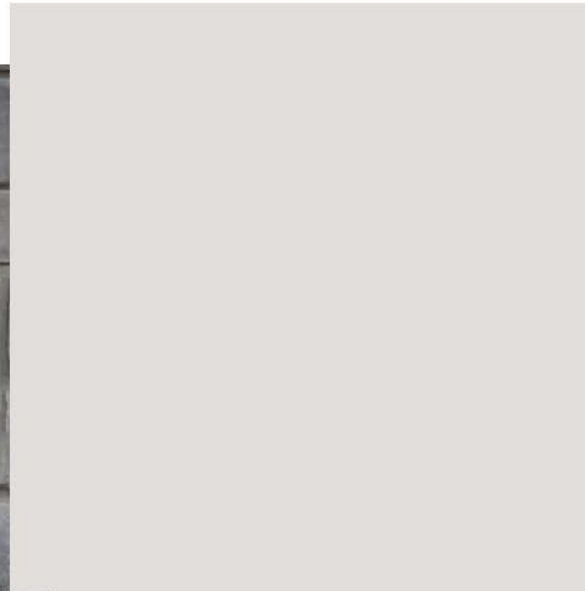
# 03 Material Board



REQUISITE GRAY  
SHERWIN WILLIAMS  
SW7023 PAINT



GREY LEUDERS STONE



ORIGINAL WHITE  
SHERWIN WILLIAMS  
SW7077 PAINT



ONYX BLACK  
OWENS CORNING  
ASPHALT SHINGLES

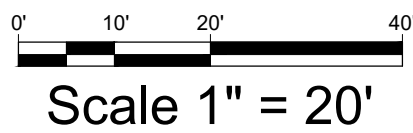
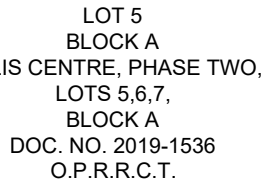


PAINTED BRICK TO  
MATCH SW7077



PLYGEM BLACK  
VINYL WINDOWS





## GENERAL PLANTING NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED IN REPORT). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.0' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTIONS ON TURF AREA AND GRADING PREPARATIONS.
  2. CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADE. TO ELIMINATE ANY POTENTIAL PONDING, ANY DISCREPANCIES ARISE FROM THE GRADING PLANS AND THE GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  3. ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL, AMENDMENTS, AND 1" BELOW FINISH GRADE IN TURF AREAS. ALL GRADING SHALL BE ACCURATE TO WITHIN 1/8" OF CONCRETE WALKS AND CURBS. GRASS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
  4. INSTALL 5 GUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (60WIT "PRO-S" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
  5. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
  6. INSTALL 4/4, GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
  7. HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
  8. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING DATES, TREE SIZES, ETC.).
  9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY SHOWN ON THE PLAN OR THE PLANT LEGEND SHALL PREVAIL. ALL PLANTS SHALL BE GROUNDWELL, WELL TREESING FOR INSECTS AND DISEASES, AND NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  10. ALL PLANTS TO BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
  11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND REPLACING OF LAWNS AND TURF, REPLACING SPARGES WITH NEW SPARGES, WEED TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKSMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  12. UNMULCHED AREAS AND EDGE AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
  13. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - A. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY THE LANDSCAPE CONTRACTOR AT HIS/HER OWN RISK.
    - B. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - C. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING.
  14. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE REPLACED OR RESEED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

CANINE AND CO. RESORT  
1.21 ACRES  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

(800) 680-6630  
15305 Dallas Pkwy., Ste 300  
Addison, TX 75001  
[www.landscape-consultants.net](http://www.landscape-consultants.net)



HEI #: 18-140

SHEET NO:  
LP-1

LANDSCAPE PLAN



PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  2. A LIST OF COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2004. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
  3. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  4. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  5. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  6. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
  7. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8.0, MOISTURE CONTENT 35 TO 65 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS TOP DRESSING OF TREES AND SHRUBS.
- I. WEED FABRIC: 5 OUNCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PRO5 LANDSCAPE FABRIC (OR APPROVED EQUAL).
- J. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
  2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- K. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  2. SOIL TESTING:
    - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
    - b. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. AMMONIUM PHOSPHATE 16-20-0 - 15 LBS PER 1,000 S.F.
      - iii. AGRICULTURAL GYPSUM - 100 LBS PER 1,000 S.F.
    - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. 12-12-12 FERTILIZER - 10 LBS. PER CU. YD.
      - iii. AGRICULTURAL GYPSUM - 10 LBS. PER CU. YD.
      - iv. IRON SULFATE - 2 LBS. PER CU. YD.
  5. CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
  6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

GENERAL PLANTING

1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
3. TRENCING NEAR EXISTING TREES:
  - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
  - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
  - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
  - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

TREE PLANTING

1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
6. THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
  - a. 1"-2" TREES TWO STAKES PER TREE
  - b. 2-1/2" - 4" TREES THREE STAKES PER TREE
  - c. TREES OVER 4" CALIPER GUY AS NEEDED
  - d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).

SHRUB, PERENNIAL, AND GROUND COVER PLANTING

1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
2. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

SODDING

1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

HYDROMULCHING

1. TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
  - a. WINTER MIX (OCTOBER 1 - MARCH 31)
    - 50# CELLULOSE FIBER MULCH
    - 2# UNHULLED BERMUDA SEED
    - 2# ANNUAL RYE SEED
  - b. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
    - 50# CELLULOSE FIBER MULCH
    - 2# HULLED BERMUDA SEED
2. SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
  - a. GENERAL
    - 50# CELLULOSE FIBER MULCH
    - 15# 15-15-15 WATER SOLUBLE FERTILIZER

CLEAN UP

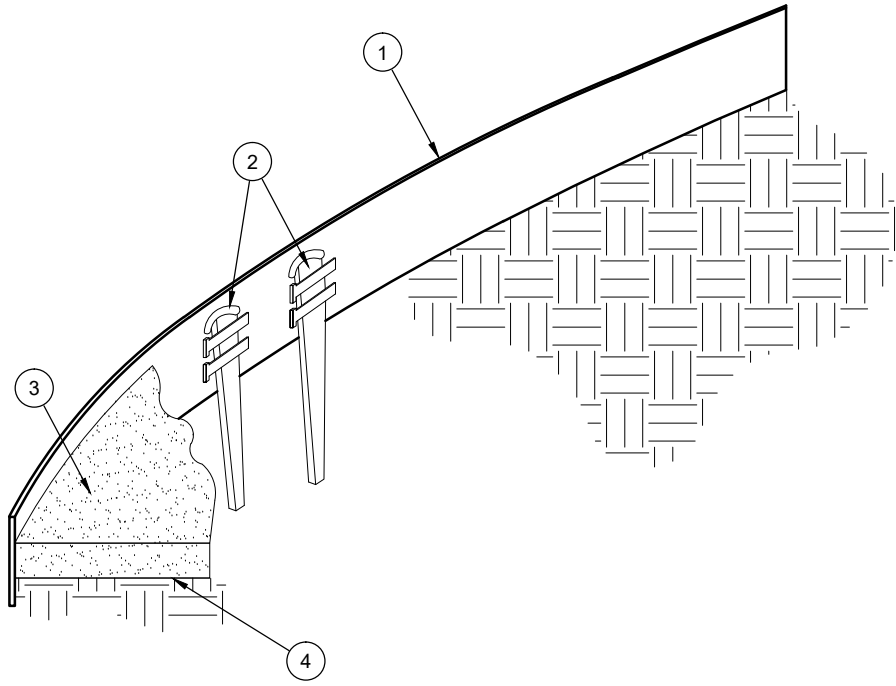
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

INSPECTION AND ACCEPTANCE

1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

LANDSCAPE MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
  3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
    - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDDOED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- J. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- K. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

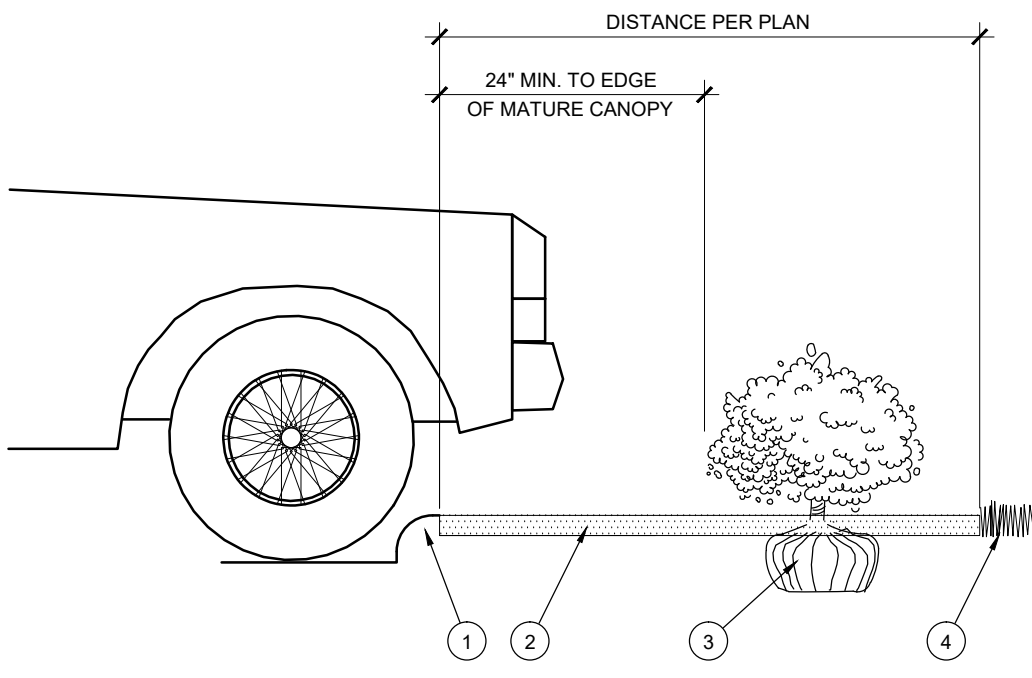


1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

- NOTES:
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
  - 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
  - 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

C STEEL EDGING

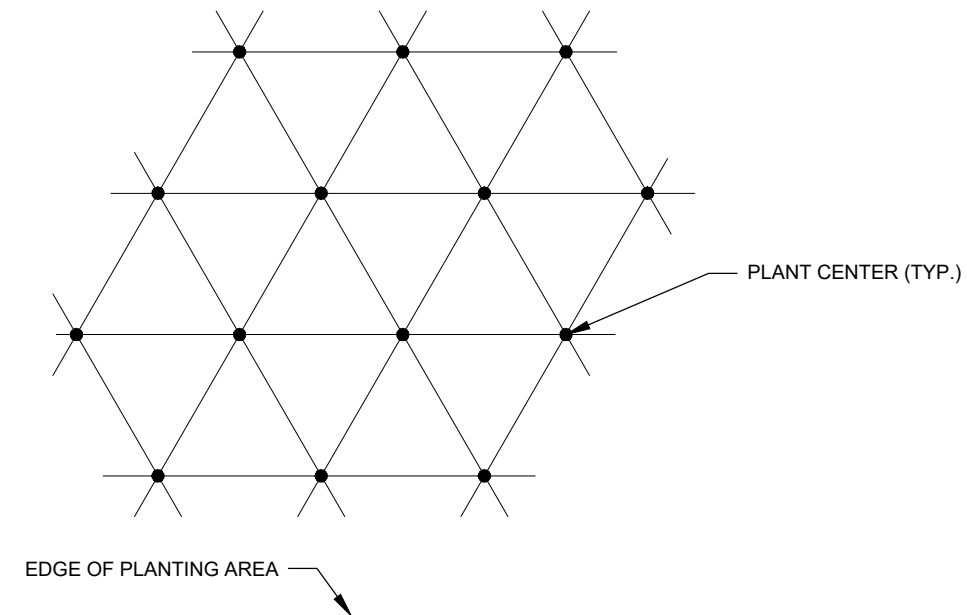
SCALE: NOT TO SCALE



1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

D HEDGE PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



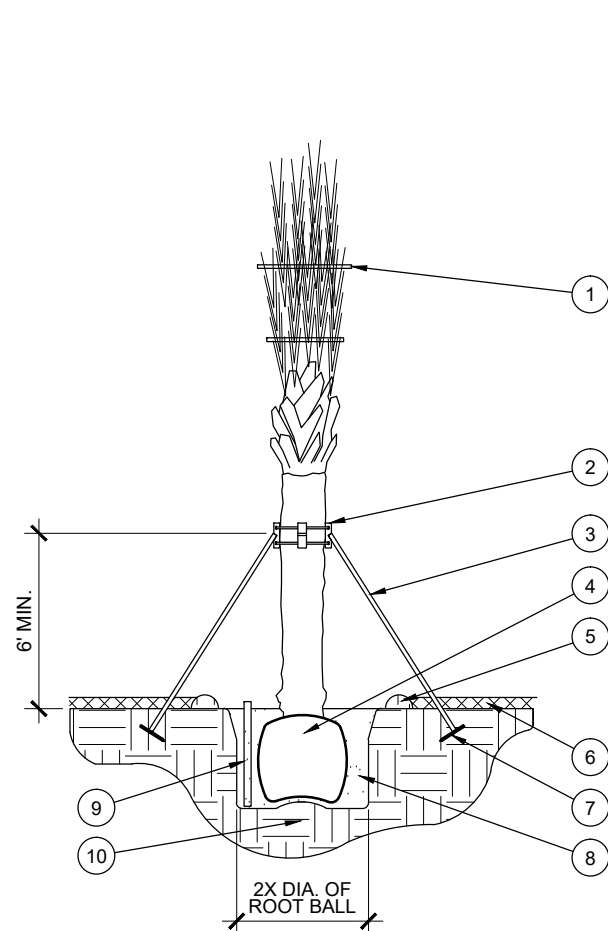
NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

PLANT SPACING	AREA DIVIDER TO DETERMINE NO. OF PLANTS
6"	0.25
8"	0.45
10"	0.69
12"	1
15"	1.56
18"	2.25
24"	4
30"	6.25
36"	9

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF OF PLANTING AREA = 100/2.25 = 44 PLANTS

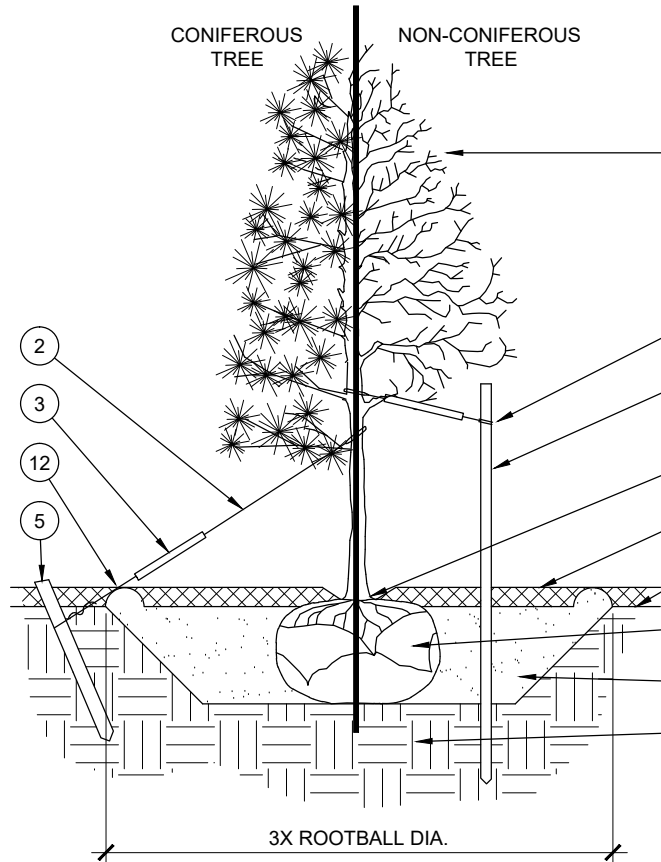
E PLANT SPACING

SCALE: NTS

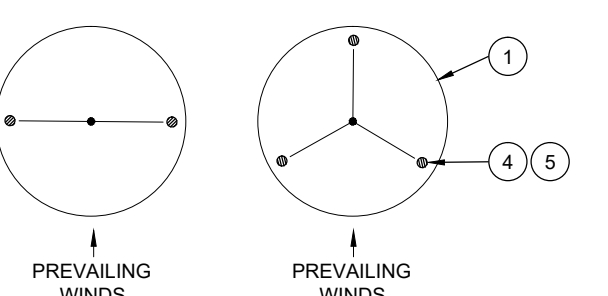


F PALM PLANTING

SCALE: NOT TO SCALE



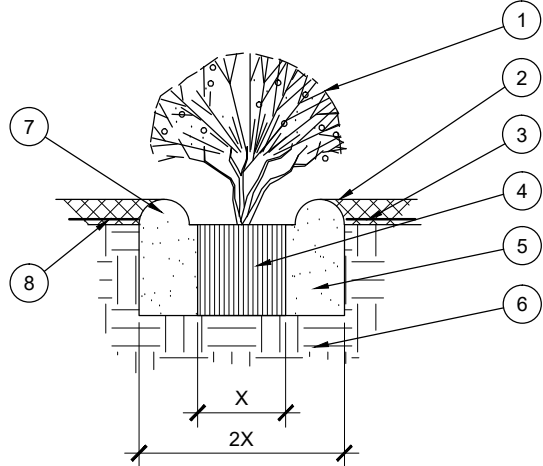
STAKING EXAMPLES (PLAN VIEW)



A TREE PLANTING

SCALE: NOT TO SCALE

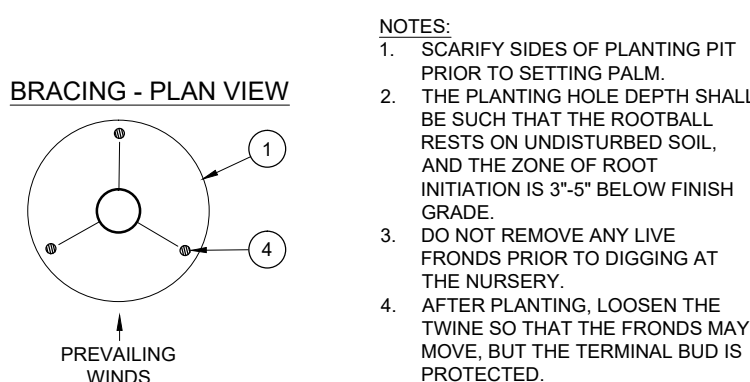
1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.



B SHRUB/PERENNIAL PLANTING

SCALE: NTS

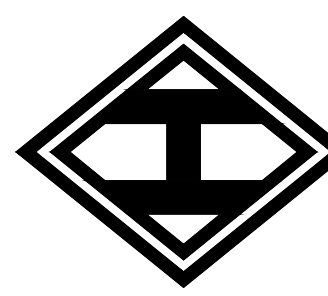
1. BIODEGRADABLE TWINE.
2. PALM BRACE SYSTEM.
3. 2" X 4" SUPPORT, TOENAILED TO BRACE SYSTEM (3) - DO NOT NAIL TO PALM.
4. ROOT BALL.
5. 4" HIGH TEMPORARY WATERING BASIN.
6. MULCH PER PLANS. DO NOT ALLOW MORE THAN 1" OF MULCH WITHIN 12" OF TRUNK.
7. 2" X 4" X 12' DEADMAN, BURIED 12" MIN. BELOW GRADE.
8. BACKFILL MIX PER SPECIFICATIONS AND SOIL TEST RECOMMENDATIONS.
9. 4" PERFORATED PVC WATER MONITORING TUBE, WRAPPED IN FILTER FABRIC (ANY APPROVED) - TWO PLACES AROUND PALM.
10. UNDISTURBED SUBGRADE.



1. TREE CANOPY.
2. CINCH-TIES (24" BOX TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (24" BOX TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.

- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3'-5" ABOVE FINISH GRADE.
  3. FOR BAB TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
  4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
  5. FOR TREES OVER 3" CALIPER AND TREES 30" BOX AND LARGER, USE THREE STAKES OR DEADMAN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
  6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

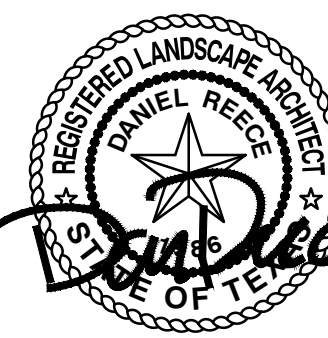
**HOMEYER**  
ENGINEERING, INC.  
TBE FIRM REGISTRATION NO. F-8440  
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029  
972-906-9985 • PHONE • 972-906-9987 FAX  
WWW.HEI.US.COM



CANINE AND CO. RESORT  
1.21 ACRES  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS



(800) 680-6630  
15305 Dallas Pkwy., Ste 300  
Addison, TX 75001  
www.landscape-consultants.net

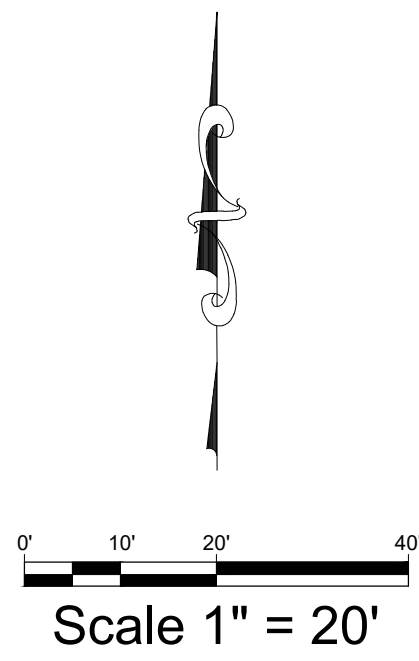
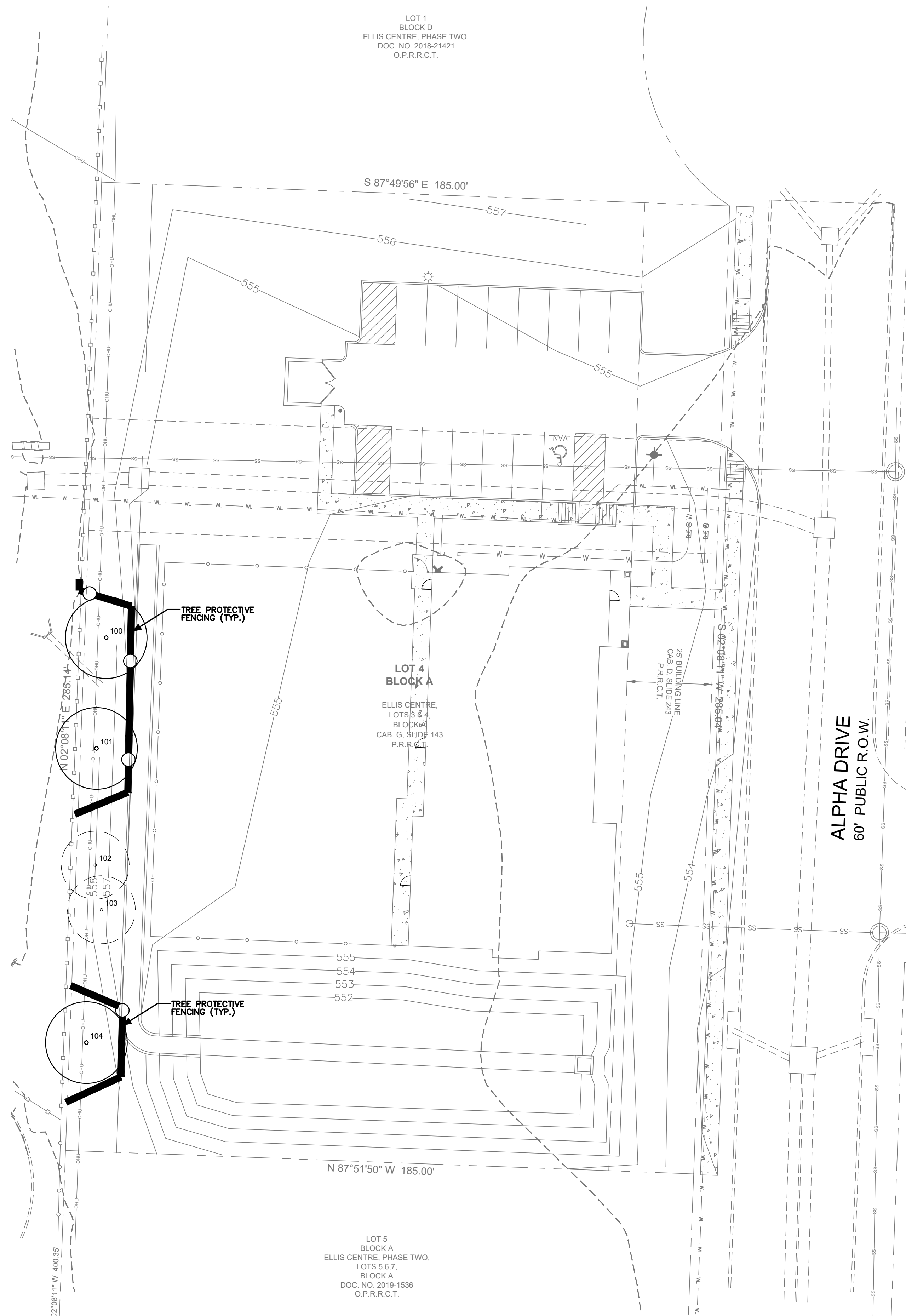


5-16-19

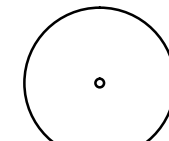
DRAWN: JAN  
DATE: 09/28/2018  
HEI #: 18-140

SHEET NO:  
LP-2

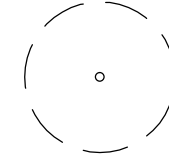
LANDSCAPE DETAILS



### LEGEND



EXISTING TREE  
TO BE RETAINED



EXISTING TREE  
TO BE REMOVED

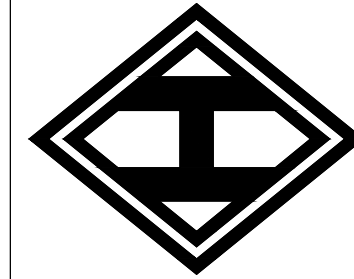


### TREE PROTECTIVE FENCING

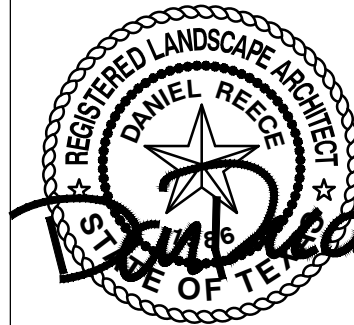
ID	SIZE/TYPE	REMOVED	MITIGATION
100	12" CEDAR	NO	NO
101	12" CEDAR	NO	NO
102	10" CEDAR	YES	NO
103	10" CEDAR	YES	NO
104	12" CEDAR	NO	NO

## TREE SURVEY

**HOMMEYER**  
ENGINEERING, INC.  
TUBE FIRM REGISTRATION NO. F-8440  
P.O. BOX 294527 ♦ LEWISVILLE ♦ TEXAS ♦ 75029  
972-906-9985 PHONE ♦ 972-906-9987 FAX  
WWW.HEI.US.COM



CANINE AND CO. RESORT  
1.21 ACRES  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS



5-16-19

DRAWN: JAN

DATE: 09/28/2018

HEI #: 18-140

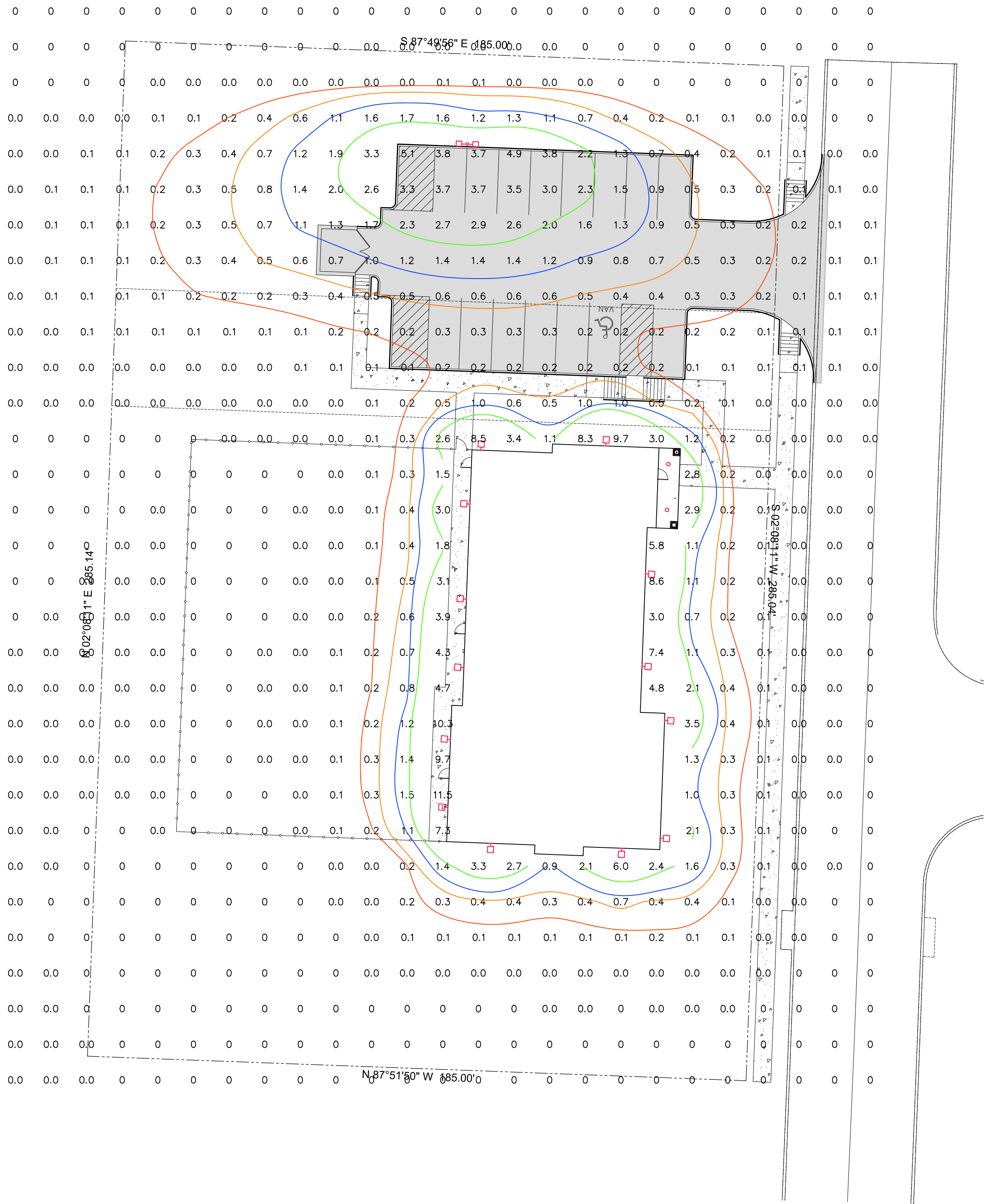
SHEET NO:  
TS-1







ELECTRICAL - SITE LIGHTING PLAN



LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	QUANTITY
C		1200 lumen RL56 LED Downlight	ELECTRONIC	CEILING	EATON - HALO, RL560WH12940	120V 1P 2W	2
S2		PREVAIL AREA AND ROADWAY LUMINAIRE(2) 70 CRI, 3000K LEDS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD, BRONZE PAINTED FINISH	ELECTRONIC	POLE	EATON - LUMARK, PRV-A40-D-UNV-T3-BZ-7030-HSS	120V 1P 2W	1
W		SAYLITE DCC150 SERIES	ELECTRONIC	WALL	SAYLITE - DCC150, DCC150L42W3424LMV50K	120V 1P 2W	13

GENERAL PHOTOMETRIC SCHEDULE

AVERAGE FOOT-CANDLES	0.46
MAXIMUM FOOT-CANDLES	11.5
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	11.47 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.46 / 0.00

CITY OF ROCKWALL OUTDOOR LIGHTING FOR NONRESIDENTIAL PROPERTIES MINIMUM REQUIREMENTS:

- A. GLARE. IN ORDER TO PRESERVE THE NIGHT SKY AND TO REDUCE GLARE ON ROADWAYS, PEDESTRIAN AREAS AND ADJACENT DEVELOPMENT, LIGHT SOURCES (E.G. LIGHT BULBS) SHALL BE ORIENTED DOWN AND TOWARD THE CENTER OF THE SITE OR SHIELDED SO AS TO NOT BE VISIBLE FROM THE PROPERTY LINE. THIS APPLIES TO REFRACTORY LENSES WHICH EXTEND BEYOND THE LIGHTING FIXTURE AND ARE DESIGNED TO REDIRECT THE LIGHTING SOURCE HORIZONTALLY. THIS DOES NOT APPLY TO NEON OR INTERNALLY LIT SIGNS, OR TO DECORATIVE LIGHTING WITH 15 WATTS OR LESS PER BULB.
- B. LIGHT AT RESIDENTIAL PROPERTY LINE. THE ALLOWABLE MAXIMUM LIGHT INTENSITY MEASURED AT THE PROPERTY LINE OF A RESIDENTIALLY ZONED LOT SHALL BE 0.2 OF ONE FOOTCANDLE.
- C. LIGHT AT NONRESIDENTIAL PROPERTY LINE. THE ALLOWABLE MAXIMUM LIGHT INTENSITY MEASURED AT THE PROPERTY LINE OF ANY NONRESIDENTIALLY ZONED LOT SHALL BE 0.2 OF ONE FOOTCANDLE. FOR PLANNED SHOPPING CENTERS OR OTHER COMMERCIAL DEVELOPMENTS THAT CONTAIN MORE THAN ONE LOT, THE PLANNING AND ZONING COMMISSION MAY CONSIDER LIGHTING PLANS THAT ARE INTENDED TO INCREASE LIGHTING EFFICIENCY AND REDUCE THE NUMBER OF OVERALL LIGHT FIXTURES, BUT RESULT IN LIGHT SPILLOVER ACROSS COMMON LOT LINES WITHIN THE SAME DEVELOPMENT. HOWEVER, IN NO CASE SHALL LIGHT LEVELS EXCEED 0.2 FC AT THE PROPERTY LINES ADJACENT TO THE STREET AND/OR ALONG THE PERIMETER OF THE DEVELOPMENT.
- D. HEIGHT. NO LIGHT POLE, BASE OR COMBINATION THEREOF SHALL EXCEED 30 FEET, UNLESS FURTHER RESTRICTED WITHIN AN OVERLAY DISTRICT AS SPECIFIED IN ARTICLE V OF THIS [UNIFIED DEVELOPMENT] CODE.
- E. BUILDING AND POLE MOUNTED LIGHTING. ALL BUILDING AND POLE MOUNTED LUMINARIES EXCEEDING 15 WATTS SHALL BE DIRECTED DOWN WITH EITHER A PARTIAL CUT-OFF OR FULL CUT-OFF SOURCE.
- F. UNDER-CANOPY LIGHTING. ALL UNDER-CANOPY LIGHTING, INCLUDING, BUT NOT LIMITED TO, THOSE FIXTURES UTILIZED AT FUELING STATIONS, DRIVE-THROUGH LANES, AND COVERED PARKING STRUCTURES, SHALL BE FULLY RECESSED INTO THE CANOPY
- G. ILLUMINATION. THE MAXIMUM OUTDOOR MAINTAINED, COMPUTED AND MEASURED ILLUMINATION LEVEL WITHIN ANY NONRESIDENTIAL DEVELOPMENT SHALL NOT EXCEED 20 FC OUTDOORS AT ANY POINT ON THE SITE, WITH THE FOLLOWING EXCEPTIONS:
1. UNDER-CANOPY LIGHTING (E.G., FUEL STATIONS, DRIVE-THROUGH LANES AND COVERED PARKING STRUCTURES) SHALL NOT EXCEED 35 FC. THE REMAINDER OF THE PROPERTY SHALL COMPLY WITH THE 20-FC MAXIMUM.
  2. LIGHTING FOR MOTOR VEHICLE DEALERSHIPS SHALL NOT EXCEED 30 FC WITHIN THE FRONT YARD(S) OF THE DEVELOPMENT. THE REMAINDER OF THE PROPERTY SHALL COMPLY WITH THE 20-FC MAXIMUM.
- H. EXEMPTIONS. HISTORIC OR ANTIQUE-STYLE PEDESTRIAN LIGHT FIXTURES APPROVED BY THE PLANNING AND ZONING COMMISSION ARE EXCLUDED FROM THESE STANDARDS.



RCS Enterprises, LP

Engineering & Inspection Services

400 N. Allen Dr. Suite #205

Allen, Texas 75013

(972) 727-8572

www.rcsenterprises.net

PROJECT:

TRISTAR

ROCKWALL PET RESORT

LOT 3 & 4 BLOCK A, ELLIS CENTRE

ROCKWALL, TX, 75087



J. MARTIN MONTGOMERY  
REGISTERED PROFESSIONAL  
ENGINEER STATE OF TEXAS - NO.  
90427  
RCS ENTERPRISES, LP F-2071

REVISION HISTORY

DESCRIPTION

DATE

NO.

ISSUE DATE: 05/09/2019

DRAWN BY: RF

SCALE: N.T.S.

24x36

SHEET NUMBER:

E1.1

5/24/2019

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	SP2019-018	<b>Owner</b>	SARO Partners LLC	<b>Applied</b>	5/21/2019	DG
<b>Project Name</b>	Office/Warehouse	<b>Applicant</b>	Platinum Construction	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>				<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>
1491 T L Townsend Dr	ROCKWALL, TX 75087

Zoning

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
Bodin Industrial Addition		A	6		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/21/2019	5/28/2019	5/24/2019	3	APPROVED	
ENGINEERING (5/23/2019 3:56 PM SH) - 4% Engineering Fees. - Impact fees. - All parking adjacent to the building to be 20'x9' and others to be 18'x9'. - Must show all existing and proposed utilities. - If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'. - Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls. - Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line. - Easements must be included on the plat. - Must have detention. Manning's C value is per zoning and is for the entire site. - There are multiple drainage basins on this site. Must not increase water to any basin. - Dumpster is currently blocked by parking. - No walls in detention. Grading at 4:1 max. - Line up the driveway with Trowbridge. - Must install a 5' sidewalk along Townsend. - Water and sewer available. - Must meet all City Standards of Design and Construction. - No trees within 5' of water line in Townsend Blvd. ROW. ROW must be sodded prior to acceptance.	Sarah Hager	5/21/2019	5/28/2019	5/23/2019	2	COMMENTS	
FIRE	Ariana Hargrove	5/21/2019	5/28/2019	5/23/2019	2	COMMENTS	see comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
<p>(5/23/2019 4:25 PM AA)</p> <p>An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.</p> <p>Fire hydrants shall be provided within 600-ft. to all portions of the buildings exterior walls.</p> <p>Fire hydrants utilized to meet the requirements of this section shall be available to fire department personnel with no obstructions, which cannot be crossed by fire fighters pulling hose lines.</p> <p>Proposed new fire hydrants shall be indicated on the plans.</p> <p>Existing fire hydrants to be considered for the use shall be indicated on the plans.</p> <p>Presence of automatic fire sprinkler system shall be indicated on the plans.</p> <p>Size and location of the underground water line servicing the fire sprinkler system shall be indicated on the plans.</p> <p>The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.</p> <p>A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.</p>							
GIS	Lance Singleton	5/21/2019	5/28/2019	5/22/2019	1	APPROVED	See comments
<p>(5/22/2019 11:52 AM LS)</p> <p>Address will be: 1491 S T L TOWNSEND DR, ROCKWALL, TX 75032</p>							
PLANNING	Korey Brooks	5/21/2019	5/28/2019	5/23/2019	2	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-018 Site Plan for Office/Warehouse: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
1.						This is a request by Annalyse Valk of Platinum Construction on behalf of Shawn Valk of Saro Partners, LLC for the approval of a site plan for a multi-tenant office/warehouse facility on a 2.21-acre tract of land identified as Lot 6, Block A, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive.
2.						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
3.						For reference, include the case number (SP2019-018) in the lower right hand corner of all pages on future submittals.
4.						Sheet S-1—Please add the following to the site data table: pervious vs. impervious area and %, req. parking, office SF, warehouse SF.
5.						Sheet S-1—Please add engineering information (e.g. all easements, radii, topo, etc) graphic scale, vicinity map.
6.						Sheet S-1—Please label property line.
7.						Sheet S-1---Please show full extend of T.L. Townsend and label centerline.
8.						Sheet S-1—What is the hatch pattern covering the site? Please remove
9.						Sheet S-1—Please show fireline and one shade of grey and non-firelane/sidewalks as a lighter shade.
10.						Sheet S-1—Please show all sidewalks
11.						Sheet S-1—Please provide paving material and depth.
12.						Sheet S-1--what is the hatch pattern closest to the buildings?
13.						Sheet S-1—Please show all building setbacks and landscape buffers.
14.						Sheet S-1—Please show adjacent properties and provide property information.
15.						Sheet S-1—Please note that as drawn, this will need variances to horizontal articulation.
16.						Sheet S-1—Please note that Building B appears to be too close to the property line. Please provide dimension from building to all property lines.
17.						Sheet S-1—Please note that parking spaces are 9x20. Please dimension a typical parking space.
18.						Sheet S-1—Please label the space between each group of parking spaces.
19.						Sheet S-1—What are the “L” shape lines next to each of the doors on Building A?
20.						Sheet S-1—Please note that no parking space shall be more than 80-feet from a large tree.
21.						Sheet S-1—Please provide owner/engineer/developer information on site plan.
22.						Sheet S-1—Please note that the dumpster enclosure shall be 6-feet in height and constructed of materials matching main structure with opaque self-latching gate. Please add note to plans.
23.						Sheet S-1—Please note that all plans need to be prepared by a registered architect, engineer, or landscape architect. There does not appear to be any engineer/architect seal on the site plan.
24.						Sheet L-1—Please note that the min caliper-inch off trees is 4 caliper inches.
25.						Sheet L-1—Please provide vicinity map
26.						Sheet L-1—For clarity, please do not show stippling under the tree symbols.
27.						Sheet L-1—Please show the full extent of TL. Townsend and show and label centerline.
28.						Sheet L-1—Please note that no parking space shall be more than 80-feet from a large tree.
29.						Sheet L-1—For clarity, please see note above regarding pavement/firelane shading.
30.						Sheet L-1—Please dimension a typical parking space.
31.						Sheet L-1—Please label the large space between the groups of parking spaces at Building B.
32.						Sheet L-1—Please show all sidewalks
33.						Sheet L-1—Please note that the building footprints are not consistent with the site plan.
34.						Sheet L-1—Please provide site data table
35.						Sheet L-1—Please show and label adjacent properties.
36.						Sheet L-1—Please dimension drive approach.



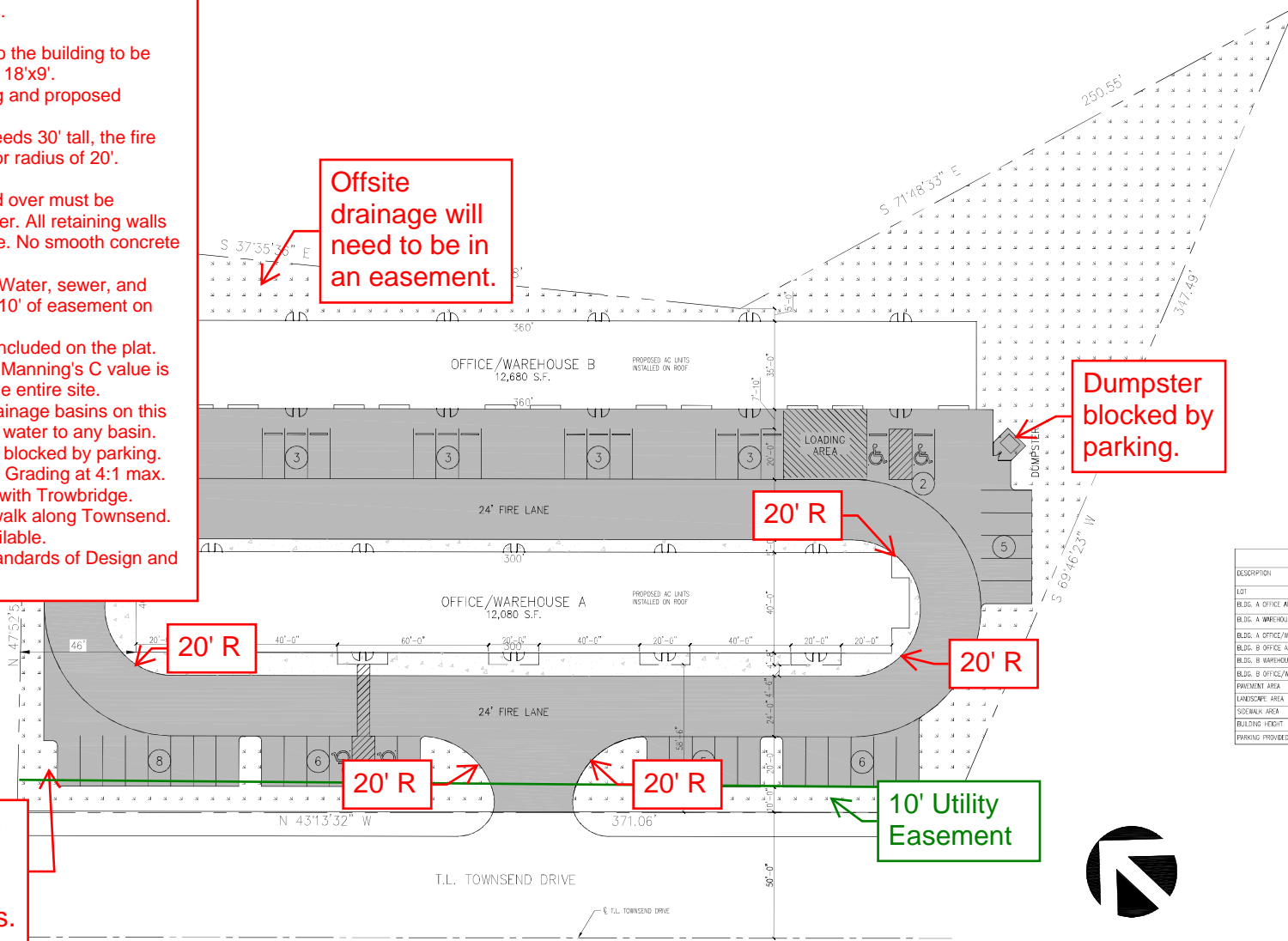
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
37. Sheet T-1—Please see notes from L-1						
38. Sheet E1.1—Please remove the hatch from the site.						
39. Sheet E1.1—Please darken and label property line						
40. Sheet E1.1—Please site data table						
41. Sheet E1.1—Please provide vicinity map						
42. Sheet E1.1—Please show and label adjacent properties.						
43. Sheet E1.1—Please provide graphic scale						
44. Sheet E1.2—Please note that all fixtures must be fully shielded and pointed downward. The third fixture shown on this page is not fully shielded.						
45. Sheet E1.1—Please note that the building footprints are not consistent with site plan and landscape plan.						
46. Sheet A-2—Please add site data table						
47. Sheet A-2—Please note that each building needs its own set of elevations.						
48. Sheet A-2—Please indicate which elevation faces the street.						
49. Sheet A-2—Please note that as drawn, the building elevations will need several variances: vertical and horizontal articulation, 4-sided architecture, no stone. All 4 sides of the buildings will need to be architectural finished with the same materials and elements as the front.						
50. Sheet A-2—Please note that the min stone requirement is 20%						
51. Sheet A-2—Please dash-in rooftop units on all elevations and show how they will be screened.						
52. Sheet A-2—Please note that although this sheet refers to Building B, the two material percentage charts at the bottom of the page refer to Building A.						
53. Sheet A-2—Building B, South Elevation notes the same scale as the North Elevation, however, they are not drawn to the same scale.						
54. Sheet A-2—Building B, North Elevation appears to show a tower element projecting from the facade; however, the South Elevation does not show a projecting element.						
55. The Architectural Review Board (ARB) meeting for this case will be held on May 28, 2019 at 5:00 p.m.						
56. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 4, 2019. The Planning and Zoning Worksession for this case will be May 28, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be June 11, 2019						

- 4% Engineering Fees.
- Impact fees.
- All parking adjacent to the building to be 20'x9' and others to be 18'x9'.
- Must show all existing and proposed utilities.
- If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'.
- Minimum width is 24'.
- Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls.
- Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line.
- Easements must be included on the plat.
- Must have detention. Manning's C value is per zoning and is for the entire site.
- There are multiple drainage basins on this site. Must not increase water to any basin.
- Dumpster is currently blocked by parking.
- No walls in detention. Grading at 4:1 max.
- Line up the driveway with Trowbridge.
- Must install a 5' sidewalk along Townsend.
- Water and sewer available.
- Must meet all City Standards of Design and Construction.

Offsite  
drainage will  
need to be in  
an easement.

Dumpster  
blocked by  
parking.

18" RCP storm  
inlet here. May  
need to adjust  
per final grades.



SITE SUMMARY	
DESCRIPTION	LOT PERCENTAGE
LOT	2.21 S.F. 100 %
BLDG. A OFFICE AREA	—
BLDG. A WAREHOUSE AREA	—
BLDG. A OFFICE/WAREHOUSE TOTAL AREA	12,080 S.F. 12.5 %
BLDG. B OFFICE AREA	—
BLDG. B WAREHOUSE AREA	—
BLDG. B OFFICE/WAREHOUSE TOTAL AREA	12,680 S.F. 13.1 %
PAVEMENT AREA	36,137 S.F. 39.5 %
LANDSCAPE AREA	26,762 S.F. 29.8 %
SIDEWALK AREA	4,770 S.F. 4.9 %
BUILDING HEIGHT	24 FT.
PARKING PROVIDED (4 H.C. INCLUDED)	46 SPACES



SITE PLAN  
SCALE: 1" = 20'

**RAMSAY & REYES**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

Project Name and Location:  
**PLATINUM BUSINESS PARK II**  
1491 S T.L. TOWNSEND DR.  
BODIN INDUSTRIAL SUBDIVISION  
2.21 ACRES  
LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	1 of 7

Drawing Name:  
**SITE PLAN**

S-1

DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY

SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE

MODEL 65BG-NS BELOW-GRADE TREE STAKING AS MFG'G BY "TREE STAKE SOLUTIONS" (www.treestakesolutions.com)

### TREE PLANTING

SHADE TREE - 3" CAL. and smaller  
not to scale

DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY

SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE

MODEL 65BG-NS BELOW-GRADE TREE STAKING AS MFG'G BY "TREE STAKE SOLUTIONS" (www.treestakesolutions.com)

### TREE PLANTING

TYPICAL MULTI-TRUNK TREE  
not to scale

### EXISTING TREE MITIGATION



### CITY REQUIREMENTS

**STREET FRONTAGE**  
10' LANDSCAPE BUFFER REQUIRED  
10' LANDSCAPE BUFFER PROVIDED

**STREET TREES**  
1 PER 50 LF STREET FRONTAGE  
T.L. TOWNSEND  
371.26' ÷ 7.42' = 8 TREES REQUIRED  
50' ÷ 8 TREES PROVIDED

**PARKING LOT LANDSCAPING**  
5% INTERIOR LANDSCAPE REQUIRED  
45,948 SF x 5% = 2,298 SF REQUIRED  
3,232 SF PROVIDED (7.03%)

**1 TREE PER 10 SPACES**  
46 SPACES ÷ 4.6' = 5 TREES REQUIRED  
5 TREES PROVIDED

**TOTAL LANDSCAPE AREA**  
20% TOTAL LANDSCAPE REQUIRED  
TOTAL SITE  
96,490 SF x 20% = 19,298 SF REQUIRED  
28,712 SF PROVIDED (28.70%)

### LANDSCAPE NOTES

1. PLANT LIST FOR THIS SHEET ONLY.
2. PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY, LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
3. ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE, IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
4. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
5. AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
6. APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL, ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:  
VITAL EARTH COMPOST  
BACK-TO-EARTH SOIL CONDITIONER  
LIVING EARTH COMPOST  
SOIL BUILDING SYSTEMS COMPOST  
SILVER CREEK MATERIALS COMPOST
7. TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
8. ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
9. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STOP, AND CONTROLLER, SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DAILY LICENSED UNDER ARTICLE NO. 8751 VTCs (LICENSED IRRIGATORS ACT), S.B. NO. 229.

### PLANTLIST

SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
BO	BURR OAK	7	3" CAL.	10-12'	5-6'	NURSERY GROWN	
CO	QUERCUS MACROCARPA	8	3" CAL.	10-12'	5-6'	NURSERY GROWN	
RO	RED OAK	4	3" CAL.	10-12'	5-6'	NURSERY GROWN	
LB	LACEBARK ELM	3	3" CAL.	10-12'	6-7'	NURSERY GROWN	
CE	CEDAR ELM	15	3" CAL.	10-12'	6-7'	NURSERY GROWN	
OM	GRAPE MYRTLE	4	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
NR	N.R. STEVENS HOLLY	8	7 GAL.	42"	24"	CONT. GROWN	4'oc
NP	NEEDLEPOINT HOLLY	96	5 GAL.	26"	18"	FULL	36"oc
MFG	MEX. FEATHERGRASS	90	1 GAL.	12"	10"	FULL	18"oc
GL	GREEN LIRIOPE	72	1 GAL.	10"	10"	FULL	18"oc
SE	STEEL EDGING	352	LIN. FT.	REF.	DETAIL		

### LANDSCAPE LEGEND



- SOD INSTALLATION NOTES:**
- a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE, IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
  - b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
  - c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
  - d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
  - e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.

No trees within 5' of water line in Townsend Blvd. ROW.  
ROW must be sodded prior to acceptance.

appr. by:  
drawn by:  
date: 05-16-19

### revisions



Leaping Design Group  
Landscape Architecture  
4801 West Loop South, Suite 1000  
Houston, Texas 77027  
713.467.1234

### LANDSCAPE PLAN

**BODIN TRACT**  
T.L. TOWNSEND DRIVE  
ROCKWALL, TEXAS

file name:  
c:\rockwall\Bodin Tract  
Landscape Architecture  
sheet  
[1-1]



revisions



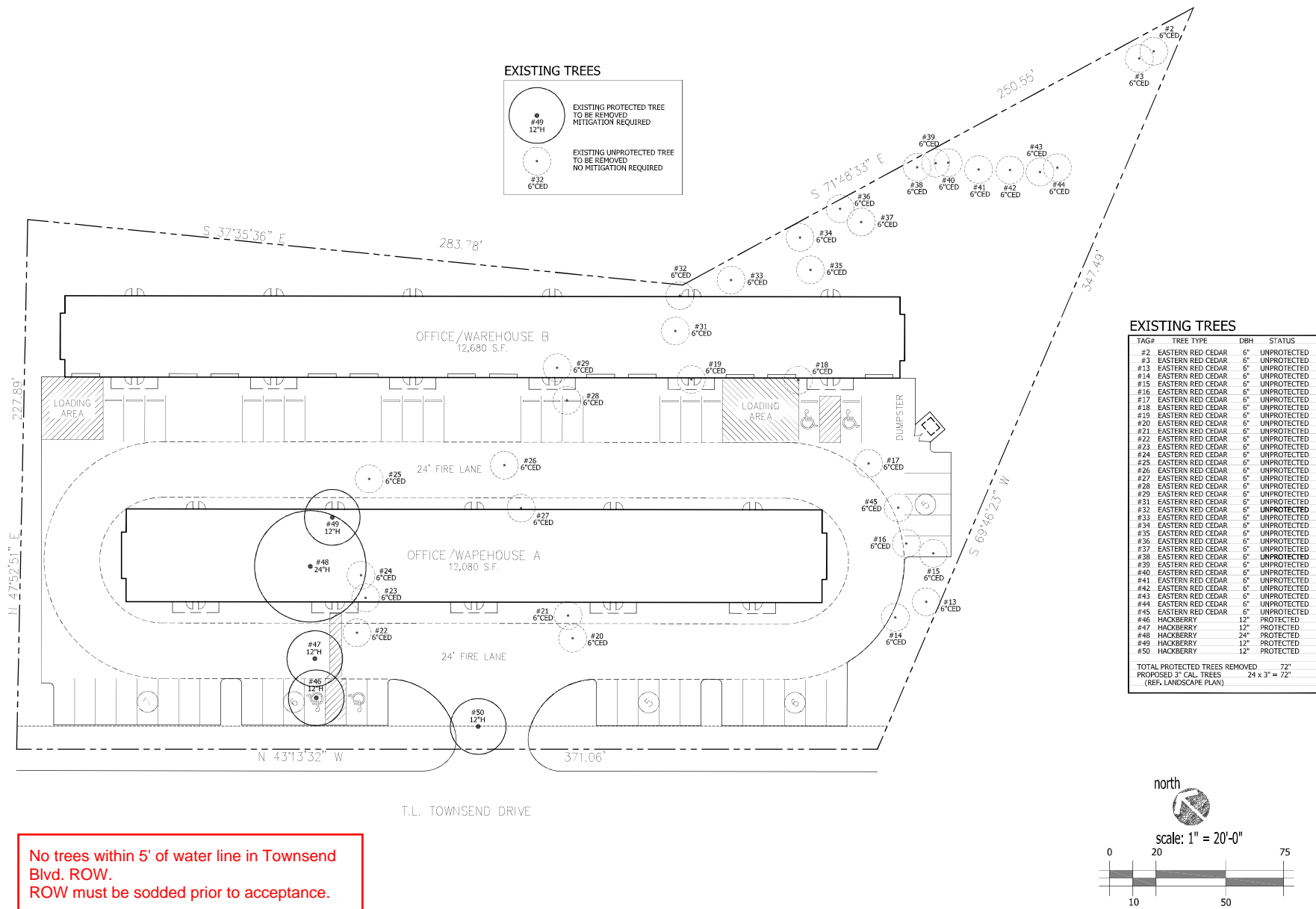
**Leeming  
Design Group**  
Landscape Architecture



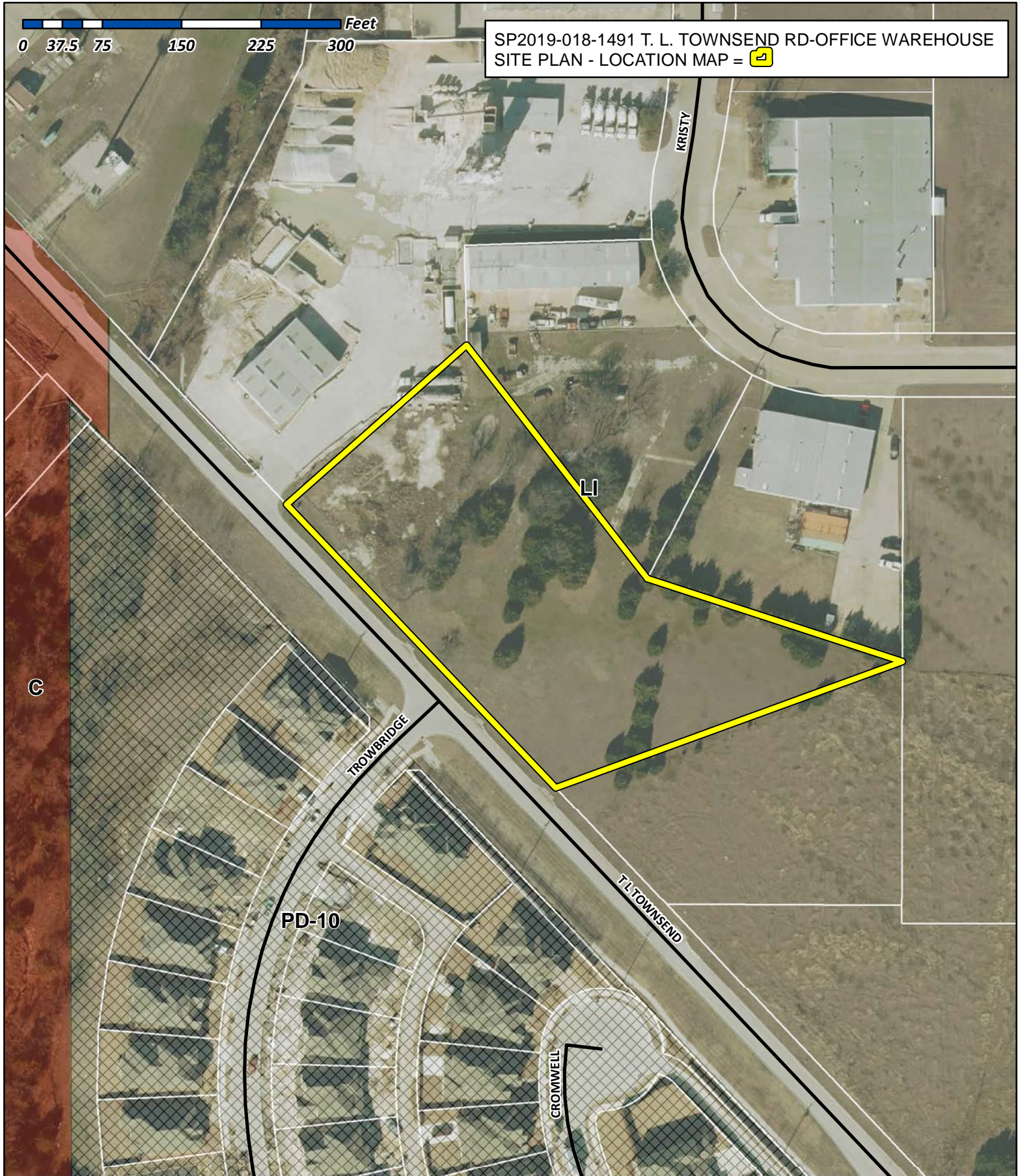
## TREESCAPE PLAN

**BODIN TRACT**  
T.L. TOWNSEND DRIVE  
ROCKWALL, TEXAS

file name:  
c:\Rockwell\Bodhi Tract  
1dg-base\_Bodhi.dwg  
sheet  
T-1







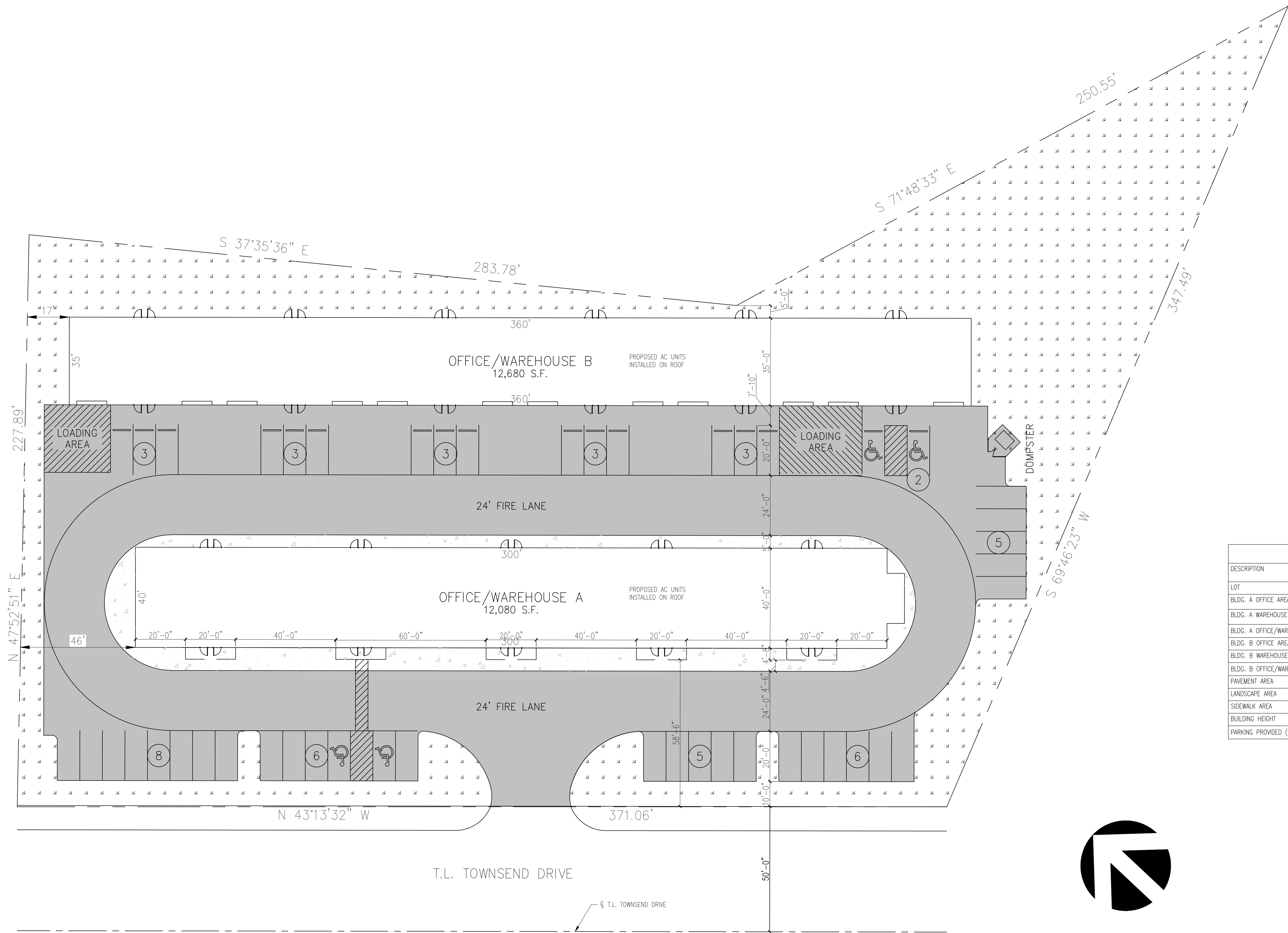
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

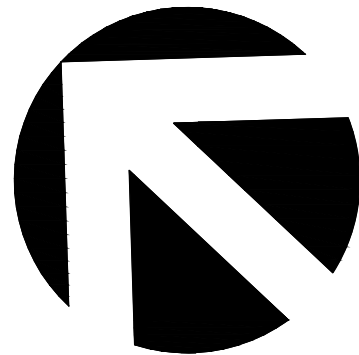
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







SITE SUMMARY		
DESCRIPTION		LOT PERCENTAGE
LOT	2.21 S.F.	100 %
BLDG. A OFFICE AREA		-
BLDG. A WAREHOUSE AREA		-
BLDG. A OFFICE/WAREHOUSE TOTAL AREA	12,080 S.F.	12.5 %
BLDG. B OFFICE AREA		
BLDG. B WAREHOUSE AREA		
BLDG. B OFFICE/WAREHOUSE TOTAL AREA	12,680 S.F.	13.1 %
PAVEMENT AREA	38,137 S.F.	39.5 %
LANDSCAPE AREA	28,762 S.F.	29.8 %
SIDEWALK AREA	4,770 S.F.	4.9 %
BUILDING HEIGHT	24 FT.	
PARKING PROVIDED (4 H.C. INCLUDED)	46 SPACES	



SITE PLAN  
SCALE: 1" = 20'

**RAMSAY & REYES**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

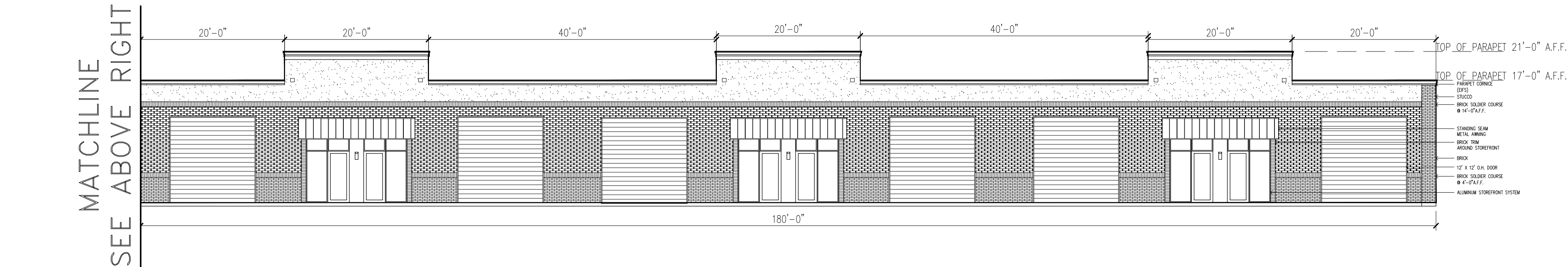
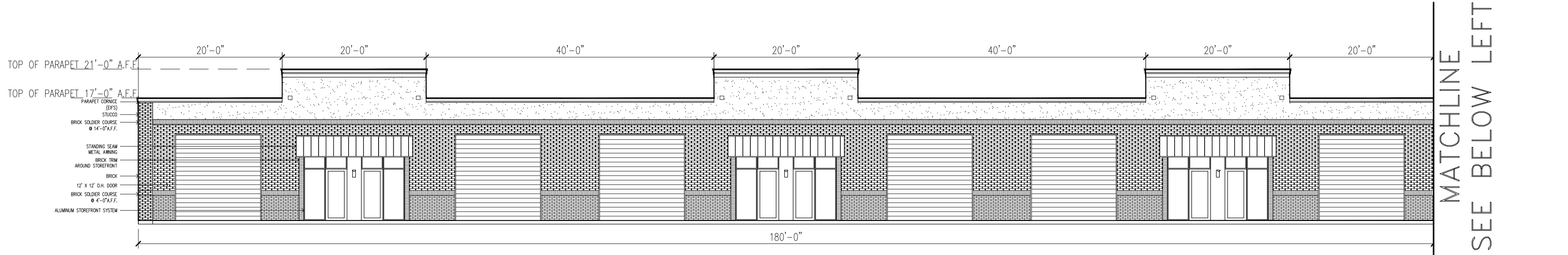
Revisions		Date
No.	Description/Issue	

Project Name and Location:  
**PLATINUM BUSINESS PARK II**  
1491 S T.L. TOWNSEND DR.  
BODIN INDUSTRIAL SUBDIVISION  
2.21 ACRES  
LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	1 of 7

Drawing Name:  
**SITE PLAN**

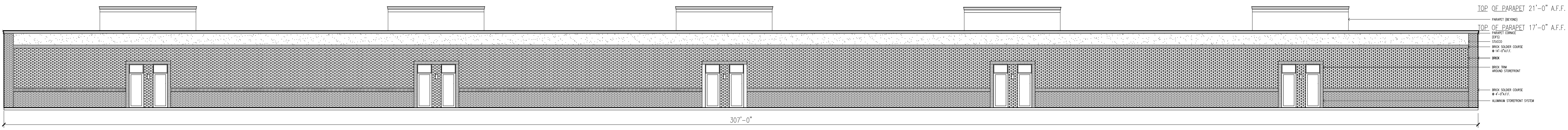




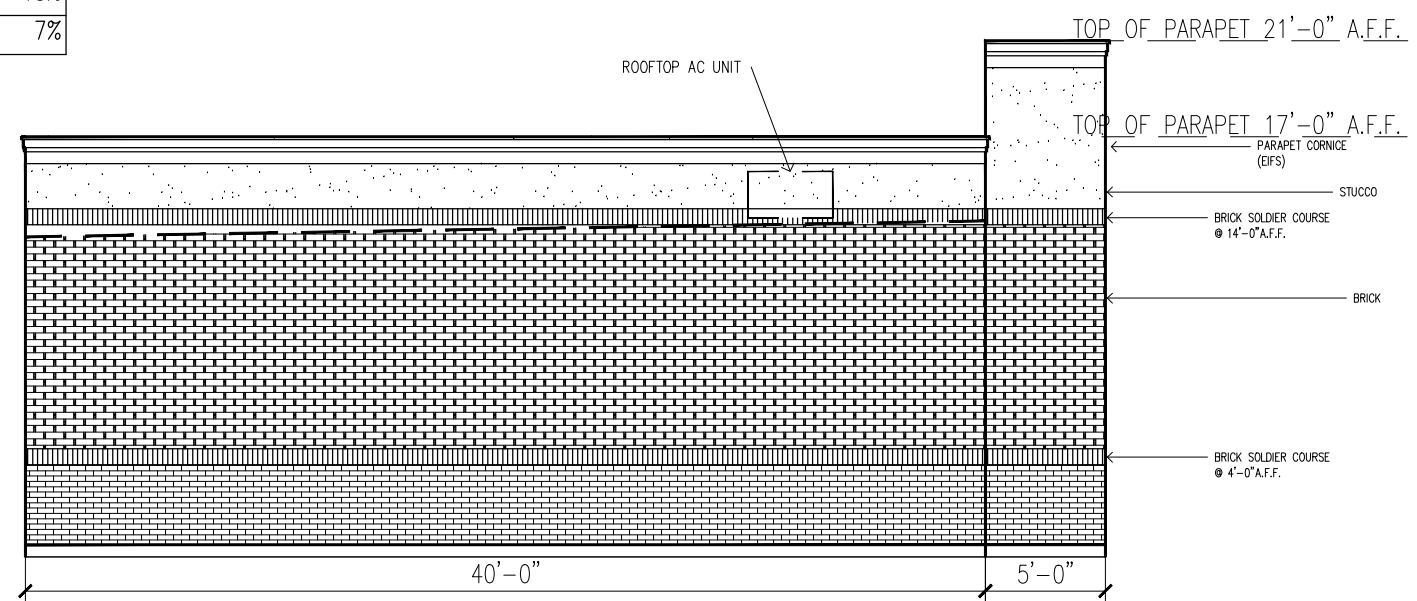
BUILDING B – WEST ELEVATION  
SCALE: 3/32" = 1'

MATERIAL USAGE (%) – BLDG B WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		6,600	
DOORS & WINDOWS (DEDUCTED)		2,376	
ACCOUNTABLE AREA		4,224	100%
MASONRY (BRICK)		2,681	67%
MASONRY (3-STEP STUCCO)		1,262	27%
EIFS (MOLDING)		280	6%

MATERIAL USAGE (%) – BLDG B. EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		6,120	
DOORS & WINDOWS (DEDUCTED)		252	
ACCOUNTABLE AREA		5,868	100%
METAL		5,868	100%
		0	0%
		0	0%

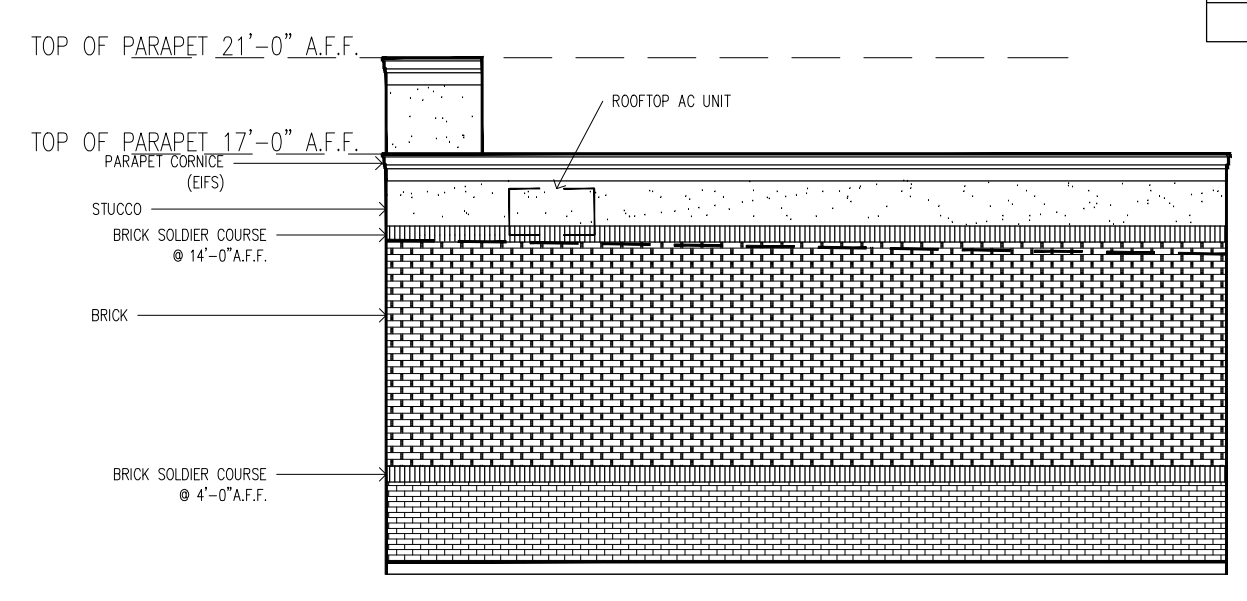


MATERIAL USAGE (%) – BLDG A NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		765	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		765	100%
MASONRY (BRICK)		612	80%
MASONRY (3-STEP STUCCO)		103	13%
EIFS (MOLDING)		50	7%



BUILDING B – NORTH ELEVATION  
SCALE: 1/8" = 1'

BUILDING B – EAST ELEVATION  
SCALE: 3/32" = 1'



BUILDING B – SOUTH ELEVATION  
SCALE: 1/8" = 1'

MATERIAL USAGE (%) – BLDG A SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		785	
DOORS & WINDOWS (DEDUCTED)		21	
ACCOUNTABLE AREA		764	100%
MASONRY (BRICK)		614	80%
MASONRY (3-STEP STUCCO)		100	13%
EIFS (MOLDING)		50	7%

**RAMSAY & REYES**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

**PLATINUM BUSINESS PARK II**  
1491 S T.L. TOWNSEND DR.  
BODIN INDUSTRIAL SUBDIVISION  
2.21 ACRES  
LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	AS SHOWN
Sheet No.	3 of 7

Drawing Name:  
**BLDG. B ELEVATIONS**





PROPOSED NEW OFFICE/ WAREHOUSE FACILITY

MAY 16, 2019

PLATINUM SELF STORAGE  
TOWNSEND DR.  
ROCKWALL, TEXAS 75087

PORTION OF BUILDING AT THE  
EAST



PROPOSED NEW OFFICE/ WAREHOUSE FACILITY

MAY 16, 2019

PLATINUM SELF STORAGE  
TOWNSEND DR.  
ROCKWALL, TEXAS 75087

NORTH ELEVATION



DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY  
SHREDDED CEDAR MULCH AS SPECIFIED  
TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE  
MODEL 65BG-NS BELOW-GRADE  
TREE STAKING AS MNFG. BY  
"TREE STAKE SOLUTIONS"  
(www.treestakesolutions.com)

### TREE PLANTING

SHADE TREE - 3" CAL. and smaller  
not to scale

DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

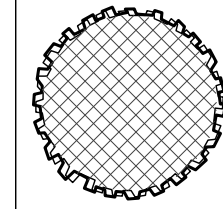
EXISTING NATIVE SOIL BACKFILL ONLY  
SHREDDED CEDAR MULCH AS SPECIFIED  
TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE  
MODEL 65BG-NS BELOW-GRADE  
TREE STAKING AS MNFG. BY  
"TREE STAKE SOLUTIONS"  
(www.treestakesolutions.com)

### TREE PLANTING

TYPICAL MULTI-TRUNK TREE  
not to scale

### EXISTING TREE MITIGATION



DESIGNATED MITIGATION TREE  
TOTAL - 24 - 3" CALIPER

### CITY REQUIREMENTS

#### STREET FRONTAGE

10' LANDSCAPE BUFFER REQUIRED  
10' LANDSCAPE BUFFER PROVIDED

#### STREET TREES

1 PER 50 LF STREET FRONTAGE  
T.L. TOWNSEND  
 $\frac{371.06'}{50} = 7.42 = 8$  TREES REQUIRED  
8 TREES PROVIDED

#### PARKING LOT LANDSCAPING

5% INTERIOR LANDSCAPE REQUIRED  
45,948 SF x 5% = 2,298 SF REQUIRED  
3,232 SF PROVIDED (7.03%)

#### 1 TREE PER 10 SPACES

$\frac{46 \text{ SPACES}}{10} = 4.6 = 5$  TREES REQUIRED  
5 TREES PROVIDED

#### TOTAL LANDSCAPE AREA

20% TOTAL LANDSCAPE REQUIRED  
TOTAL SITE  
96,490 SF x 20% = 19,298 SF REQUIRED  
28,712 SF PROVIDED (29.76%)

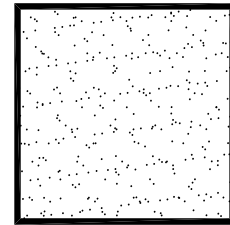
### LANDSCAPE NOTES

1. PLANT LIST FOR THIS SHEET ONLY.
2. PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
3. ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
4. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
5. AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
6. APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:  
VITAL EARTH COMPOST  
BACK-TO-EARTH SOIL CONDITIONER  
LIVING EARTH COMPOST  
SOIL BUILDING SYSTEMS COMPOST  
SILVER CREEK MATERIALS COMPOST
7. TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
8. ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
9. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCs (LICENSED IRRIGATORS ACT), S.B. NO. 259.

### PLANTLIST

SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
BO	BURR OAK	7	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS MACROCARPA						
CO	CHINKAPIN OAK	8	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS MUHLBERGIA						
RO	RED OAK	4	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS SHUMARDI						
LB	LACEBARK ELM	3	3" CAL.	10-12'	6-7'	NURSERY GROWN	
	ULMUS PARVIFOLIA SEMPERVIRENS						
CE	CEDAR ELM	15	3" CAL.	10-12'	6-7'	NURSERY GROWN	
	ULMUS CRASSIFOLIA						
CM	CRAPE MYRTLE	4	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
	LAGERSTROEMIA INDICA 'BASHAM PINK'						
NR	N.R. STEVENS HOLLY	8	7 GAL.	42"	24"	CONT. GROWN	4'oc
	ILEX x 'NELLIE R. STEVENS'						
NP	NEEDLEPOINT HOLLY	96	5 GAL.	26"	18"	FULL	36"oc
	ILEX CORNUTA 'NEEDLEPOINT'						
MFG	MEX. FEATHERGRASS	90	1 GAL.	12"	10"	FULL	18"oc
	MASSILLA TENUISSIMA						
GL	GREEN LIRIOPE	72	1 GAL.	10"	10"	FULL	18"oc
	LIRIOPE MUSCARI						
SE	STEEL EDGING	352	LIN. FT.	REF.	DETAIL		

### LANDSCAPE LEGEND



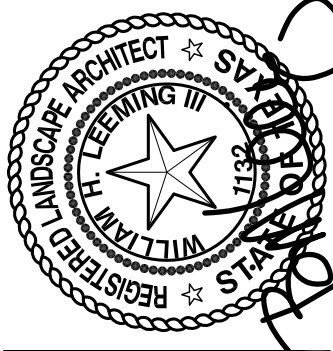
COMMON  
BERMUDA SOD  
(CYNODON DACTYLON)

#### SOD INSTALLATION NOTES:

- a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
- d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
- e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.

appr. by:  
drawn by:  
date: 05-16-19

### revisions



Leeming  
Design Group  
Landscape Architecture



4013 Bull Saw Drive, Suite 101-B, North Richland Hills, Texas 76180  
(817) 577-0889 Fax: (817) 577-0896  
leemingdesigngroup@sigdallas.net

### LANDSCAPE PLAN

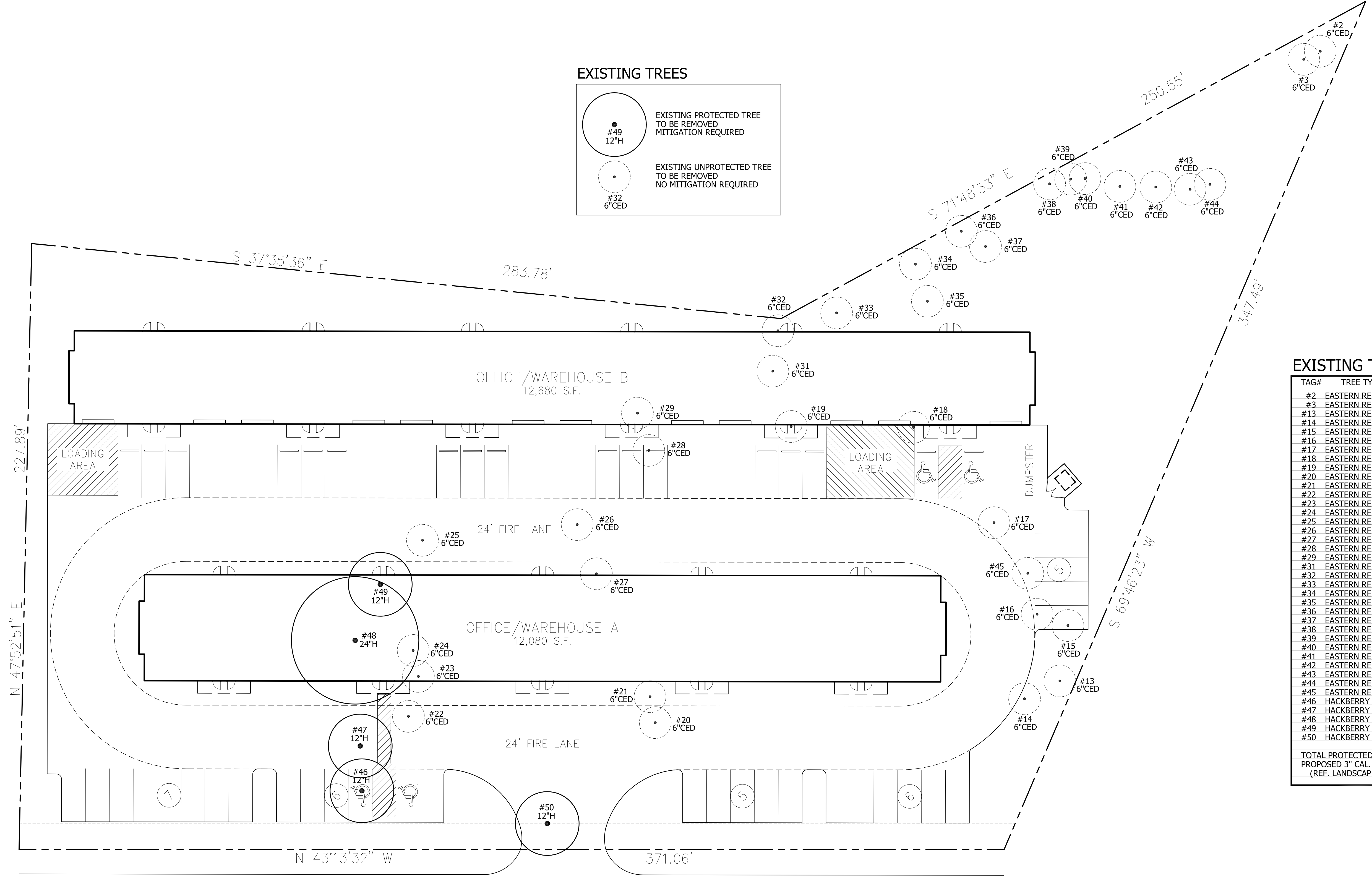
BODIN TRACT  
T.L. TOWNSEND DRIVE  
ROCKWALL, TEXAS

file name:  
c:\Rockwall-Bodin Tract\ldg-base\_Bodin.dwg

sheet

1





EXISTING TREES

#49  
12"H

EXISTING PROTECTED TREE  
TO BE REMOVED  
MITIGATION REQUIRED

#32  
6"CED

EXISTING UNPROTECTED TREE  
TO BE REMOVED  
NO MITIGATION REQUIRED

EXISTING TREES

TAG#	TREE TYPE	DBH	STATUS
#2	EASTERN RED CEDAR	6"	UNPROTECTED
#3	EASTERN RED CEDAR	6"	UNPROTECTED
#13	EASTERN RED CEDAR	6"	UNPROTECTED
#14	EASTERN RED CEDAR	6"	UNPROTECTED
#15	EASTERN RED CEDAR	6"	UNPROTECTED
#16	EASTERN RED CEDAR	6"	UNPROTECTED
#17	EASTERN RED CEDAR	6"	UNPROTECTED
#18	EASTERN RED CEDAR	6"	UNPROTECTED
#19	EASTERN RED CEDAR	6"	UNPROTECTED
#20	EASTERN RED CEDAR	6"	UNPROTECTED
#21	EASTERN RED CEDAR	6"	UNPROTECTED
#22	EASTERN RED CEDAR	6"	UNPROTECTED
#23	EASTERN RED CEDAR	6"	UNPROTECTED
#24	EASTERN RED CEDAR	6"	UNPROTECTED
#25	EASTERN RED CEDAR	6"	UNPROTECTED
#26	EASTERN RED CEDAR	6"	UNPROTECTED
#27	EASTERN RED CEDAR	6"	UNPROTECTED
#28	EASTERN RED CEDAR	6"	UNPROTECTED
#29	EASTERN RED CEDAR	6"	UNPROTECTED
#31	EASTERN RED CEDAR	6"	UNPROTECTED
#32	EASTERN RED CEDAR	6"	UNPROTECTED
#33	EASTERN RED CEDAR	6"	UNPROTECTED
#34	EASTERN RED CEDAR	6"	UNPROTECTED
#35	EASTERN RED CEDAR	6"	UNPROTECTED
#36	EASTERN RED CEDAR	6"	UNPROTECTED
#37	EASTERN RED CEDAR	6"	UNPROTECTED
#38	EASTERN RED CEDAR	6"	UNPROTECTED
#39	EASTERN RED CEDAR	6"	UNPROTECTED
#40	EASTERN RED CEDAR	6"	UNPROTECTED
#41	EASTERN RED CEDAR	6"	UNPROTECTED
#42	EASTERN RED CEDAR	6"	UNPROTECTED
#43	EASTERN RED CEDAR	6"	UNPROTECTED
#44	EASTERN RED CEDAR	6"	UNPROTECTED
#45	EASTERN RED CEDAR	6"	UNPROTECTED
#46	HACKBERRY	12"	PROTECTED
#47	HACKBERRY	12"	PROTECTED
#48	HACKBERRY	24"	PROTECTED
#49	HACKBERRY	12"	PROTECTED
#50	HACKBERRY	12"	PROTECTED
TOTAL PROTECTED TREES REMOVED		72"	
PROPOSED 3" CAL. TREES		24 x 3" = 72"	
(REF. LANDSCAPE PLAN)			

north

scale: 1" = 20'-0"

0

20

75

10

50

appr. by:  
drawn by:  
date: 05-16-19

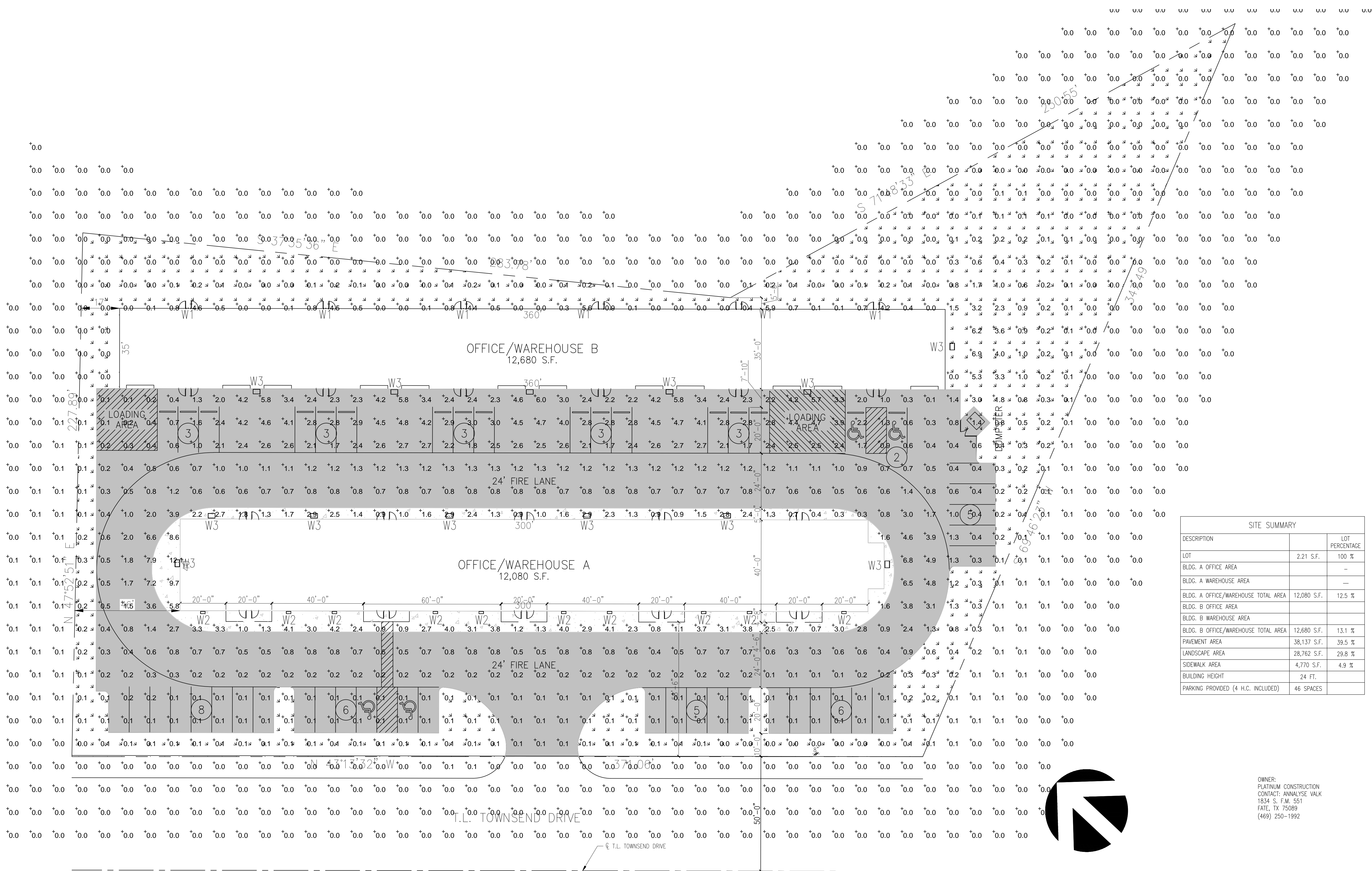
revisions

LEARNING II  
LANDSCAPE ARCHITECT  
REGISTERED  
LANDSCAPE ARCHITECT  
STATE OF TEXAS  
#12345

Leeming  
Design Group  
Landscape Architecture  
4013 Bull-Snow Drive, Suite 100-B, North Richland Hills, Texas 76180  
(817) 577-0889 Fax (817) 577-5896  
leemingdesigngroup@outlook.com

TREESCAPE PLAN

BODIN TRACT  
T.L. TOWNSEND DRIVE  
ROCKWALL, TEXAS



SITE SUMMARY		
DESCRIPTION		LOT PERCENTAGE
LOT	2.21 S.F.	100 %
BLDG. A OFFICE AREA		-
BLDG. A WAREHOUSE AREA		-
BLDG. A OFFICE/WAREHOUSE TOTAL AREA	12,080 S.F.	12.5 %
BLDG. B OFFICE AREA		
BLDG. B WAREHOUSE AREA		
BLDG. B OFFICE/WAREHOUSE TOTAL AREA	12,680 S.F.	13.1 %
PAVEMENT AREA	38,137 S.F.	39.5 %
LANDSCAPE AREA	28,762 S.F.	29.8 %
SIDEWALK AREA	4,770 S.F.	4.9 %
BUILDING HEIGHT	24 FT.	
PARKING PROVIDED (4 H.C. INCLUDED)	46 SPACES	

OWNER:  
PLATINUM CONSTRUCTION  
CONTACT: ANNALYSE WALK  
1834 S. F.M. 551  
FATE, TX 75089  
(469) 250-1992

PHOTOMETRIC SITE PLAN  
SCALE: 1" = 20'

**RAMSAY & REYES**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

Revisions		Date
No.	Description/Issue	

Project Name and Location:  
**PLATINUM BUSINESS PARK II**  
1491 S T.L. TOWNSEND DR.  
BODIN INDUSTRIAL SUBDIVISION  
2.21 ACRES  
LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	6 of 7

Drawing Name:  
**PHOTOMETRIC SITE PLAN**

	PROJECT:  PLATINUM BUSINESS PARK II	TYPE:  W1
	PREPARED BY: <b>RAMSAY &amp; REYES</b> ARCHITECTURE - MANAGEMENT 3235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087	DATE:  5/17/2019

Ceiling Number
Room
Type



Contractor Select™

**LIL LED**

Wall Mount Lighting

The Lilluna Lighting® LIL wall pack is just 3 inch x 13 inch in size and delivers 500 lumens using only 8 watts. It's the ideal, compact "over-the-door" lighting solution for commercial and residential applications.

**FEATURES:**

- Brightens up to 100W incandescent lamps, saves 90% energy
- Elegant and compact LED solution. Wet/dry and battery pack options available
- Back box accessory available for conduit wiring







PROJECT:	TYPE:
PLATINUM BUSINESS PARK II	#W2
PREPARED BY:	DATE:
<b>RAMSAY &amp; REYES</b> ARCHITECTURE - MANAGEMENT 1220 RIDGE RD. STE. 200 ROCKWELL, TEXAS 78067	5/17/2019

## FEATURES & SPECIFICATIONS

**INTENDED USE** — For building and wall-mounted applications.

**CONSTRUCTION** — Designed for each single glass aluminum housing. The cast aluminum has a VUVB UV-cured finish. The housing is fully gasketed with no gaps and is airtight.

**Finish**—Standard finish is powder coated. 6000 series anodized aluminum powder finish, with other finishes and colors available. Springs are available.

**OPTS** — Integrated reflector for superior uniformity and control. Medium Beam (30°) full cutoff distribution only.

**ELECTRICAL** — Compact fluorescent or LED, or electronic, high frequency ballast. Compact fluorescent only is factory pre-set. Medium Beam, 8 ft. fixed. Quick disconnect plug ends. Downward reflector from ballast and fixture flange supply wires.

**INSTALLATION** — Easy installation using provided mounting chain. Mount in any non-combustible wall or surface over a 1" square or square recessed hole (see photo). Back access through drilled panel.

**LIGHTING** — Meets and labeled to UL standards. Labeled and labeled to CSA standards (see Options). 5000 lumens (per fixture). 3000 and 4000 lumens.

**WARRANTY** — 3 year limited warranty. Complete warranty terms located at [www.usaluminum.com/CustomerServiceTerms\\_and\\_conditions.aspx](http://www.usaluminum.com/CustomerServiceTerms_and_conditions.aspx)

Note: Specifications subject to change without notice.

Category
Series
Type

Decorative Wall-Mounted Lighting

**WSTM**


COMPACT FLUORESCENT  
2600T  
26-4218T

Specification
Length: 12-1/2" (318 mm)
Depth: 2-1/2" (63.5 mm)
Height: 5-5/8" (143 mm)
Weight: 16.0 lbs (7.3 kg)



12-1/2"	5-5/8"
318 mm	143 mm
2-1/2"	63.5 mm

PROJECT:		TYPE:	
PLATINUM BUSINESS PARK II		W3	
PREPARED BY:		DATE:	
RAMSAY & REYES ARCHITECTURE - MANAGEMENT 3235 RIDGE RD. STE. 20 ROCKWALL, TEXAS 75087		5/17/2019	



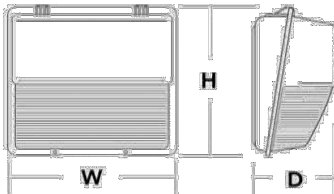
## TWH LED LED Wall Luminaire

### Specifications

Width:	76-1/4" (1932mm)
Height:	15-3/4" (400mm)
Depth:	8" (203mm)
Weight:	29 lbs (13 kg)



### CSA+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color output appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL+ controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability
- This luminaire is part of an A+ Certified solution for ROAM® or XPress® Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background!

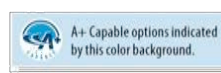
To learn more about A+, visit [www.aacwireless.com/aaplus](http://www.aacwireless.com/aaplus)

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately.

[Link to ROAM](#) [Link to DTL+DLL](#)



**RAMSAY & REYES**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

[illegible]

Project Name and Location:  
**PLATINUM BUSINESS PARK II**  
 1491 S T.L. TOWNSEND DR.  
 BODIN INDUSTRIAL SUBDIVISION  
 2.21 ACRES  
 LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	7 of 7

Drawing Name:

OUTDOOR  
LIGHT SPECS.